

conditionally allows fueling stations, car washes, and drive-thru uses with a Minor Use Permit.

The construction of this project will consist of two phases. The first phase will include the construction of the fuel canopy, the drive-thru quick-serve restaurant, the convenience store with attached drive-thru carwash, all of the site driveways and parking stalls, and most of the site landscaping. The second phase will complete the site development by constructing the retail building, the courtyard area, the restaurant building, and the remaining landscaped areas. The applicant hopes to start constructing Phase 1 as soon as possible, and plans to construct Phase 2 within one to two years after the completion of Phase 1. See Figure 2 for the phasing plans.

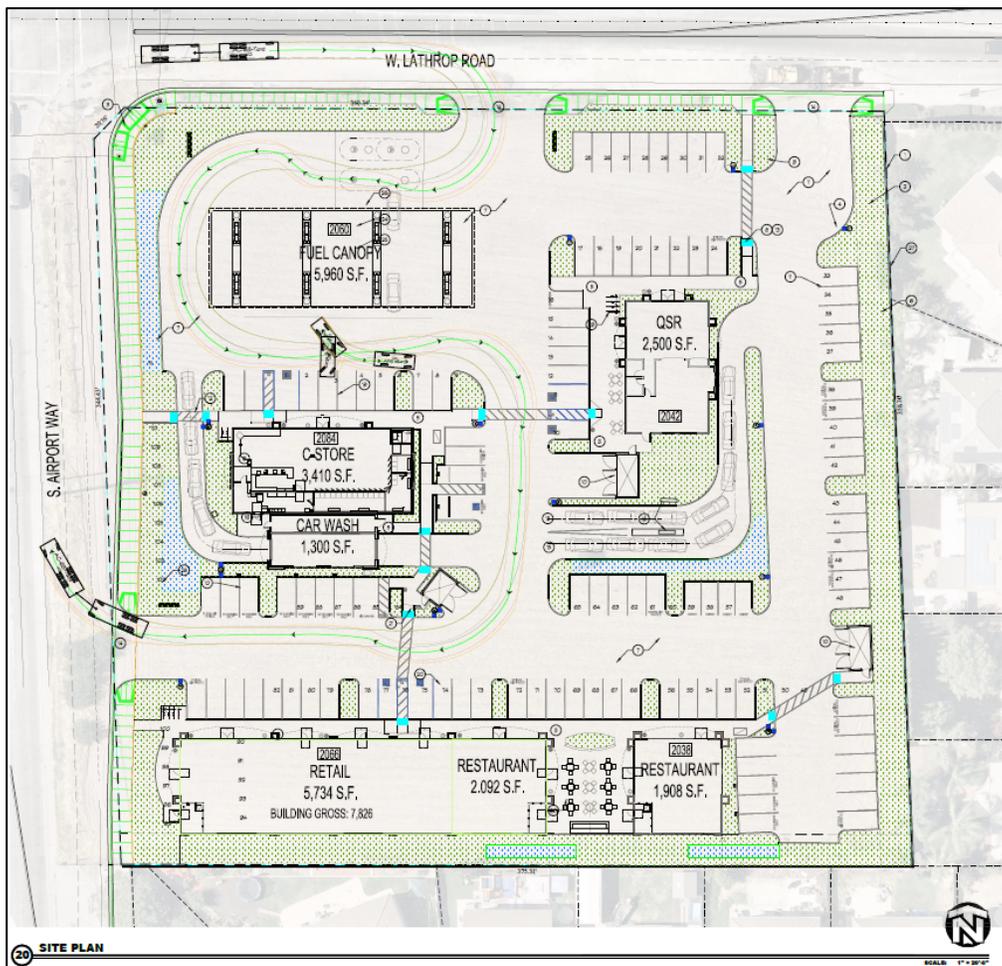


Figure 1: Site Plan – Airport Plaza

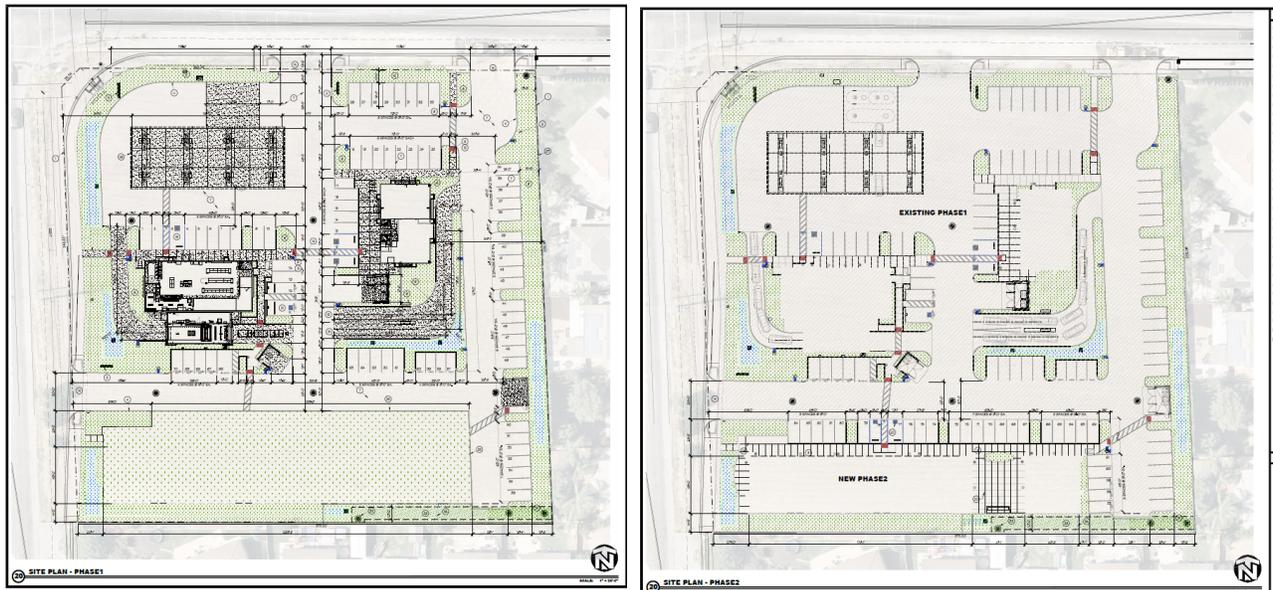


Figure 2: Phasing Plans

PROJECT LOCATION

The project site is located at the southeast corner of West Lathrop Road and South Airport Way at 2060 West Lathrop Road (APN: 202-020-14). The site is bounded by Lathrop Road and existing low-density County residential to the north, single-family residential to the east and south, and by Airport Way and low-density County residential to the west.



Figure 3: Project Site – Airport Plaza – 2060 W. Lathrop Road. Site outlined in yellow.



Figure 4: Vicinity Map – Airport Plaza. Site outlined in yellow.

ANALYSIS

The proposed Site Plan & Design Review Application and Minor Use Permit were analyzed with respect to conformance with the:

1. Manteca General Plan
2. Manteca Municipal Code
3. Manteca Climate Action Plan
4. California Environmental Quality Act (CEQA)

GENERAL PLAN CONFORMANCE

As shown on the General Plan Land Use Map below (Figure 5), the project site has a General Plan Land Use designation of Neighborhood Commercial (NC). The designation will remain Commercial (C) with the General Plan Update. Per the current General Plan, the Neighborhood Commercial land use designation provides for locally oriented retail and service uses, office, restaurants, and service stations, public and quasi-public uses and similar and compatible uses. The NC Designation allows for a maximum site coverage of 40%.



Figure 5: General Plan Land Use Designation – Neighborhood Commercial (NC). Site outlined in black.

The proposed uses include a Chevron Gas Station with 16 fuel pumps, a 3,500-square-foot Extra Mile Convenience Store with an attached 1,300-square foot drive-thru car wash, a 2,500-square-foot drive-thru quick-service restaurant, a 7,800-square-foot retail building with 2,000 square feet of restaurant space, and a 1,900-square-foot restaurant building. Based on these uses, the project conforms to the uses anticipated in the General Plan. The site has a building site coverage of 16%. Considering all of the above, the uses conform to the NC land use and site requirements.

In addition to conforming to the NC land use designation requirements, the project supports the following General Plan goals and policies:

1. Economic Development Policy ED-P-14: Support business formation in Manteca.

Analysis: Approval of this site will allow at least five new businesses to operate in Manteca. Therefore, this project supports business formation in Manteca.

2. Land Use Policy LU-P-49: The City shall give priority to in-fill development and new development contiguous to existing developed areas, whenever practical.

Circulation Policy C-P-15: The City shall promote infill development that completes gaps in the circulation system.

Analysis: This project is within City limits, surrounded by existing development on all sides, making this an in-fill site. Infill development is a way to reinforce compact

development and maintain a cohesive city form. This project will complete a missing extension of the sidewalk between West Lathrop Road and South Airport Way, which will help to complete gaps in the City's circulation system.

3. Land Use Goal LU-8: To reinforce strong urban design, quality development and a compact city form.

Analysis: As shown on the plans, the buildings are an example of high quality development with strong principles of urban design, including detailed facades, pedestrian scale details, and a landscape plan that will include a robust tree canopy. This development is an example of maintaining a compact city form, as it is already located within City limits and zoned for the appropriate uses, as proposed. See Figures 6 through 19 for elevations of the buildings.



Figure 6: Extra Mile Convenience Store – North elevation

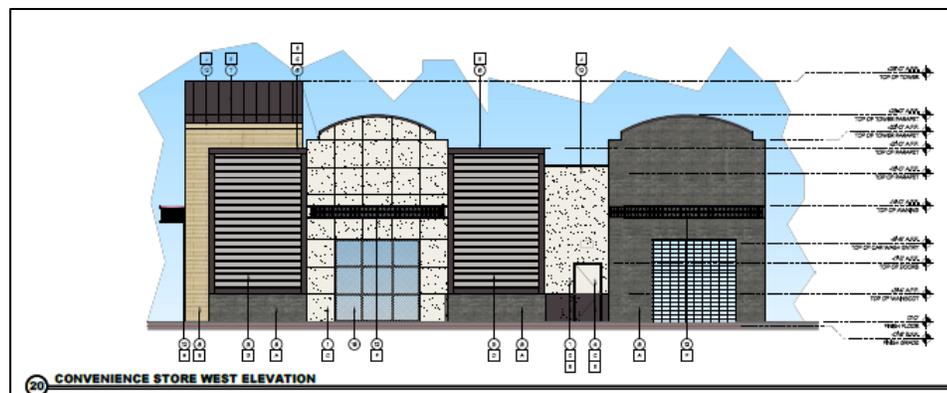


Figure 7: Extra Mile Convenience Store – West elevation

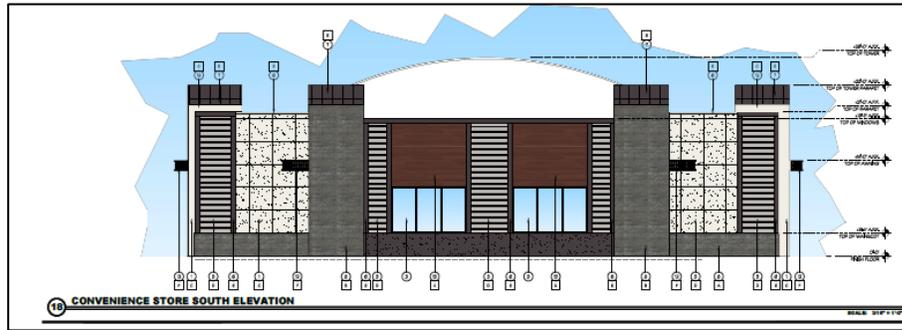


Figure 8: Convenience Store/Car Wash - South elevation

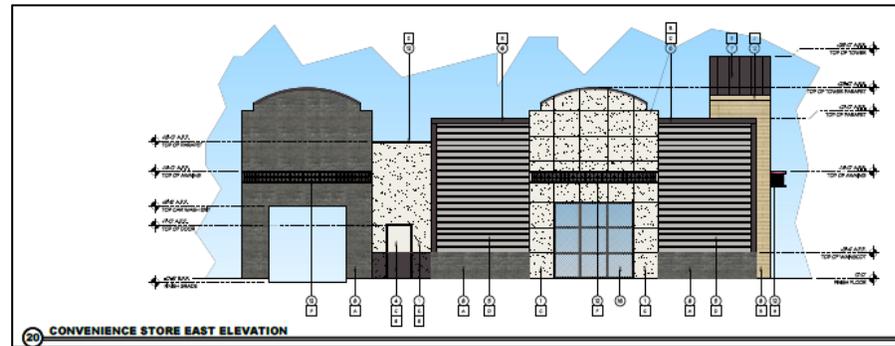


Figure 9: Convenience Store/Car Wash – East elevation

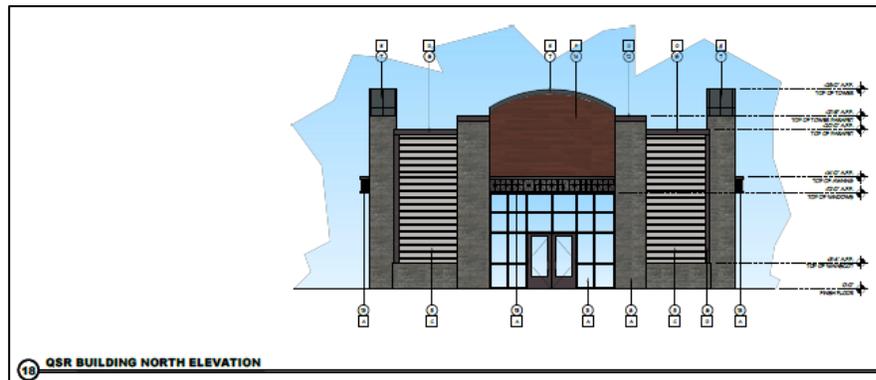


Figure 10: Quick-service restaurant – North elevation

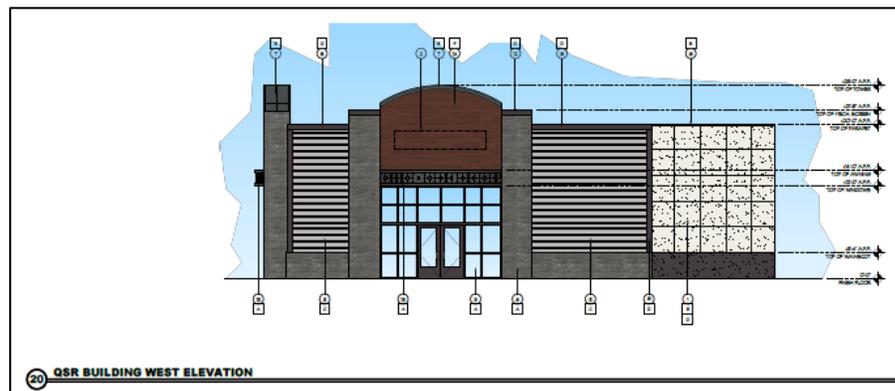


Figure 11: Quick-service restaurant – West elevation

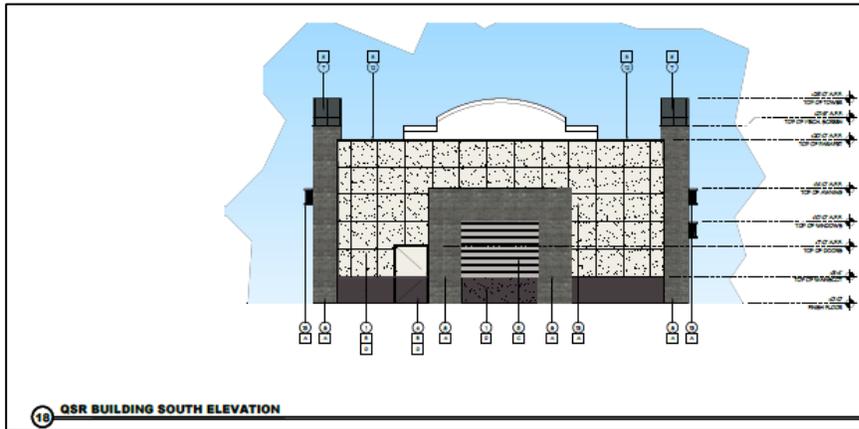


Figure 12: Quick-service restaurant – South elevation

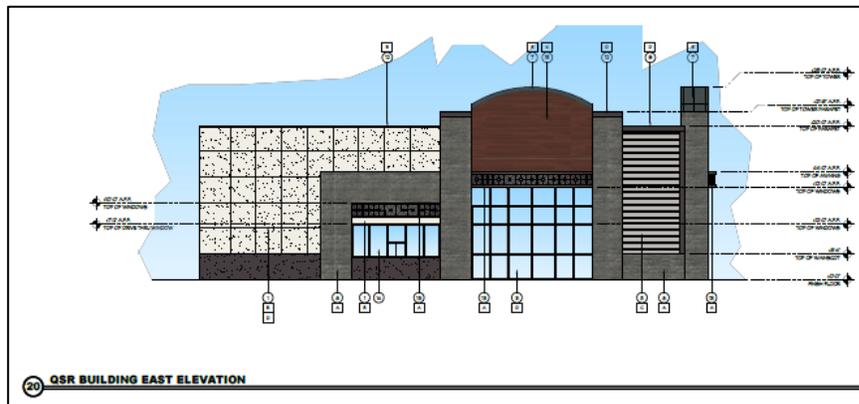


Figure 13: Quick-service restaurant – East elevation

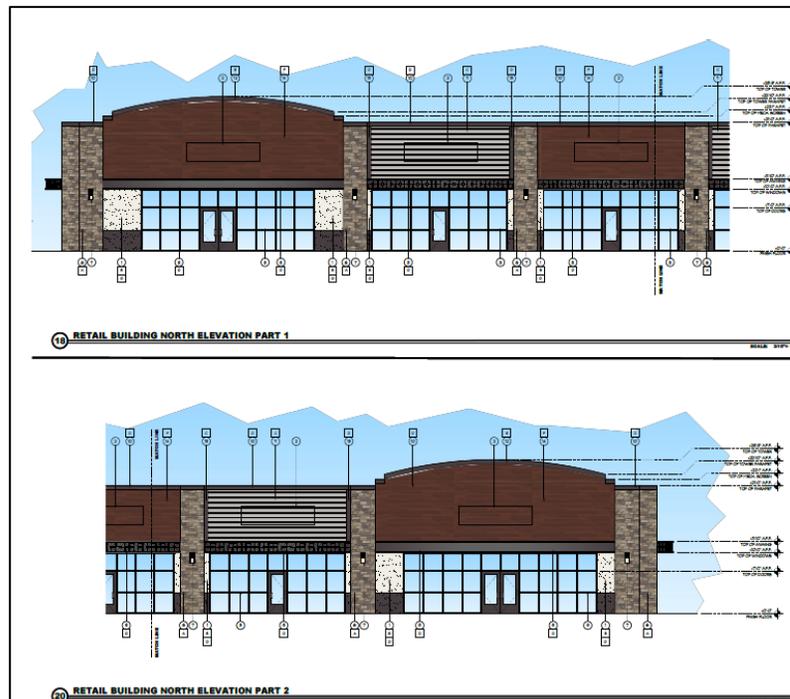


Figure 14: Retail building – North elevation



Figure 15: Retail building – South elevation

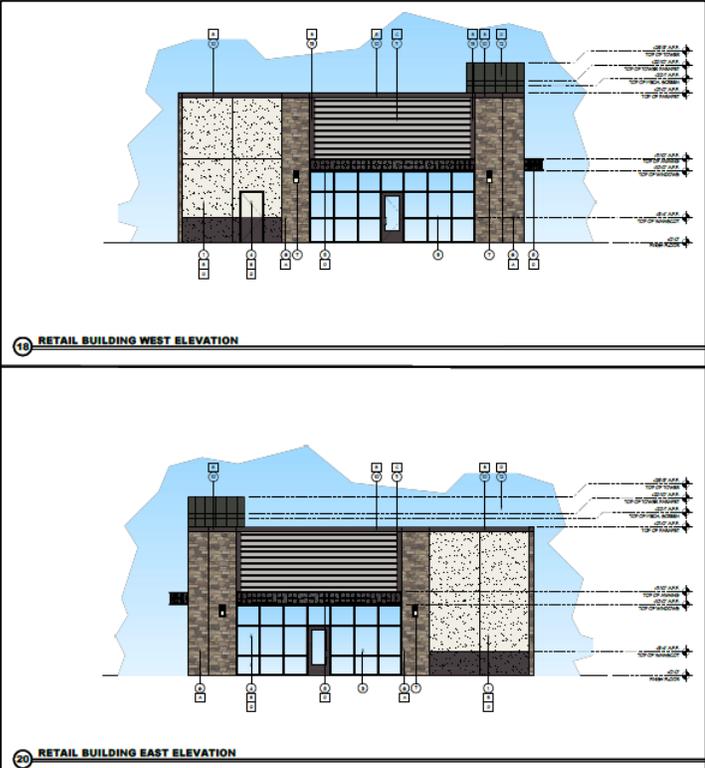


Figure 16: Retail building – West and east elevations

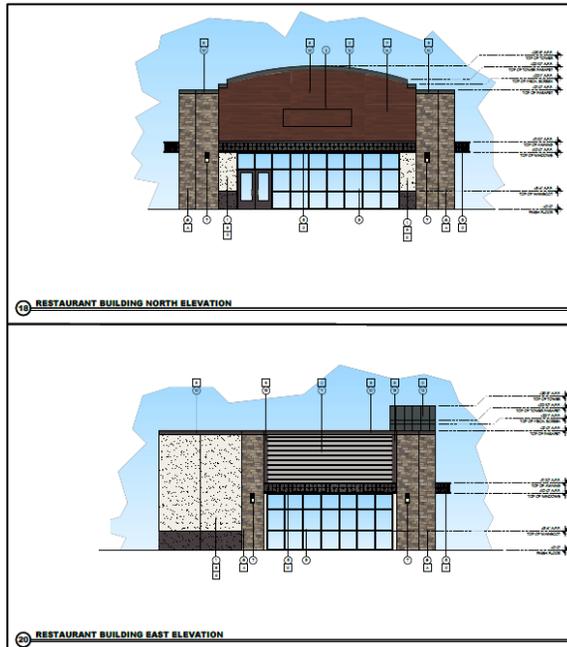


Figure 17: Restaurant building – North and east elevations

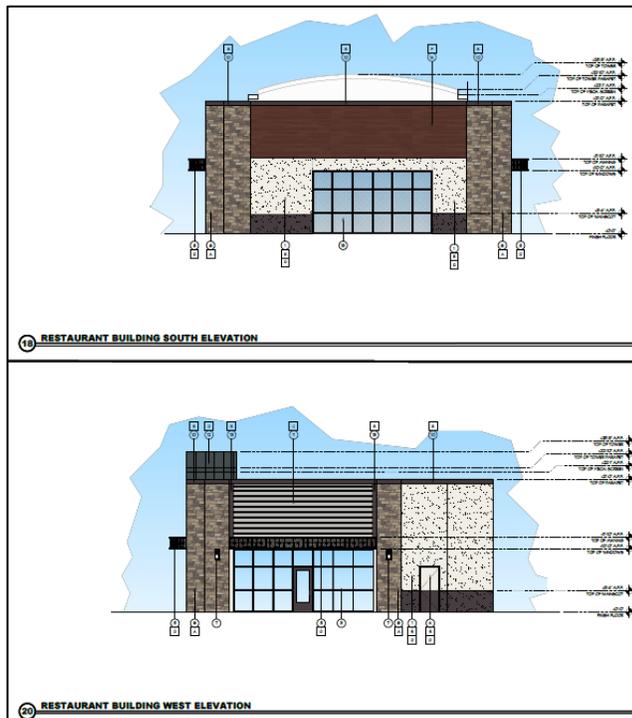


Figure 18: Restaurant building – South and west elevations

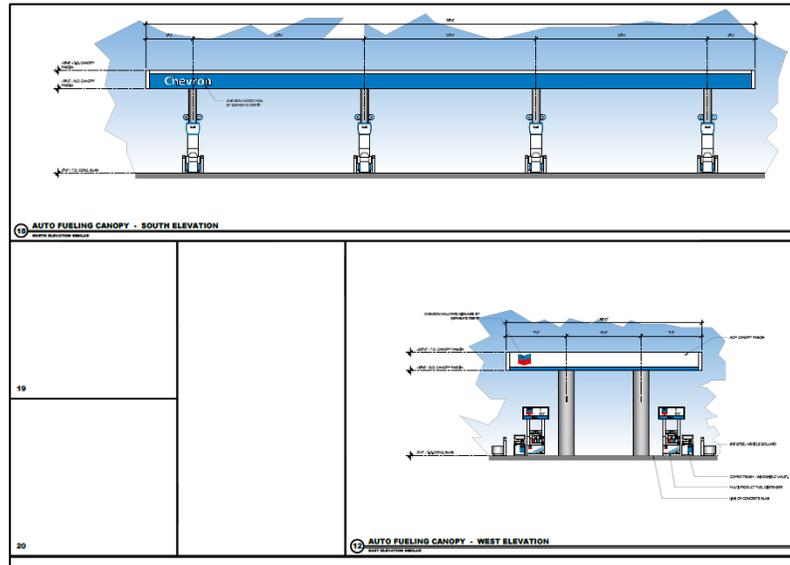


Figure 19: Chevron Fuel Canopy

4. Community Design Goal CD-8. Upgrade and enhance the visual quality of Manteca’s arterial and collector streets.

Analysis: The proposed development includes distinctive contemporary architecture with a high level of visual interest, which will upgrade and enhance the visual quality of Lathrop Road and Airport Way, both of which are arterial streets. Also, a landscape plan with a robust tree canopy will be installed around the perimeter of the parcel and within the development to further enhance the visual appeal of the site. See Figure 20 below.

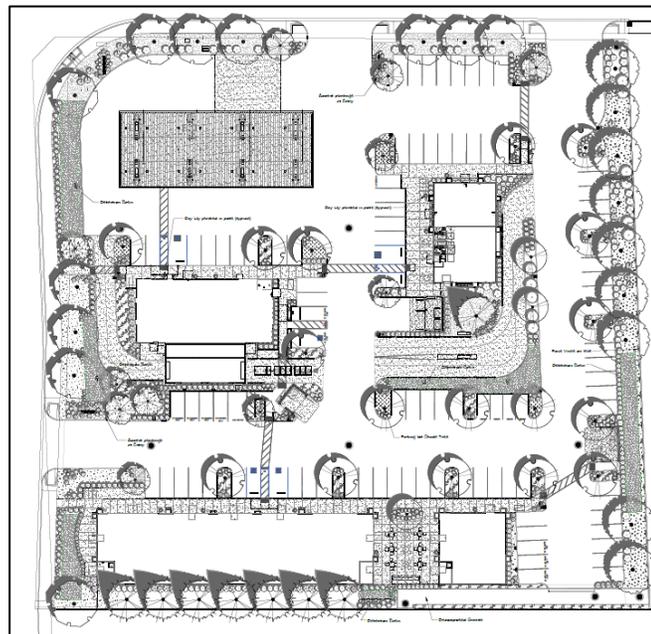


Figure 20: Landscape Plan – Airport Plaza

5. Community Design Policy CD-P-42: Building configurations that provide “outdoor rooms,” courtyards, paseos, and promenades are encouraged.

Community Design Policy CD-P-40: Outdoor plazas or other common areas that provide space for special landscaping, public art, food service, outdoor retail sales, or seating areas for patrons are encouraged in retail settings appropriate to such pedestrian activity. The plaza or other common area shall be appropriately scaled to the retail use and shall be directly connected to the primary walkway.

Analysis: This development will include an approximately 1,800-square-foot pedestrian courtyard between the restaurant and retail building. The courtyard is appropriately-sized for the commercial setting and is directly connected to the primary walkway. This area will act as an “outdoor room” with tables and seating, lush landscaping and a relaxing water feature. Spaces such as this are important in cities and encouraged because they provide opportunities to sit and congregate. Opportunities to be in spaces like this can improve a person’s physical and mental well-being and are therefore an essential part in creating healthy, livable communities for people, rather than designing cities for just cars.

Outdoor seating areas are required to comply with certain additional standards and the Planning Commission is required to make findings for outdoor seating, which is detailed later in this report.



Figure 21: Rendering of water feature in courtyard area

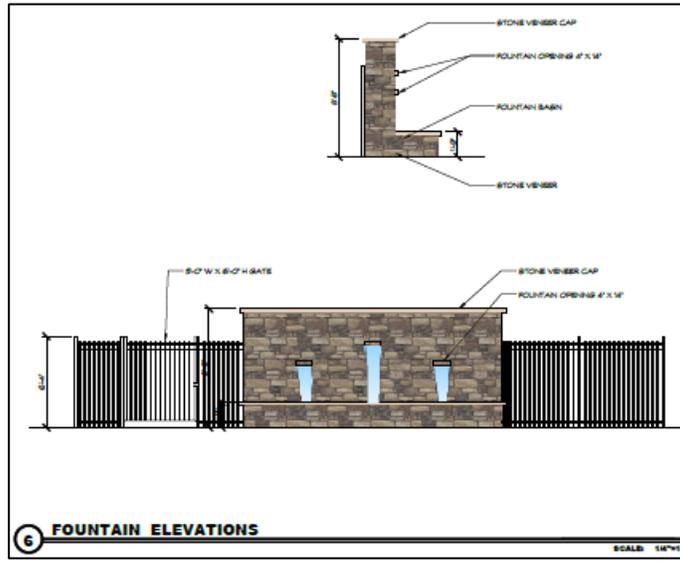


Figure 22: Elevations of water feature

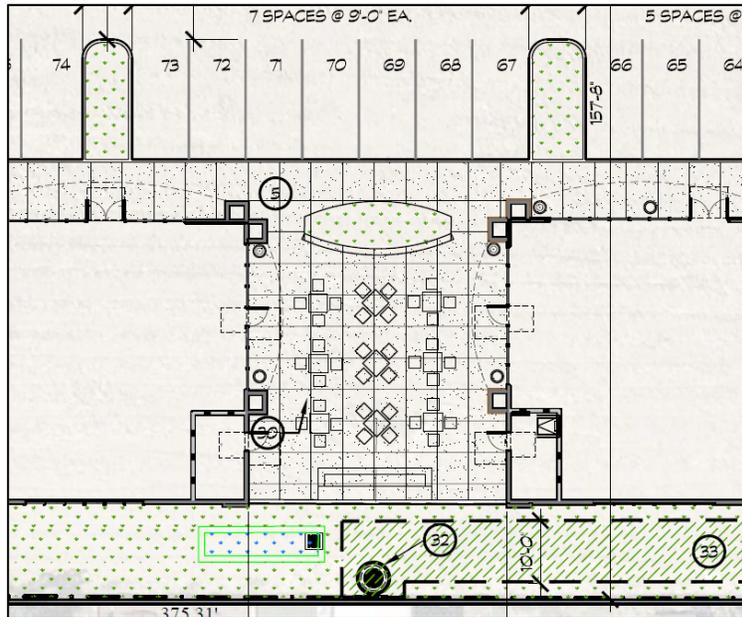


Figure 23: Snippet of site plan showing courtyard area

6. Noise Goal N-1. Protect the residents of Manteca from the harmful and annoying effects of exposure to excessive noise.

Analysis: A Noise Study was done along with the Initial Study/Mitigated Negative Declaration to determine if this project would create noise-related impacts for the neighbors. It was determined that the project will have a less-than-significant noise impact. This project will be required to comply with City noise regulations at all times.

7. Community Design Policy CD-P-45: Provide directional shielding for all exterior lighting to minimize the annoyance of direct or indirect glare.

Analysis: This site is required to provide site lighting in compliance with the Zoning Ordinance. As conditioned, the final lighting plan will need to show that there is zero light spillover for the residences to the east and south.

ZONING CODE CONFORMANCE

The project site is zoned Neighborhood Commercial (CN), which provides for neighborhood needs and uses that are locally oriented, such as retail and service uses, offices, restaurants, grocery stores, and service stations. See Figure 23 for Zoning Map. The convenience store, quick-serve restaurant, and carwash are allowed uses in this zone, and the gas station and both drive-thru uses (quick-serve restaurant and car wash) are conditionally allowed with a Minor Use Permit. Also, although drive-thru uses are conditionally allowed, they also require specific additional findings, which will be discussed below.



Figure 23: Zoning Map – Neighborhood Commercial (CN). Site outlined in red.

The project also meets the development standards of the CN zone, including setbacks and height. The maximum allowed height is 45 feet, and the structures on site will have the following heights:

Structure	Height
Extra Mile Convenience Store with drive-thru car wash	29 feet
Drive-thru quick-service restaurant building	25 feet
Retail building	25 feet, 3 inches
Restaurant building	25 feet, 3 inches
Chevron Fuel Canopy	18 feet, 6 inches

The CN zone generally requires 0-foot setbacks on all sides, except for when a residential zoning district is adjacent to a commercial-zoned property, all structures shall be setback a

minimum of 40 feet from the shared property line; however, the Planning Commission may reduce this setback if they can find compliance with the Performance Standards in Chapter 17.58. The MND studied the project to determine if it complies with the City’s Performance Standards. The analysis is discussed on Pages 50 and 51 of the MND, and concludes that the project would comply with the City’s Performance Standards. Therefore, the Planning Commission can approve the proposed setbacks of all structures on site.

Structures Closest to Adjacent Residential	Distance to Residential Zone
Drive-thru quick-service restaurant	84 feet, 7 inches
Restaurant building	14 feet, 5 inches
Retail building	14 feet, 5 inches

Parking requirements in the Municipal Code require 96 parking stalls for the combined uses on the site, and the site plan proposes 108 parking stalls, which far exceeds the required amount. The required parking count includes 14 stalls for the convenience store, 25 stalls for the quick-serve restaurant, 38 for the retail/restaurant building, 14 stalls for the restaurant building, and 5 stalls for the car wash.

The Municipal Code outlines landscaping requirements for new projects. All areas of the site not paved or built will be landscaped in conformance with the Municipal Code. Additionally, gas stations require a minimum of 20% of the site to be landscaped, and this project meets that requirement. The proposed landscaping includes the required shade trees in the parking areas, as well as the required trees in the buffer areas along rights of way and between parcels. The landscape planting areas include a mix of trees and shrubs, as required by Code.

This project will also meet all illumination standards set in the Code to ensure adequate illumination without light spillover or glare for the adjacent residential properties.

Drive-Thru Standards:

This project must meet the additional regulations for drive-thru uses. A traffic study analyzed the adequacy of the drive-thru aisles in regards to car stacking to ensure enough space was provided in each drive-thru lane to avoid spilling out onto on-site drive aisles or the right-of-way. The traffic study compared similar drive-thrus in and outside the City to determine an adequate amount of car stacking. The additional findings for Drive-thrus are discussed below.

- **On curves, drive-thru aisles shall have a minimum 10-foot interior radius at curves and a minimum 12-foot width.**

Analysis: Both drive-thru curves have a minimum 10-foot interior radius and are at least 12 feet wide.

- **On straight sections, aisles shall have a minimum of 11-foot width on straight sections.**

Analysis: Both drive aisles are at least 11 feet on the straight sections.

- **Aisles shall provide at least 180 feet of stacking space for each facility, as measured from the service window or unit to the entry point into the drive-up lane. Non-food and/or non-beverage businesses may reduce the stacking space to a minimum of 60 feet.**

Analysis: The drive-thru for the car wash has over 120 feet of stacking space, which far exceeds the requirement of 60 feet, and the stacking space for the quick-serve restaurant has approximately 230 feet, which also exceeds the requirement of 180 feet.

- **Aisle entrances and exits shall be at least 25 feet from an intersection of public rights-of-way, measured at the closest intersecting curbs, and at least 25 feet from the curb cut on an adjacent property.**

Analysis: Both drive-thru entrances and exits are more than 25 feet from the public rights-of-way.

- **Aisles shall be separated from the site's ingress and egress routes or access to a parking space.**

Analysis: Both drive-thru aisles have been reviewed to provide an adequate amount of stacking to prevent blocking of on-site circulation, including on-site drive aisles and parking spaces. Therefore, these drive-thru aisles will be separated from the site's ingress and egress routes, as well as access to parking spaces.

- **Signage for drive-up windows shall be consistent with the requirements of Chapter 17.54 (Signs on Private Property).**

Analysis: This project's drive-thru signage will comply with Chapter 17.54.

- **Landscaping: A 5-foot-wide planter with a minimum 3-foot tall landscape barrier planted with trees and other landscaping shall be constructed to screen vehicles and associated headlights in a drive-thru lane from view of abutting street rights-of-way.**

Analysis: Both drive-thru exits will be buffered from the rights-of-way with a minimum landscape buffer of 5 feet with a mix of trees and shrubs at least 3-feet tall to screen vehicles and associated headlights.

- **Noise: Drive-up windows and their order stations with amplified sound shall be 300 feet from residential structures. Drive-up windows or remote tellers without amplified sound may reduce the separation distance to a minimum of 75 feet from residential structures. These minimum separation standards may be reduced where an applicant produces a noise analysis by a qualified**

acoustical professional to demonstrate that the proposed noise source will meet all of the City's adopted noise standards for nearby residences.

Analysis: The drive-up window for the quick-serve restaurant is approximately 157 feet from the residences to the south and more than 85 feet from the residences to the east. A noise analysis was conducted as part of the Initial Study and found that the project will have a less-than-significant noise impact as proposed, so the Planning Commission can approve the proposed distances. Additionally, there will be a commercial building, ample landscaping, and a seven-foot CMU block wall near the south property line to reduce noise levels, and there will be ample landscaping and a CMU block wall along the east property line to reduce noise levels.

Outdoor Seating Standards

This project must also meet the special standards for outdoor seating. As reviewed and conditioned, the outdoor seating area meets all standards detailed in Chapter 17.80, *Outdoor Sales, Display, Storage, and Seating*. This includes details such as ensuring the location is located outside of the public right-of-way and does not interfere with any ADA requirements, any noise generated in this area will comply with City standards, any signage must comply with City standards, and the area must be kept free of garbage and debris.

FINDINGS

Site Plan and Design Review Findings

The approving authority for a Site Plan & Design Review is the Planning Commission. In order to approve a Site Plan and Design Review application, Section 17.10.060 of the Zoning Ordinance requires that the Planning Commission make the following findings:

- 1. The proposed project is consistent with the objectives of the General Plan, complies with applicable zoning regulations, Planned Development, Master Plan or Specific Plan provisions, Improvement Standards, and other applicable standards and regulations adopted by the City.**

Analysis: The project is consistent with the General Plan land use designation of NC as discussed above. The project is not part of a Master Plan or Specific Plan. As approved and conditioned, the project is also consistent with other noise, traffic, and air quality requirements established by the City. The project will comply with all other Improvement Standards and any other applicable standards adopted by the City.

- 2. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.**

Analysis: The project was reviewed to ensure it will not create conflicts with vehicular, bicycle, or pedestrian modes of transportation. A traffic analysis was conducted to ensure all movements on site are being performed safely.

- 3. The site layout (orientation and placement of buildings and parking areas), as well as the landscaping, lighting, and other development features, is compatible with and complements the existing surrounding environment and ultimate character of the area under the General Plan.**

Analysis: As reviewed and conditioned, this project will be compatible with and complement the existing surrounding environment as it develops. The project was reviewed with sound planning principles in mind and meets the standards and requirements of the General Plan and Municipal Code.

- 4. The proposed architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing, and similar elements, establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.**

Analysis: The architecture, as described above, has a clear design concept, and has been thoughtfully designed to be appropriate for its location, as well as with the nearby residential uses.

Minor Use Permit Findings

The gas station and both drive-thru uses (quick-serve restaurant and car wash) require a Minor Use Permit. The approving authority for a Minor Use Permit is the Community Development Director, but when a project requires more than one land use entitlement with more than one Approving Authority, all entitlements shall be processed concurrently and final action shall be taken by the highest-level designated Approving Authority for all requested land use entitlements. The findings for a Minor Use Permit are below:

- 1. The proposed use is consistent with the General Plan, any applicable Specific Plan, and the provisions of this Title.**

Analysis: As mentioned above, the project site has a General Plan Land Use designation of NC and will comply with all applicable standards and provisions of the General Plan and Municipal Code. The project is not part of a Specific Plan.

- 2. The proposed use is consistent with the purpose of the applicable district or districts.**

Analysis: The proposed uses are consistent with the standards of the CN zoning district.

- 3. The proposed use will not be materially detrimental to the health, safety, and welfare of the public or to property and residents in the vicinity.**

Analysis: The proposed uses have been reviewed and conditioned to ensure they will not be materially detrimental to the health, safety, and welfare of the public or to property and residents in the vicinity. This was done via a site plan and design review, as well as an environmental Initial Study that reviewed potential impacts, and included a health risk assessment, a noise study, and a traffic study. The project complies with all development standards, and will comply with all performance standards.

- 4. The proposed project is consistent with the objectives of the General Plan, complies with applicable zoning regulations, Planned Development, Master Plan or Specific Plan provisions, Improvement Standards, and other applicable standards and regulations adopted by the City.**

Analysis: As described above, the uses and site layout have been reviewed to be consistent with the General Plan and CN zoning district, and will comply with all applicable Improvement Standards, and other applicable standards and regulations adopted by the City. This project is not part of a Master Plan or Specific Plan.

Findings for Drive-Thrus

The Municipal Code states that in addition to standard Use Permit findings that were discussed above, all of the special findings below shall be made in order for the Planning Commission to approve the requested Minor Use Permit for the drive-thru uses.

- 1. The design and location of the facility and lane will not contribute to increased congestion on public or private streets adjacent to the subject property.**

Analysis: The layout of both drive-thrus on site (car wash and quick-service restaurant) were reviewed to conform with the drive-thru standards of the Municipal Code in that they will be located at least 25 feet from the closest right-of-way, and based on the traffic study's analysis, they each have the adequate amount of stacking to ensure they will be separated from the site's ingress and egress routes or access to a parking space.

- 2. The design and location of the facility and lane will not impede access to or exit from the parking lot serving the facility nor impair normal circulation within the parking lot.**

Analysis: As mentioned above, the traffic study determined that the drive-thrus have the adequate amount of stacking required to ensure the drive-thru lanes will not impede access from the parking lot serving the facility nor impair normal circulation within the parking lot.

3. The design and location of the facility will not create a nuisance for adjoining properties. (Ord. 1501 § 1, 2011)

Analysis: The project was reviewed and conditioned to ensure it will not create a nuisance for the adjoining properties in that the drive-thrus are fully separated from the adjacent site, will not spillover onto the adjacent site, and meet the distance requirements from adjacent residential properties.

Findings for Outdoor Seating:

1. The proposed outdoor seating area does not interfere with pedestrian mobility within designated pathways (e.g., sidewalk) or reduce the width of pathways to an amount less than that required under the Americans with Disabilities Act and the City-adopted Building Code.

Analysis: As reviewed and conditioned, the outdoor seating area does not interfere with pedestrian mobility within the designated pathways or reduce the width of pathways to an amount less than that required under the Americans with Disabilities Act and the City-adopted Building Code.

2. The proposed outdoor seating area does not interfere with access of public employees and utility workers to meters, fire hydrants, or other public utilities and facilities in the right-of-way.

Analysis: As reviewed and conditioned, the outdoor seating area will not interfere with access of public employees and utility workers to meters, fire hydrants, or other public utilities and facilities in the right-of-way.

3. The proposed outdoor seating area does not block or obstruct the view of necessary authorized traffic devices.

Analysis: As proposed, the outdoor seating area will not block or obstruct the view of necessary authorized traffic devices.

CLIMATE ACTION PLAN CONFORMANCE

On October 15, 2013, the Manteca City Council approved and adopted the Air Quality Element Update and Climate Action Plan in response to the passing of Assembly Bill AB32. The intent of this plan is to reduce overall greenhouse gas emissions in both private and public sector development. The proposed project conforms to the following Climate Action Plan strategies:

1. CAP Strategies Water Conservation WC-1: The City shall continue to implement water conservation measures to comply with the Model Water Efficiency Landscape requirements that implement the Water Conservation in Landscaping Act of 2006 (Assembly Bill 1881, Laird).

Analysis: This project is required to comply with the Model Water Efficient Landscape Ordinance, per Assembly Bill 1881.

2. Municipal Strategies - Urban Forestry (UF) UF-2: The City of Manteca will consider the following goals and actions when revising its urban forestry program:

- **Increase public and private tree plantings citywide**
- **Use canopy trees along new major roadways and in new developments**

Analysis: This project will increase the City's tree canopy by installing approximately 60 new trees throughout the site, including along West Lathrop Road and North Airport Way.

ENVIRONMENTAL REVIEW

As the lead agency for the project, the City had a consultant prepare an Initial Study/Mitigated Negative Declaration (MND) pursuant to and in accordance with the California Environmental Quality Act (CEQA) checklist in Appendix G of the CEQA Guidelines. The IS/MND prepared by Dudek identified and analyzed the potential environmental impacts of the proposed project. The study also included a health risk assessment, noise study, and traffic analysis to ensure the project would not have significant impacts, especially for the adjacent residential community. Where the analysis provided in this document identified potentially significant environmental effects of the project, mitigation measures were prescribed. The IS/MND is available for review on the City's website here:

<https://www.manteca.gov/home/showpublisheddocument/6205/638357228512940372>

The IS/MND was circulated for a 30-day public review period starting September 19, 2023 and ending October 19, 2023. Staff received one comment letter from the Central Valley Regional Water Quality Control Board. Generally, the concerns raised in the letter were about protecting the quality of surface water and ground waters of the State. The IS/MND evaluated the project's potential effects related to these environmental impact areas in Section 3.10 Hydrology. All impacts were determined to be less than significant or less than significant with the implementation of mitigation. The CEQA Guidelines do not require the City to prepare an official response to public comments for IS/MNDs, but the consultant provided a response to comments, which is available in the MND, confirming that the impacts are less than significant. The comment letter and the response from Dudek are also provided in this report, as Attachment 5.

Based on the facts and finding presented in this staff report, staff believes that the Planning Commission can make the necessary findings to adopt the MND, and approve the Commercial Site Plan & Design Review and Minor Use Permit for Airport Plaza.

Report prepared by: Mallorie Fenrich, Senior Planner

Attachments:



City of Manteca

PLANNING COMMISSION RESOLUTION NO. 1640

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MANTECA, STATE OF CALIFORNIA CERTIFYING AN INITIAL STUDY/MITIGATED NEGATIVE DECLARATION (SCH#2023090415) FOR AIRPORT PLAZA LOCATED AT 2060 WEST LATHROP ROAD FILE NOS. SPC 21-99 & UPN 21-100

WHEREAS, the Manteca Planning Commission at their duly noticed public hearing of December 6, 2023, considered an Initial Study/Mitigated Negative Declaration with a Mitigation Monitoring Reporting Program for Airport Plaza, as filed by Jarnail Kamboj at 1017 Marigold Lane, Manteca, CA 95336; and,

WHEREAS, Airport Plaza is located at 2060 West Lathrop Road, identified by Assessor's Parcel Number (APN) 202-020-14; and,

WHEREAS, the associated Site Plan & Design Review and Minor Use Permit applications are for the development of a Chevron gas station with 16 fuel pumps, a 3,400-square-foot Extra Mile Convenience Store with an attached 1,300-square-foot drive-thru car wash, a 2,500-square-foot drive-thru quick-service restaurant, a 1,900-square-foot restaurant building, and a 7,800-square-foot retail building with 2,000 square feet of restaurant space; and,

WHEREAS, an Initial Study/Mitigated Negative Declaration ("MND") was prepared for the project, dated November 2023, which found the project will have less than significant impacts on the environment as long as all mitigation measures are followed as noted in the Mitigation Monitoring and Reporting Program (MMRP) included with this Resolution as **Exhibit A**; and

WHEREAS, the Planning Commission has considered all information related to this matter, as presented at the public meetings of the Planning Commission identified herein, including any supporting reports by City Staff, and any information provided during said public meetings.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission adopts the Initial Study/Mitigated Negative Declaration (MND) with a Mitigation Monitoring Program and makes the following findings pursuant to CEQA:

1. The Airport Plaza Mitigated Negative Declaration, which consists of the IS/MND, Comments and Responses to Comments, was completed in accordance with the requirements of CEQA, and the CEQA Guidelines;
2. The IS/MND was prepared, published, circulated and reviewed in accordance with the requirements of CEQA, and the CEQA Guidelines, and constituted and adequate,

accurate, objective and complete document addressing all issues relevant to the approval of the project;

3. The Planning Commission reviewed and considered the information contained within the IS/MND prior to acting on the proposed Project, and finds that the IS/MND reflects the independent judgement and analysis of the City;
4. The IS/MND contains certain additions, clarifications, modifications or other revisions (as the result of the public review and comments on the IS/MND, and responses to those comments), but such work does not present substantial revisions or significant new information requiring recirculation of the IS/MND;
5. The IS/MND identified all potentially significant adverse environmental impacts and feasible mitigation measures or standard conditions of approval that would reduce these impacts to a less-than-significant level. All of the mitigation measures identified in the IS/MND are adopted and will be implemented as Conditions of Approval for the Project. The Planning Commission finds that on the basis of the whole record before it, there is no substantial evidence that the Project, as mitigated in the Mitigated Negative Declaration, will have a significant impact on the environment;
6. The monitoring and reporting of CEQA mitigation measures in connection with the Project will be conducted in accordance with the attached MMRP incorporated into the Conditions of Approval for the Project. Adoption of the Mitigation Monitoring and Reporting Program will constitute fulfillment of the CEQA monitoring and/or reporting requirement set forth in Section 21081.6 of CEQA. All proposed mitigation measures are capable of being fully implemented by the Project Applicant.

I hereby certify that Resolution No. 1640 was passed and adopted by the Planning Commission of the City of Manteca at a regularly scheduled public hearing held on December 6, 2023, by the following vote:

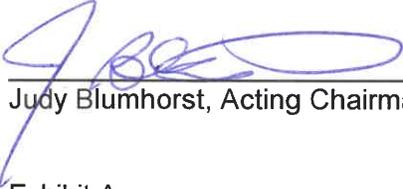
Roll Call:

AYES: BLUMHORST, FIORE, HARVEY

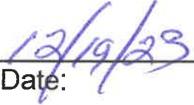
NOES: MENDOZA

ABSTAIN: NONE

ABSENT: LAFFRANCHI, HAYES



Judy Blumhorst, Acting Chairman



Date:

Exhibit A:
Mitigation Monitoring Reporting Program

Airport Plaza Project

Mitigation Monitoring and Reporting Program

INTRODUCTION

This Mitigation Monitoring and Reporting Program (MMRP) has been prepared pursuant to Public Resources Code section 21081.6 of the California Environmental Quality Act (CEQA), to provide for the monitoring of mitigation measures required for the Airport Plaza project, as set forth in the Initial Study/Mitigated Negative Declaration (IS/MND) prepared for the project (SCH No. 2023090415). This report will be kept on file in the City of Manteca Development Services office located at 1215 W. Center Street, Suite 201, Manteca, CA 95337.

MONITORING SCHEDULE

City of Manteca staff will be responsible for ensuring compliance with mitigation monitoring applicable to project construction. City staff will oversee preparation of reports documenting compliance with the adopted mitigation measures. Once construction has begun and is underway, monitoring of the mitigation measures associated with construction will be included in the responsibilities of designated staff, who shall either prepare or oversee preparation of reports, if required, no less than once a month until construction has been completed. Once construction has been completed, the City will monitor the project as deemed necessary.

FORMAT OF MITIGATION MONITORING MATRIX

The mitigation monitoring matrix on the following pages identifies the environmental issue areas for which monitoring is required. The table includes the following information:

- List of mitigation measures
- Party responsible for implementing the mitigation measures
- Party responsible for monitoring completion of the mitigation measures
- Timing for implementation
- Performance evaluation/completion

Airport Plaza Project
Mitigation Monitoring and Reporting Program Matrix

Air Quality	Mitigation Measure	Implementation Responsibility	Monitoring Responsibility	Timing	Performance Evaluation Criteria
AQ-1	Between June 1 and November 30, when Valley Fever rates of infection are the highest, additional dust suppression measures (such as additional water or the application of additional soil stabilizer) will be implemented prior to and immediately following ground-disturbing activities if wind speeds exceed 15 mph or temperatures exceed 95 ° F for 3 consecutive days. The additional dust suppression will continue until winds are 10 mph or lower and outdoor air temperatures are below 90 ° F for at least 2 consecutive days. The additional dust suppression measures will be incorporated into the dust control plan.	Project contractor	City	During construction activities	Compliance with additional dust suppression measures in the dust control plan
AQ-2	Prior to any project grading activity, the primary project construction contractor will prepare and implement a worker training program that describes potential health hazards associated with Valley Fever, common symptoms, proper safety procedures to minimize health hazards, and notification procedures if suspected work-related symptoms are identified during construction. The worker training program will identify safety measures to be implemented by construction contractors during construction. Safety measures will include the following: <ul style="list-style-type: none"> • Provide HEPA-filtered air-conditioned enclosed cabs on heavy equipment. Train workers on proper use of cabs, such as turning on air conditioning prior to using the equipment. • Provide communication methods, such as two-way radios, for use by workers in enclosed cabs. 	Project contractor	City	During construction activities	Compliance with listed safety measures

Mitigation Measure	Implementation Responsibility	Monitoring Responsibility	Timing	Performance Evaluation Criteria
<ul style="list-style-type: none"> • Provide personal protective equipment, such as half-mask and/or full-mask respirators equipped with particulate filtration, to workers active in dusty work areas. • Provide separate, clean eating areas with hand-washing facilities for construction workers. • Clean equipment, vehicles, and other items before they are moved off site to other work locations. • Provide training for construction workers so they can recognize the symptoms of Valley Fever and promptly report suspected symptoms of work-related Valley Fever to a supervisor. • Direct workers that exhibit Valley Fever symptoms to immediately seek a medical evaluation. • Prior to initiating any grading, the construction contractor will provide the County program manager with copies of all educational training material. 				
Biological Resources				
BIO-1 To the extent feasible, the City of Manteca shall schedule vegetation removal activities during the non-breeding season for birds in the region (August 16 through February 14). If vegetation removal must be carried out during the breeding season, a qualified biologist shall conduct a nesting bird survey within 1 week prior to said activities to determine if any birds are nesting on or near the project site (including a 500-foot buffer for raptors). If any active nests are observed during surveys, a suitable avoidance buffer from the nests shall be determined and flagged by a qualified biologist based on species, location, and planned construction activities. Consultation with the California	City, qualified biologist	City	Before and during vegetation removal and construction activities	Completion of nesting bird survey and establishment of necessary avoidance buffers

Mitigation Measure	Implementation Responsibility	Monitoring Responsibility	Timing	Performance Evaluation Criteria
<p>Department of Fish and Wildlife may be required to determine appropriate buffer distances. These nests shall be avoided until the chicks have fledged and the nests are no longer active, as determined by the qualified biologist.</p>				
<p>Cultural Resources</p>				
<p>CUL-1</p> <p>All employees should be alerted to the potential to encounter archaeological material. In the event that cultural resources (sites, features, or artifacts) are exposed during work activities for the proposed Project, all ground disturbing work occurring within 100 feet of the find shall immediately stop until a qualified specialist, meeting the Secretary of the Interior's Professional Qualification Standards, can evaluate the significance of the find and determine whether additional study is warranted. Prehistoric archaeological deposits may be indicated by the presence of discolored or dark soil, fire-affected material, concentrations of fragmented or whole freshwater bivalves shell, burned or complete bone, non-local lithic materials, or the characteristic observed to be atypical of the surrounding area. Common prehistoric artifacts may include modified or battered lithic materials; lithic or bone tools that appeared to have been used for chopping, drilling, or grinding; projectile points; fired clay ceramics or non-functional items; and other items. Historic-age deposits are often indicated by the presence of glass bottles and shards, ceramic material, building or domestic refuse, ferrous metal, or old features such as concrete foundations or privies. Depending upon the significance of the find under CEQA (14 CCR 15064.5(f); PRC Section 21082), the archaeologist may simply record the find and allow work to continue. If the discovery proves significant under CEQA, additional work, such as preparation of an archaeological treatment plan, testing, or data recovery may be warranted.</p>	<p>City, project contractor, qualified archaeologist</p>	<p>City</p>	<p>During construction activities</p>	<p>Evaluation of any resources found and additional work as necessary</p>

Mitigation Measure	Implementation Responsibility	Monitoring Responsibility	Timing	Performance Evaluation Criteria
<p>CUL-2</p> <p>In accordance with Section 7050.5 of the California Health and Safety Code, if human remains are found, the County Coroner shall be immediately notified of the discovery. No further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains shall occur until the County Coroner has determined, within 2 working days of notification of the discovery, the appropriate treatment and disposition of the human remains. If the County Coroner determines that the remains are, or are believed to be, Native American, he or she shall notify the NAHC in Sacramento within 24 hours. In accordance with California Public Resources Code, Section 5097.98, the NAHC must immediately notify those persons it believes to be the most likely descendant from the deceased Native American. The designated Native American representative would then determine, in consultation with the property owner, the disposition of the human remains.</p>	City, project contractor	City	During construction activities	Notification and compliance with Section 7050.5 of the California Health and Safety Code and PRC Section 5097.98
Geology and Soils				
<p>GEO-1</p> <p>Prior to commencement of any grading activity on site, the applicant shall retain a qualified paleontologist per the Society of Vertebrate Paleontology (SVP) (2010) guidelines. The paleontologist shall prepare a Paleontological Resources Impact Mitigation Program (PRIMP) for the project. The PRIMP shall be consistent with the SVP guidelines and should outline requirements for pre-construction meeting attendance and worker environmental awareness training; where monitoring is required within the proposed project site based on construction plans and/or geotechnical reports; procedures for adequate paleontological monitoring and discoveries treatment; and paleontological methods (including sediment sampling for microvertebrate fossils), reporting, and collections management. The PRIMP shall also include a statement that any fossil lab</p>	City, project contractor, qualified paleontologist	City	Before and during construction activities	Preparation of PRIMP in compliance with SVP guidelines

Mitigation Measure	Implementation Responsibility	Monitoring Responsibility	Timing	Performance Evaluation Criteria
<p>or curation costs (if necessary due to fossil recovery) are the responsibility of the project proponent. The qualified paleontologist shall attend the pre-construction meeting, and a qualified paleontological monitor shall be on site during all rough grading and other significant ground-disturbing activities (including augering) in previously undisturbed, fine-grained Pleistocene alluvial deposits. In the event that paleontological resources (e.g., fossils) are unearthed during grading, the paleontological monitor will temporarily halt and/or divert grading activity to allow recovery of paleontological resources. The area of discovery will be roped off with a 50-foot radius buffer. Once documentation and collection of the find is completed, the monitor will remove the rope and allow grading to recommence in the area of the find.</p>				
Transportation				
<p>TR-1 Prior to receipt of the Certificate of Occupancy, the project applicant shall modify, at their expense, the medians of Airport Way and Lathrop Road along the project frontages to enable all movements to be permitted at Driveways 1 and 3; and movements at Driveway 2 to be restricted to right-turn in/out movements only. To accommodate southbound left-turns into Driveway 1, it is recommended that the northbound left-turn lane length be reduced to 200 feet, with the 135 feet of distance that is modified becoming a southbound left-turn lane into Driveway 1 (i.e., back-to-back left turn lanes). The median modifications shall be designed per City standards and approved by the City's Engineering Department prior to modifications.</p>	Project applicant	City	Prior to receipt of Certificate of Occupancy	Completion of modifications designed and approved by City
<p>TR-2 Prior to site plan approval by the City, the project applicant shall incorporate the following modification at Driveway 3 for the final design of the project site: <i>Driveway 3.</i> Install stop signs on the northbound and eastbound approaches to the first internal intersection</p>	Project application	City	Prior to site plan approval	Incorporation and installation of stop signs at Driveway 3

Mitigation Measure	Implementation Responsibility	Monitoring Responsibility	Timing	Performance Evaluation Criteria
<p>near this driveway (with inbound movements provided priority right-of-way). This will ensure that if a queue of four vehicles arrives, the fourth vehicle will be waiting at the stop sign versus blocking the intersection.</p>				



City of Manteca

PLANNING COMMISSION RESOLUTION NO. 1641

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MANTECA MAKING FINDINGS AND APPROVING THE SITE PLAN & DESIGN REVIEW APPLICATION AND MINOR USE PERMIT FOR AIRPORT PLAZA AT 2060 WEST LATHROP ROAD (APN: 202-020-14): FILE NOS. SPC 21-99 & UPN-21-100

WHEREAS, the Manteca Planning Commission at its duly noticed public hearing of December 6, 2023, considered a Site Plan and Design Review Application and Minor Use Permit for the Airport Plaza project, as filed by Jarnail Kamboj at 1017 Marigold Lane, Manteca, CA 95336; and

WHEREAS, the Airport Plaza project is located at 2060 West Lathrop Road, identified by Assessor's Parcel Number (APN) 202-020-14; and,

WHEREAS, the project is a commercial development consisting of a 16-pump Chevron Gas Station with a fuel canopy, a 3,500-square-foot Extra Mile Convenience Store with an attached 1,300-square-foot drive-thru car wash, a 2,500-square-foot quick-serve restaurant, a 1,900-square-foot restaurant building, and a 7,800 square-foot commercial building with 2,000 square-feet of restaurant space at 2060 West Lathrop Road; and,

WHEREAS, the approved project plans for are attached as **Exhibit A**; and

WHEREAS, the project Conditions of Approval are attached as **Exhibit B**; and

WHEREAS, the current General Plan land use designation for the project site is Neighborhood Commercial (NC), the Zoning Designation is Neighborhood Commercial (CN), and the General Plan Update's designation and zone will be Commercial (C); and,

WHEREAS, the project is consistent with land use policies of the General Plan in that the project's design reinforces strong urban design, quality development, and a compact City form, promotes infill and completes gaps in the circulation system; and,

WHEREAS, the project is consistent with community design goals and policies of the General Plan in that this development includes distinctive contemporary architecture with a high level of visual interest, and will also include a strong tree canopy and landscape plan to upgrade and enhance the visual quality of Lathrop Road and Airport Way. The project will also include a pedestrian courtyard for visitors to enjoy; and

WHEREAS, the project is consistent with the City's Climate Action Plan in that the proposed project will conform to all applicable Model Water Efficiency Landscape requirements (MWELO) and it will install many new trees; and

WHEREAS, the project has been evaluated through an Initial Study/Mitigated Negative Declaration (“MND”), dated November 2023, which found the project will have less than significant impacts on the environment as long as all mitigation measures are followed as noted in the Mitigation Monitoring and Reporting Program included with the MND.

NOW, THEREFORE, BE IT RESOLVED that the Manteca Planning Commission pursuant to the Manteca Municipal Code, upon evidence in the staff report and project file makes the following findings to approve the Site Plan & Design Review, No. SPC 21-99:

1. The proposed project is consistent with the objectives of the General Plan and, as conditioned, complies with applicable zoning regulations, Improvement Standards, and other applicable standards and regulations adopted by the City in that the proposed use complies with the development standards of the Neighborhood Commercial designation and zone, is an allowed use in the NC designation and CN zone, and, as conditioned, meets the requirements of Title 17.
2. The proposed project will not create conflicts with vehicular, bicycle or pedestrian transportation modes of circulation in that the on-site circulation has been reviewed for appropriate ingress and egress. A traffic analysis was conducted to ensure the project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.
3. The site layout (orientation and placement of buildings and parking areas), as well as the landscaping, lighting and other development features as conditioned, is compatible with and compliments the surrounding environment and ultimate character of the area under the General Plan in that this commercial development is within the scope and character of the NC General Plan designation, and the site layout and design was reviewed with sound planning principles in mind and meets the standards and requirements of the General Plan and Municipal Code.
4. The proposed architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing, and similar elements as conditioned, establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties in that the project uses variations in color, depth and material to create a clear design concept, and compatible with the neighboring uses.

BE IT FURTHER RESOLVED AND ORDERED that the Manteca Planning Commission pursuant to the Manteca Municipal Code, upon evidence in the staff report and project file makes the following findings to approve the Minor Use Permit UPN 21-100:

1. The proposed use is consistent with the General Plan, and will comply with all applicable standards and provisions of the General Plan and Municipal Code. The project is not part of a Specific Plan.
2. The proposed use is consistent with the purpose of the applicable district or districts in that a gas station, convenience store with attached drive-thru car wash, quick-serve restaurant, restaurant building, and retail building with restaurant space are appropriate uses for the CN zoning district and land use designation as the NC designation supports these uses.
3. The proposed uses have been reviewed and conditioned to ensure they will not be materially detrimental to the health, safety, and welfare of the public or to property and residents in the vicinity. This was done via a site plan and design review, as well as an environmental Initial Study that reviewed potential impacts, which included a health risk

assessment, a noise study, and a traffic study. The project complies with all development standards, and will comply with all performance standards.

4. The uses and site layout have been reviewed to be consistent with the General Plan and CN zoning district, and will comply with all applicable Improvement Standards, and other applicable standards and regulations adopted by the City. This project is not part of a Master Plan or Specific Plan.

BE IT FURTHER RESOLVED AND ORDERED RESOLVED that the Manteca Planning Commission pursuant to the Manteca Municipal Code, upon evidence in the staff report and project file makes the following findings to approve the proposed drive-thrus:

1. The layout of both drive-thrus on site were reviewed to conform with the drive-thru standards of the Municipal Code in that they will be located at least 25 feet from the closest right-of-way, and based on the traffic study's analysis, they each have the adequate amount of stacking to ensure they will be separated from the site's ingress and egress routes or access to a parking space. Therefore, the design and location will not contribute to increased congestion on public or private streets adjacent to the property.
2. The design and location of the drive-thrus will not impede access to or exit from the parking lot serving the facility nor impair normal circulation within the parking, in that the traffic study determined that the drive-thrus have the adequate amount of stacking required to ensure the drive-thru lanes will not impede access from the parking lot serving the facility nor impair normal circulation within the parking lot.
3. The design and location of the drive-thrus will not create a nuisance for adjoining properties in the drive-thrus, as they were reviewed to ensure they are fully separated from the adjacent site and will not spillover onto the adjacent site.

BE IT FURTHER RESOLVED AND ORDERED RESOLVED that the Manteca Planning Commission pursuant to the Manteca Municipal Code, upon evidence in the staff report and project file makes the following findings to approve the proposed outdoor seating:

1. The proposed outdoor seating area will not interfere with pedestrian mobility within designated pathways (e.g., sidewalk) or reduce the width of pathways to an amount less than that required under the Americans with Disabilities Act and the City-adopted Building Code.
2. The proposed outdoor seating area will not interfere with access of public employees and utility workers to meters, fire hydrants, or other public utilities and facilities in the right-of-way.
3. The proposed outdoor seating area will not block or obstruct the view of necessary authorized traffic devices.

I hereby certify that Resolution No. 1641 was passed and adopted by the Planning Commission of the City of Manteca at a regularly scheduled public hearing held on December 6, 2023 by the following vote:

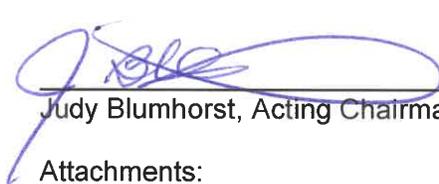
Roll Call:

AYES: BLUMHORST, FIORE, HARVEY

NOES: MENDOZA

ABSTAIN: NONE

ABSENT: LAFFRANCHI, HAYES



Judy Blumhorst, Acting Chairman



Date:

Attachments:

Attachment 1 - Exhibit A- Approved Plan Set

Attachment 2 - Exhibit B- Conditions of Approval



**City of Manteca
Development Services Department**

**Conditions of Approval
Airport Plaza
Site Plan Review SPC 21-99 & Minor Use Permit UPN 21-100
December 6, 2023**

Project File Numbers: SPC 21-99 & UPN 21-100
Project Name: Airport Plaza
Project Address: 2060 West Lathrop Road, Manteca, CA 95336
APN: 202-020-14
Project Applicant: Jarnail Kamboj, 1017 Marigold Ln., Manteca, CA 95336
Property Owners: Jarnail & Parmjit Kamboj, 1017 Marigold Ln., Manteca, CA 95336

NOTE: This list of conditions is not intended to be all-inclusive or a comprehensive list of City regulations. All conditions are referenced to the Airport Plaza Project Plan Set (dated 07/12/21) on file with the City of Manteca, Development Services Department, Planning Division.

City of Manteca Development Services Department: Planning Division

1. **Acceptance of Conditions.** Unless the applicant formally objects to these conditions prior to approval by the Planning Commission, the applicant is bound by, must comply with, and must do all things required of or by the applicant pursuant to all of the terms, provisions, and conditions of these Conditions of Approval. All costs associated with compliance with the conditions shall be at the owner/developer's expense.

2. **Expiration of Approval.** This approval for a Site Plan and Design Review Application and Minor Use Permit shall automatically expire on **December 6, 2025, or 24 months from and after the date of issuance.** The date of issuance is the date these entitlements are approved by the Planning Commission. Prior to the expiration date, the applicant may apply for an extension not to exceed one year.

3. **Vested Rights.** This approval does not vest applicant's rights regarding future development. All ordinances, resolutions, rules, regulations and official policies

governing design, improvement and construction standards and specifications applicable to the project and public improvements to be constructed by the applicant shall be those in force and effect at the time the applicable plan or permit approval is granted.

4. **Vesting Fees.** This approval does not vest applicant's rights regarding the payment of any development impact fees, exactions and dedications, processing fees, inspection fees, plan checking fees or charges, or any other fee or charge that could have been legally imposed by the City when the original application was deemed complete. All fees and charges shall be paid at the rate in effect at the time such fees are customarily due.
5. **Fees.** The applicant shall pay all applicable processing fees, permit fees, City development fees, fire fees, school fees, drainage fees, habitat conservation fees and other public entity fees in effect at the time of the issuance of the applicable permit.
6. **Outside Agency Fees.** It is the responsibility of the owner/developer to contact all outside agencies and pay applicable fees associated with this project.
7. **Conformance to Plans.** This approval is dependent upon and limited to the proposals and plans contained, supporting documents submitted, presentations made to staff, Planning Commission and/or City Council as affirmed to by the applicant. Any variation from these plans, proposals, supporting documents or presentations is subject to review and approval prior to implementation.
8. **Subsequent Development.** All activities undertaken in accordance with this approval shall comply with the City's General Plan and Municipal Code. In cases of conflict between the City's Municipal Code or map-specific conditions of approval, the governing priority shall be, to the extent legally permitted, as follows: 1) Municipal Code regulations; 2) project-specific conditions; 3) standard conditions. The applicant shall comply with all regulations and code requirements of the Development Services Director, City Engineer, Building Official, Fire Chief, the Police Chief and any other agencies requiring review of the project. If required, these agencies shall be supplied copies of the final maps, site plans, public improvement plans, grading plans and building plans.
9. **Structure Conformance.** Applicant shall ensure all structures will be built in compliance with the City's Zoning Ordinance.
10. **Utility Companies.** The applicant is responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.
11. **Other Requirements.** The applicant shall secure and comply with all applicable federal, state and local licenses, permits, authorizations, conditions, agreements, and orders prior to or during construction and operation, as appropriate.
12. **Failure to Comply.** Should the project be found, at any time, not to comply with any of the Conditions of Approval, or should the applicant construct or operate this development in any way other than specified in the Application or Supporting documents or presentations to staff, Planning Commission or City Council, as

modified by the Conditions of this Approval, then the terms of this Approval shall be considered violated.

13. **Indemnification.** The applicant shall indemnify and hold harmless the City, its council members and commissioners, officers, agents, employees, and representatives from liability for any award, damages, costs and fees, including without limitation attorneys' fees, incurred by the City and/or awarded to any plaintiff in any action related to or arising out of the City's approval of this project or subdivision Map or any environmental or other documentation related to this project or subdivision Map. The applicant further agrees to provide a defense for the City in any such action.
14. **Limits of Approval.** Approval of this application does not constitute approval of any other entitlement or any other necessary permit, license, or approval.
15. **Compliance with Local and State Laws.** The subject use shall be conducted in full compliance with all local and state laws. No part of this approval shall be construed to permit a violation of any part of the Manteca Municipal Code. This Site Plan & Design Review and Minor Use Permit shall be subject to revocation if the subject use is conducted in such a manner as to cause a nuisance.
16. **Erosion Prevention.** The applicant shall take all necessary measures to ensure that his activities or those of his agents do not result in measurable erosion of soils on the site, either wind or water, during the construction and operation of the project covered by this approval.
17. **Location of Conditions.** All conditions of approval for this project shall be written by the project developer on all building permit plan check sets submitted for review and approval. These conditions of approval shall be on, at all times, all grading and construction plans kept on the project site. It is the responsibility of the building developer to ensure that the project contractor is aware of, and abides by, all conditions of approval. Prior approval from the Planning Manager must be received before any changes are constituted in site design, grading, building design, building colors or materials, etc.
18. **Roof mounted screening.** Applicant/developer shall ensure all roof mounted equipment shall remain screened from public street view.
19. **Signage.** All signage shall be submitted as a separate building permit from the Building Division and shall comply with Chapter 17.54 of the Zoning Ordinance. No signage has been approved with this Site Plan & Design Review.
20. **Master Sign Program.** This project will require a Master Sign Program, as the project includes three or more tenant spaces that share the same parcel and use common access and parking facilities. Refer to Code Section 17.10.090.
21. **On-site Lighting.** All on-site lighting for parking areas, pedestrian areas and vehicular or pedestrian paths of travel shall be LED lighting. Any new lighting is required to submit a photometric plan for review showing it complies with the following standards (17.50.060.D.):

- b. Parking lots, driveways, trash enclosures/areas, public phones, and group mailboxes shall be illuminated with a minimum maintained 1 foot-candle of light and an average not to exceed 4 foot-candles of light. The illumination shall not exceed 10 foot-candles in any one location.
- c. Pedestrian walkways shall be illuminated with a minimum maintained 0.5 foot-candle of light and an average not to exceed 2 foot-candles of light.
- d. Entryways and exterior doors of nonresidential structures shall be illuminated during the hours of darkness with a minimum maintained 1 foot-candle of light, measured within a 5-foot radius on each side of the door at ground level.

22. Site Conditions. The site shall be maintained in a neat and clean manner free of weeds, trash and debris.

23. Landscaping. Required planting areas shall be permanently maintained by water, clearing debris and litter, weeding, pruning, insect control, and replacement of plant materials and irrigation equipment as needed to preserve the health and appearance of plant materials. All landscaping shall be maintained in such a manner as to not restrict designated pedestrian access. All trees, shrubs, and plants which, due to accident, damage, disease, or other cause, fail to show a healthy growth shall be replaced, in kind, pursuant to the approved landscape plans within 30 days from the identified damage date. (MMC 17.48.060.A)

24. Design Requirements Prior to Building Permit Issuance:

- a) Prior to issuance of a Certificate of Occupancy, the applicant shall ensure that the site is developed in accordance with the plans dated 7/12/21. Development of the site shall not be modified by the applicant/developer or by any City Department or Division without prior express written approval by the designated approving authority as stipulated in Section 17.10.060 (C) of the City of Manteca Municipal Code. If any structure(s) landscaping, parking, signage or other features of the approved plans are installed, constructed or removed or site improvements otherwise deviate from what was shown or illustrated on these approved plans, that shall render this entitlement modified. All modifications shall be brought into conformance with the approved site plan at the sole expense of the applicant/developer. When modifications have taken place, a Certificate of Occupancy shall not be granted until either: a) the site has been brought into conformance with these approved plans; or, b) the applicant/developer files an application for the appropriate amendment and that application has been approved.
- b) All conditions of approval for this project shall be written by the project developer on all building permit plan check sets submitted for review and approval. These conditions of approval shall be on, at all times, all grading and construction plans kept on the project site. It is the responsibility of the building developer to ensure that the project contractor is aware of, and abides by, all conditions of approval. Prior approval from the Deputy Director - Planning must be received

before any changes are constituted in site design, grading, building design, building colors or materials, etc.

25. **Signage.** Signage is not approved as part of this application. A separate sign plan shall be reviewed by the Planning Department prior to issuance of a Building Permit. This site shall require a Master Sign Program.
26. **Drive-Thru Landscaping.** Prior to building permit issuance, landscape plans must show a 5-foot wide planter with a minimum 3-foot-tall landscape barrier to screen glare for both drive-thrus on site, planted with trees and other landscaping consistent with those in the parking area. At no time shall this landscape barrier be pruned in a manner that allows the vehicle headlights from the drive-through lane to be visible from abutting street rights-of-way. The 3-foot-tall landscape barrier must be in place at time of building permit inspection.
27. **Outdoor Seating.** Prior to building permit issuance and final Planning inspection, outdoor seating area must comply with all Outdoor Seating Standards, found in Code Section 17.80.
28. **Site Lighting.** Prior to building permit issuance, the final illumination photometric must show there is zero light spillover (level of 0.0) at the property lines to the east and south.
29. **Fuel Canopy Design.** Prior to building permit issuance and to the satisfaction of the Development Services Director, the fuel canopy shall incorporate architectural details to match the architectural style of the buildings on site.
30. **Landscape.** Prior to building permit issuance, the final landscape plan must show compliance with all standards and regulations of the landscape ordinance.
 - a. A climbing vine shall be planted along the CMU block wall to soften its appearance.
31. **Masonry wall.** A masonry wall is a requirement when a commercial use is adjacent to a residential use. The masonry wall has already been constructed, but is required to remain in an orderly and good condition at all times.
32. **Mitigated Negative Declaration – Mitigation Monitoring Reporting Program.** This project shall comply with the following mitigations found in the project's Mitigation Monitoring Reporting Program and Mitigated Negative Declaration:
 - a. **Air Quality MM AQ-1:** Between June 1 and November 30, when Valley Fever rates of infection are the highest, additional dust suppression measures (such as additional water or the application of additional soil stabilizer) will be implemented prior to and immediately following ground-disturbing activities if wind speeds exceed 15 mph or temperatures

exceed 95°F for 3 consecutive days. The additional dust suppression will continue until winds are 10 mph or lower and outdoor air temperatures are below 90°F for at least 2 consecutive days. The additional dust suppression measures will be incorporated into the dust control plan.

- b. **Air Quality MM AQ-2:** Prior to any project grading activity, the primary project construction contractor will prepare and implement a worker training program that describes potential health hazards associated with Valley Fever, common symptoms, proper safety procedures to minimize health hazards, and notification procedures if suspected work-related symptoms are identified during construction. The worker training program will identify safety measures to be implemented by construction contractors during construction. Safety measures will include the following:
- i. Provide HEPA-filtered air-conditioned enclosed cabs on heavy equipment. Train workers on proper use of cabs, such as turning on air conditioning prior to using the equipment.
 - ii. Provide communication methods, such as two-way radios, for use by workers in enclosed cabs.
 - iii. Provide personal protective equipment, such as half-mask and/or full-mask respirators equipped with particulate filtration, to workers active in dusty work areas.
 - iv. Provide separate, clean eating areas with hand-washing facilities for construction workers.
 - v. Clean equipment, vehicles, and other items before they are moved off site to other work locations.
 - vi. Provide training for construction workers so they can recognize the symptoms of Valley Fever and promptly report suspected symptoms of work-related Valley Fever to a supervisor.
 - vii. Direct workers that exhibit Valley Fever symptoms to immediately seek a medical evaluation.
 - viii. Prior to initiating any grading, the construction contractor will provide the County program manager with copies of all educational training material.
- c. **Biological Resources MM BIO-1:** To the extent feasible, the City of Manteca shall schedule vegetation removal activities during the non-breeding season for birds in the region (August 16 through February 14). If vegetation removal must be carried out during the breeding season, a qualified biologist shall conduct a nesting bird survey within 1 week prior to said activities to determine if any birds are nesting on or near the project site (including a 500-foot buffer for raptors). If any active nests are observed during surveys, a suitable avoidance buffer from the nests shall be determined and flagged by a qualified biologist based on species, location, and planned construction activities. Consultation with the California Department of Fish and Wildlife may be required to

determine appropriate buffer distances. These nests shall be avoided until the chicks have fledged and the nests are no longer active, as determined by the qualified biologist.

- d. **Cultural Resources MM CUL-1:** All employees should be alerted to the potential to encounter archaeological material. In the event that cultural resources (sites, features, or artifacts) are exposed during work activities for the proposed Project, all ground disturbing work occurring within 100 feet of the find shall immediately stop until a qualified specialist, meeting the Secretary of the Interior's Professional Qualification Standards, can evaluate the significance of the find and determine whether additional study is warranted. Prehistoric archaeological deposits may be indicated by the presence of discolored or dark soil, fire-affected material, concentrations of fragmented or whole freshwater bivalves shell, burned or complete bone, non-local lithic materials, or the characteristic observed to be atypical of the surrounding area. Common prehistoric artifacts may include modified or battered lithic materials; lithic or bone tools that appeared to have been used for chopping, drilling, or grinding; projectile points; fired clay ceramics or non-functional items; and other items. Historic-age deposits are often indicated by the presence of glass bottles and shards, ceramic material, building or domestic refuse, ferrous metal, or old features such as concrete foundations or privies. Depending upon the significance of the find under CEQA (14 CCR 15064.5(f); PRC Section 21082), the archaeologist may simply record the find and allow work to continue. If the discovery proves significant under CEQA, additional work, such as preparation of an archaeological treatment plan, testing, or data recovery may be warranted.
- e. **Cultural Resources MM CUL-2:** In accordance with Section 7050.5 of the California Health and Safety Code, if human remains are found, the County Coroner shall be immediately notified of the discovery. No further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains shall occur until the County Coroner has determined, within 2 working days of notification of the discovery, the appropriate treatment and disposition of the human remains. If the County Coroner determines that the remains are, or are believed to be, Native American, he or she shall notify the NAHC in Sacramento within 24 hours. In accordance with California Public Resources Code, Section 5097.98, the NAHC must immediately notify those persons it believes to be the most likely descendant from the deceased Native American. The designated Native American representative would then determine, in consultation with the property owner, the disposition of the human remains.
- f. **Geology & Soils MM GEO-1:** Prior to commencement of any grading activity on site, the applicant shall retain a qualified paleontologist per the Society of Vertebrate Paleontology (SVP) (2010) guidelines. The paleontologist shall prepare a Paleontological Resources Impact

Mitigation Program (PRIMP) for the project. The PRIMP shall be consistent with the SVP guidelines and should outline requirements for pre-construction meeting attendance and worker environmental awareness training; where monitoring is required within the proposed project site based on construction plans and/or geotechnical reports; procedures for adequate paleontological monitoring and discoveries treatment; and paleontological methods (including sediment sampling for microvertebrate fossils), reporting, and collections management. The PRIMP shall also include a statement that any fossil lab or curation costs (if necessary due to fossil recovery) are the responsibility of the project proponent. The qualified paleontologist shall attend the pre-construction meeting, and a qualified paleontological monitor shall be on site during all rough grading and other significant ground-disturbing activities (including augering) in previously undisturbed, fine-grained Pleistocene alluvial deposits. In the event that paleontological resources (e.g., fossils) are unearthed during grading, the paleontological monitor will temporarily halt and/or divert grading activity to allow recovery of paleontological resources. The area of discovery will be roped off with a 50-foot radius buffer. Once documentation and collection of the find is completed, the monitor will remove the rope and allow grading to recommence in the area of the find.

- g. **Transportation MM TR-1:** Prior to receipt of the Certificate of Occupancy, the project applicant shall modify, at their expense, the medians of Airport Way and Lathrop Road along the project frontages to enable all movements to be permitted at Driveways 1 and 3; and movements at Driveway 2 to be restricted to right-turn in/out movements only. To accommodate southbound left-turns into Driveway 1, it is recommended that the northbound left-turn lane length be reduced to 200 feet, with the 135 feet of distance that is modified becoming a southbound left-turn lane into Driveway 1 (i.e., back-to-back left turn lanes). The median modifications shall be designed per City standards and approved by the City's Engineering Department prior to modifications.
- h. **Transportation MM TR-2:** Prior to site plan approval by the City, the project applicant shall incorporate the following modification at Driveway 3 for the final design of the project site:
 - i. *Driveway 3.* Install stop signs on the northbound and eastbound approaches to the first internal intersection near this driveway (with inbound movements provided priority right-of-way). This will ensure that if a queue of four vehicles arrives, the fourth vehicle will be waiting at the stop sign versus blocking the intersection.

City of Manteca Development Services Department: Building Safety Division

1. Accessible parking spaces complying with CBC § 11B-502 shall be provided in accordance with CBC Table 11B-208.2. CBC § 11B-208.2 and § 11B-208.2.4.

2. All entrances and exterior ground-floor exits to buildings and facilities shall be accessible and shall comply with CBC § 11B-404. CBC § 11B-206.4.1.
3. Developer shall obtain separate building permits for each structure, signage, trash enclosure, monument sign, pole light fixture, etc. per CBC Admin 104 prior to construction of said structure.
4. Adequate sanitary facilities shall be provided per the requirements of Chapter 4 of the California Plumbing Code and CPC Table 422.1.
5. Designated parking for clean air vehicles shall comply with 2019 CGBSC §5.106.5.2 and Table 5.106.5.2 and Electric Vehicle Charging spaces shall comply with 2016 CGBSC §5.106.5.3 and Table 5.106.5.3.3.
 - a. With 110 parking spaces, fourteen (14) clean air vehicle parking spaces are required.
 - b. With 110 parking spaces, eleven (11) EVCS parking spaces are required.
 - c. With 7 EVCS, 1 Van Accessible and 1 Standard accessible EVCS are required.
6. The Developer shall submit a pad elevation certification prepared by a licensed land surveyor or registered civil engineer to the Chief Building Official, certifying that the building location (setbacks) are pursuant to the approved plans prior to receiving a foundation inspection.
7. The project shall comply with the more restrictive of the outdoor potable water reduction requirements of the California Green Building Standards Code 4.304 and the Manteca Water Efficient Landscape Ordinance. Please note this on the plans.
8. At time of building permit, submittal the developer shall incorporate all Conditions of Approvals from all departments and imprint into the submittal set of construction documents/plans.

City of Manteca Public Works Department, Engineering Division

General

1. All improvements shall comply with the City of Manteca Standard Plans and Specifications. Improvement plans shall be submitted to the City Engineer for approval. An encroachment permit is required for all work within the public right-of-way.
2. Developer shall provide easements, requested by the respective utility companies, within the project. Any existing facilities within or adjacent to the project that are affected by this project shall be relocated and placed underground at the Developer's expense.

3. Developer shall dedicate ten-foot (10') wide public utility easements on all street frontages for underground facilities and appurtenances.
4. Developer shall indicate on the improvement plans topographical information which shall include one-foot (1') contour intervals and benchmark data based on City datum.
5. During all construction phases, Developer shall comply with City Laws regarding dust control. Developer shall also comply with San Joaquin Valley Unified Air Pollution Control District Regulation VIII (Fugitive Dust Prohibitions) in an effort to reduce the amount of fine particulate matter (PM10) entrained into the ambient air from man-made sources.
6. Prior to the start of construction, all survey monuments that have the possibility of being damaged, destroyed or covered over during the course of construction for this project, shall be located and referenced by a licensed land surveyor and a corner record or record of survey shall be filed with the county surveyor. Survey monuments which are damaged, destroyed or covered over during the course of construction must be re-set at the original location with a new monument and monument box and another corner record or record of survey shall be filed with the county surveyor. All work in this condition shall be done by a licensed land surveyor.
7. Prior to or with the Building Permit plan set the following shall be submitted. Review and approval of these items by the Engineering Department must occur prior to or with the issuance of the first building permit associated with this project.
 - a. On-site grading and drainage plan,
 - b. On-site utility (sanitary sewer, water and storm drain) plan,
 - c. Off-site improvement plan,
 - d. Erosion control plan,
 - e. Stormwater Pollution Prevention Plan (SWPPP),
 - f. Documentation, as required in the Post-Construction Stormwater Standards Manual, showing compliance with WQO NPDES 2013-0001-DWQ,
 - g. Joint Trench Intent plan, and
 - h. Dedication of required rights-of-way and easements to the City.

The plans specified in (a), (b) and (c) above shall be prepared by a Registered Civil Engineer.

The items in (d), (e) and (f) above shall be prepared by a Qualified SWPPP Developer (QSD).

8. Joint trench utility installation shall be in accordance with Manteca Municipal Code Chapter 13.34 and City Standards.

9. All address numbers shall be plainly visible from the street fronting the property. Said numbers/letters shall contrast with background.
10. Developer shall enter into an Improvement Agreement for construction of the roadway and utility improvements which will be dedicated to the City. The agreement will require posting a Performance Bond in the amount of one-hundred percent (100%), posting a Labor-Material Bond in the amount of fifty percent (50%), and payment of all required plan check, testing and inspection fees.
11. Developer shall install a benchmark on the North American Vertical Datum of 1988 vertical control system with this project. Final location shall be approved by the City Engineer and shown on the Improvement Plans. Developer shall obtain a benchmark from the City of Manteca and it shall be punched with the elevation, datum reference and benchmark number, which will be assigned by the City. A corner record shall be filed with the San Joaquin County Surveyor's Office and shall include the language that the benchmark is being added to the City of Manteca Vertical Control Network.
12. This project is a beneficiary of the Chadwick Square Unit No. 2 Storm Drain Area of Benefit. Prior to issuance of a permit which results in a connection to the system, the Developer shall pay the required assessment.
13. Improvements which will be dedicated to the City must use a benchmark on the City of Manteca Vertical Control Network to establish the elevations of the improvements. The benchmark used shall be noted on the Improvement Plans.
14. The Engineering elements for this project shall be reviewed and finalized during the Building Permit review process. Designs/layouts of utilities and roadway elements presented with the proposed Site Plan are preliminary to support its approval and are not being approved with the approval of the project.

Site

15. On-site parking area pavement surface drainage slope shall be as follows: Minimum cross-slope on asphalt concrete is 2% or concrete is 1% with a maximum of 5%. Concrete valley or curb gutters shall have a minimum slope of 0.25%. The pavement slope in ADA areas shall be in accordance with the California Building Code, Chapter 11B.
16. Provide City Standard Refuse/Recycling Enclosures on-site at the locations shown on the site plan. Sizing shall be in accordance with City Standards.
17. The refuse enclosure shall be graded so there is no storm drain or other flow run-on or run-off from the enclosure area. The enclosure area shall have a connection to the storm system, in compliance with the City's Post-Construction Manual.
18. On-site curbing shall conform to City of Manteca Standard ST-35, "Parking Area Curbs".
19. Developer shall ensure no buildings are constructed across property lines.

20. Developer shall dedicate an emergency vehicle access easement, to the City of Manteca, over the project site.
21. The fueling area design shall meet the *Design Considerations* section of Source Control Measure S-13: Fuel Dispensing Areas in Appendix E of the City's Post-Construction Manual.
22. The area under the gas pump canopy shall drain to itself. Any storm drain inlet in this area must be equipped with a SafeDrain or similar storm drain system protection device, as approved by the City Engineer.
23. A grease interceptor, in accordance with City Standard M-1, shall be installed as part of the private sanitary sewer system.
24. A sand-oil separator, in accordance with City Standard M-2, shall be installed as part of the site's storm drain system.
25. Landscape planting at driveway entrances/exits shall be maintained to a maximum height of three and one-half feet (3.5').
26. Developer shall sign and stripe both sides of the drive aisles as No Parking.
27. Egress points from this project to public right-of-way shall be stop controlled. Developer shall install signage and striping at egress points on the project's property to meet this condition.
28. The Developer shall install decomposed granite (DG) within the landscape planter along the southern property line from the eastern property line to twenty feet (20') west of the City's sanitary sewer manhole in the planter. No plantings shall be installed in this area between the building/ outdoor seating area to the wall/fence along the southern property line.

The DG installation shall either be DG with 10% cement or DG compacted to 95% installed over aggregate base, with minimum two-inch (2") post-compaction thickness.
29. The installation of a gate in the DG area will be reviewed for approval during the Building Permit review process for the project. If the gate installation is approved, the final location will be as approved by the City.
30. The Developer shall grant a Utility Maintenance Access Easement over the project site to the City. The grant document shall specify that the easement is being granted for maintenance of the existing City storm drain and sanitary sewer systems which exist on the project site prior to installation of the project. The remainder of the onsite utility systems shall be maintained by the Developer/Property Owner.

Streets

31. Cross sections for roadways that are included in the City's adopted Public Facilities Implementation Plan (PFIP), Transportation Element shall be in accordance with that document. Unless otherwise detailed in these conditions, cross sections for roadways that are not included in the PFIP shall be in

accordance with the City of Manteca Standard Plans. An encroachment permit is required for all work within the public right-of-way.

32. Soils R-value tests shall be performed from representative soils within the future right-of-way widening areas for the below named streets. A geotechnical report shall be submitted to the City Engineer with calculations determining the street pavement structural design. Design shall conform to City of Manteca Resolution R-5633, "Street Structural Design Policy". The minimum traffic indices shall be as follows:

- a. N. Airport Way: 11.0
- b. W. Lathrop Road: 11.0

33. N. Airport Way

- a. Developer shall dedicate right-of-way along the east side of N. Airport Way to accommodate a sixty-seven-foot (67') half-width street section, at the intersection with the correctly designed tapers to widen the roadway from the existing improvements south of the project site to the intersection right-of-way, as shown on the PFIP.
- b. Developer shall remove and replace the existing pavement with a new street structural section along the project's N. Airport Way frontage.
- c. Developer shall construct full width street improvements along N. Airport Way, including new street structural section, curb, gutter, a ten-foot (10') wide sidewalk, street lights, signage and striping. The full width street improvements do not include any improvements beyond the curb and gutter on the west side of N. Airport Way, opposite of the project.
- d. Developer may, in accordance with Title 16 of the Manteca Municipal Code, request City Council's approval to construct a part-width street for N. Airport Way consisting of completion of one twelve foot (12') wide travel lane and a two foot (2') wide pave shoulder on the side opposite of the project, including transitions and striping needed to connect with existing roadway improvements. City Council must approve the request by a four-fifths (4/5ths) vote.
- e. If City Council does not approve the part-width street request, the Developer shall, on behalf of the City, obtain right-of-way along the west side of N. Airport Way to accommodate full width street improvements.

34. W. Lathrop Road

- a. Developer shall dedicate right-of-way along the south side of W. Lathrop Road to accommodate a fifty-four foot (54') half-width street section.
- b. Developer shall construct full width street improvements along W. Lathrop Road, including curb, gutter, eight-foot wide sidewalk, street lights, signage and striping. The full width street improvements do not include any improvements beyond the curb and gutter on the north side of W. Lathrop Road, opposite of the project.

- c. Developer may, in accordance with Title 16 of the Manteca Municipal Code, request City Council's approval to construct a part-width street for W. Lathrop Road consisting of one twelve foot (12') wide travel lane and a two foot (2') wide pave shoulder on the side opposite of the project, including transitions and striping needed to connect with existing roadway improvements. City Council must approve the request by a four-fifths (4/5ths) vote.
 - d. If City Council does not approve the part-width street request, the Developer shall, on behalf of the City, obtain right-of-way along the north side of W. Lathrop Road to accommodate full width street improvements.
35. Developer shall relocate/replace the existing traffic signal infrastructure as needed to accommodate the installation of street improvements.
36. Developer shall ensure N. Airport Way, west of its centerline, and W. Lathrop Road, north of its centerline, are in like-new surface condition. At the time of Building Permit submittal, the City Engineer will determine the necessary roadway rehabilitation method for these portions of the roadway. The rehabilitation shall be shown on the plans for the project, prior to Building Permit issuance.
37. Developer shall install and/or modify the roadway signage and striping as necessary to update the lane configurations and allowed movements to account for the pavement widening and roadway improvements done with this project, including signage and striping modifications or updates outside the frontages of this project on N. Airport Way and W. Lathrop Road.
38. Where offsite property acquisition is required by these conditions, if the developer has made good faith efforts to obtain the ROW, which can be shown to the City in writing, and is unable to come to an agreement with the property owner, the City will make a determination to remove this condition or begin its own negotiations with the property owner.
39. Right-of-way and easement dedications to the City shall be completed as a condition of the issuance of the first building permit for the project. Street improvements shall be completed as a condition of the first final inspection of a building permit for this development. This shall be noted on the cover of the building permit submittal.
40. The street light locations shall be finalized during the Improvement Plan review process. Electroliers shall maintain an average foot candle coverage of 0.40, with a minimum allowable foot candle at any location of 0.07, within the City's right-of-way along the frontages of the project. A street light photometric plan, showing the foot candle coverage, shall be submitted with the Improvement Plans.
41. The thickness of all sidewalks installed with the project which will be dedicated to the City shall be six inches (6").
42. Driveway(s) and accessibility ramps installed with this project shall be in compliance with the latest revision of the California Building Code, Chapter 11B and Caltrans Standard Plans, detail A88A.

43. Drive-thru/Use Permit Approval

Stacking or queueing outside the project's property onto City right-of-way, at any time, is not allowed. Developer shall ensure that the drive-thru aisles are adequately designed for the business and function such that the stacking or queueing does not negatively affect or cause traffic congestion within the public right-of-way.

If it is determined by the City Engineer that any drive-thru stacking and queueing is affecting the public right-of-way, Developer shall make modifications to the site to remedy the problem. The City may require the submittal of a traffic study from a licensed Traffic Engineer specifically addressing drive-thru stacking and queueing. Modifications to the site may require a Minor Plan Modification be submitted to Development Services.

Costs associated with complying with this condition shall be paid for entirely by the Developer.

44. Developer shall design the westernmost driveway on W. Lathrop Road and install signage and striping at the driveway to show that it is restricted to right-in/right-out turn movements only.

45. Developer acknowledges that until the west side of N. Airport Way and the north side of W. Lathrop Road are developed, the project's driveway on N. Airport Way and the easternmost driveway on W. Lathrop Road can operate as full access driveways (left-in/left-out and right-in/right-out). Once the west side of N. Airport Way and the north side of W. Lathrop Road, opposite of the project, develop a median will be installed in both roadways, which will restrict all driveways to right-in/right-out only. The median installation, or other driveway restrictions, may occur earlier if at the City Engineer's discretion traffic characteristics make the full access driveways unsafe.

Water

46. Improvements shall be designed and constructed in conformance with the latest version of the City Water Master Plan.

47. The City's Water Master Plan and User Rate Charges are currently being analyzed and updated by HydroScience. The update of the Master Plan is anticipated to be completed in late 2023. The Water Master Plan will identify improvement projects that need to be engineered and constructed for both the distribution system and the treatment systems. As the needed projects, both distribution and treatment, are identified, and associated costs estimated, user rates, connection charges, and Public Facilities Implementation Plan (PFIP) fees will likely increase. New development projects will have to pay the following fees, as adopted by the City Council, that are in place at the time of development/permit issuance: (1) User Rate Charges, (2) Connection Charges, and (3) PFIP fees.

48. Existing wells within the boundary of the proposed development which are not approved for use by the City, shall be abandoned in accordance with San Joaquin County Public Health Services requirements.

49. Fire hydrant locations shall be as approved by the Fire Department and finalized during the Building Permit review process. Developer shall provide and install fire hydrant "blue dot" reflective markers prior to issuance of the first building permit.
50. The onsite water line shall be maintained by the Property Owner.
51. The onsite fire system shall be maintained by the Property Owner in perpetuity, in accordance with National Fire Protection Association (NFPA) 25 Fire Code, as amended.
52. Developer shall install double check detector check valves (DCDCV) where the fire hydrant/fire service line enters the site from the public water system. The DCDCV shall be installed on private property immediately adjacent to the City right-of-way or a dedicated City access easement and shall be maintained by the property owner.
53. Developer shall install one meter for the domestic water system for this project. The meter shall be installed at an accessible location within the public utility easement, adjacent to the City's ROW. Piping and appurtenances downstream of the water meter are private and will be maintained by the property owner.
54. Developer shall install a backflow prevention device immediately downstream of the water meter. The backflow prevention device shall be maintained by the Property Owner.
55. Developer may install a separate water meter for the landscape irrigation system. The meter shall be installed at an accessible location within the public utility easement, adjacent to the City's ROW or waterline maintenance and access easement. Piping and appurtenances downstream of the water meter are private and will be maintained by the Property Owner. Irrigation water from the potable system shall be protected with a reduced pressure backflow device.
56. Developer shall pay fees associated with the Reclaimed Water Master Plan for all buildings for which a building permit is issued after adoption of said Reclaimed Water Master Plan and fees by the City Council of Manteca.
57. Existing service connections to the City's water mains which will not be used by this project shall be abandoned, as directed by the City of Manteca.

Storm Drainage

58. Improvements shall be designed and constructed in conformance with the latest edition of the Storm Drain Master Plan, the City's Post-Construction Manual and City Standards.
59. A preliminary storm drainage plan shall be submitted to the City Engineer for approval concurrently with the first plan submittal. The plan shall be accompanied by calculations for peak flows, total runoff, pipe sizes, detention basin volume and evidence of historical groundwater depth.

The plan shall include topography shots taken in the Chadwick Square Park Storm Drain Basin to show the bottom elevation of the basin is as shown on the original Improvement Plans and can therefore accommodate the flows from this

project. If based on the topography shots, the basin does not have the capacity to accommodate this project's flows, the Developer shall provide an alternate solution to comply with the attenuation requirements of the City's Storm Drain Master Plan.

60. All drain inlets shall be marked "No Dumping - Drains to River". Drain markers shall be purchased from the City of Manteca at cost plus 15% administrative charge, and installed by the Developer prior to acceptance of the improvements.
61. Developer shall construct the storm drain attenuation system in accordance with the current Storm Drain Master Plan.
62. Developer shall incorporate appropriate site design measure(s) and submit the results of the Post-Construction Runoff Standards Manual. The City of Manteca approval of the proposed measures is precedent to issuance of any building, grading or construction permits.
63. Developer shall develop and submit a Project Stormwater Plan that identifies the methods to be employed to reduce or eliminate stormwater pollutant discharges through the construction, operation and maintenance of source control measures, low impact development design, site design measures, stormwater treatment control measures, and hydromodification control measures. Design and sizing requirements shall comply with the 2015 Post- Construction Stormwater Standards Manual. City of Manteca approval of the Project Stormwater Plan is precedent to issuance of any building, grading, or construction permits. An electronic copy of the Project Stormwater Plan shall be provided to the City of Manteca
64. Developer shall develop a hydromodification management plan to ensure the post-project stormwater runoff flow rate shall not exceed estimated pre-project flow rate for the 2-year, 24-hour storm. The hydromodification management plan shall be incorporated into the Project Stormwater Plan.
65. Developer shall develop and submit an Operations and Maintenance Plan that identifies the operations, maintenance, and inspection requirements of all stormwater treatment and baseline hydromodification control measures identified in the approved Project Stormwater Plan. City of Manteca approval of the preliminary Operations and Maintenance Plan is precedent to issuance of any building, grading, or construction permits. An electronic copy of the Maintenance Plan shall be provided to the City of Manteca.
66. City of Manteca approval of the final Operations and Maintenance Plan and recordation of the Maintenance Access Agreement is precedent to first building final inspection for this project. Two paper copies and an electronic copy of the final Operations and Maintenance Plan shall be provided to the City of Manteca.
67. Post-Construction Management Practices shall conform to the City's adopted Multi-Agency Post Construction Stormwater Standards Manual.
68. Where conflict between standards arises, the standard most-protective to water quality, to public health and safety, and against flooding shall be utilized.

69. Prior to any land disturbing construction activities occurring on a project, Developer shall meet the requirements of NPDES. For sites exceeding 1 acre of disturbance area that are deemed non-exempt, contractor shall prepare and submit a Storm Water Pollution Prevention Plan (SWPPP) and apply for a permit under the California General Construction NPDES permit. SWPPP shall be prepared and signed by a Qualified SWPPP Developer (QSD) certified by the State Water Resources Control Board. All modifications to SWPPP shall be implemented by a QSD in responsible charge for the project. The SWPPP shall be implemented under the supervision of a Qualified SWPPP Practitioner (QSP). For permit information, contact the State Water Resources Control Board (SWRCB) at:

State Water Resources Control Board
PO Box 1977, Sacramento, CA 95812-1977
Attn: Storm Water Permitting Section
Telephone: (916) 341-5537

To log in to the SWRCB Storm Water Multiple Application and Report Tracking System (SMARTS) to enter site information and apply for permit, please contact the City of Manteca Engineering Department to establish a project and authorize data entry access.

All other sites shall conform to the City of Manteca Standards, the California Green Building Standards, and Section E.10 of the NPDES permit 2013-0001-DWQ. All construction involving land disturbing activities shall submit for approval an Erosion Control and Sedimentation Plan (ESCP) prepared and signed by a QSD. All ESCP treatment measures and BMPs must be maintained at all times until construction is completed and the site is stabilized as defined under the Construction General NPDES permit.

Prior to issuance of the first grading or building permit for a project, a copy of the SWPPP or ESCP shall be submitted by the developer and approved by Authorized Signatory or Legally Responsible Person (LRP) for the City's NPDES program. Contact the City of Manteca Engineering Department to identify appropriate person for review and approval of plans and documents.

70. Developer recognizes that the design and calculations which have been submitted thus far to demonstrate this project's compliance with the City's Post-Construction Stormwater Standards Manual are approved for project entitlements but may require further refinement for final approval, which is precedent to issuance of any building, grading, or construction permits.
71. Bioretention areas which are adjacent to the City sidewalk shall include a one-foot (1') wide flat area behind the sidewalk prior to the start of the bioretention area side slope.
72. Developer shall pay fair-share costs for storm drainage improvements, including improvements downstream to improve capacity or water quality treatments needed to conform to current Storm Drain Master Plan, City standards and support the development.

73. Developer shall complete the CDD development memorandum, required by Storm Drainage Agreement Amendment No. 1, and submit it to SSJID for review.

Sanitary Sewer

74. Improvements shall be designed and constructed in conformance with the latest version of the City Wastewater Collection System Master Plan and City Standards.
75. The City's Sewer Master Plan and User Rate Charges are currently being analyzed and updated by Stantec. The update of the Master Plan is anticipated to be completed in late 2023. The Sewer Master Plan will identify improvement projects that need to be engineered and constructed for both the collection system and the Wastewater Quality Control Facility (WQCF). As the needed projects, both collection and at the WQCF are identified, and associated costs estimated, user rates, connection charges, and Public Facilities Implementation Plan (PFIP) fees will likely increase. New development projects will have to pay the following fees, as adopted by the City Council, that are in place at the time of development/permit issuance: (1) User Rate Charges, (2) Connection Charges, and (3) PFIP fees.
76. Developer shall remove the existing cleanout on the stub to the City's sanitary sewer system, north of 2053 Masterpiece Court. The cleanout shall be replaced with a manhole. This manhole shall be the end of the City's maintenance responsibility for the sanitary sewer system. The sanitary sewer system on this project's property, upstream of the manhole shall be maintained by the Developer and/or Property Owner.
77. Any existing septic tank(s) on the property that will not be approved by the City shall be abandoned in accordance with the permitting requirements of the San Joaquin County Environmental Health Department prior to issuance of the first building permit.
78. A preliminary sewer plan shall be submitted to the City Engineer for approval concurrently with the first improvement plan submittal. The plan shall be accompanied by calculations for peak wet weather flows showing pipe sizes and slopes for the entire development.

Public Facilities Implementation Plan

79. Reimbursement shall be based on actual quantities installed. Developer is required to have a minimum of three (3) public sealed bids opened by the City Clerk for all reimbursable improvements. Bids for reimbursable items shall be included in the total subdivision bids, however, the unit bids received for reimbursable items will be considered as a bid separate from the rest of the subdivision contract items and reimbursement will be made based on the lowest responsible bid received for reimbursable items.
80. The City shall approve the bid sheet form, prior to bidding, and proof shall be provided that bids were solicited from a minimum of three qualified contractors.

81. Reimbursement shall be in the form of credit against applicable PFIP Sanitary Sewer, Water System, Storm Drain and Transportation fees. The credit will be given when building permits are issued for construction of buildings for the project. The amount of the reimbursements shall be based upon the low bid received from a minimum of three (3) sealed bids opened by the City Clerk. If the cost to construct said improvements exceeds the value of PFIP credits, the remainder shall be reimbursed in accordance with the City Council adopted Public Facilities Implementation Plan in place on the effective date of the Improvement Agreement.

82. In the event Developer desires to exchange credits for cash reimbursement, the exchange must be approved by City Council.

City of Manteca Fire Department

1. Deferred Fire Alarm submittals for buildings 1,4, & 5.
2. Deferred Fire Sprinkler submittals for building 4 & 5.
3. Fire Lane needed on parking lot west of building 1.
4. Fire Lane needed on parking lot east of building 3.
5. Fire Lane needed between building 1 and 3.
6. Fire Department Access:
 - a. A diagram showing proposed "Fire Lane" shall be submitted for approval to the Office of the Fire Marshal. Fire Lanes shall be marked in accordance with California Fire Code (Appendix D103.6 SIGNS and Manteca Fire Code 15.24.
7. Fire Hydrants: Plans and specifications for fire hydrant systems shall be submitted for review and approval prior to construction.
 - a. Fire hydrants shall be installed around all buildings at a maximum spacing of 300 feet in accordance with the City of Manteca Standards and California Fire Code. Corners should be utilized for hydrant locations when possible.
 - b. Hydrants subject to vehicular damage shall be protected in an approved manner and not be obstructed by vehicles or other obstructions.
 - c. Provide 15 feet of clearance on either side of fire hydrant from stopped or parked vehicles.
 - d. Additional fire hydrants may be required to meet the minimum spacing requirement of hydrants within 90 feet of Fire Department Connections, (FDC) for Fire Sprinkler Systems.
 - e. The on-site fire protection system (fire hydrants and associated water mains) shall be installed prior to the issuance of building permits.
 - f. Total Fire Flow (appendix B of CFC) shall be calculated and submitted as part of the permit submittal.

8. Underground piping for the fire sprinkler shall be approved by the Fire Department prior to permit issuance.
9. Fire Suppression Systems: All buildings must be protected by an approved monitored automatic sprinkler system in accordance to NFPA 13, CFC, CBC, and Manteca Municipal Code Section 15.24.
 - a. Fire Alarm/Sprinkler monitoring shall be point ID.
10. Fire Suppression Approval. Plans and specifications for fire suppression systems shall be submitted for review and approval prior to construction. If work differs from approved plans, a set of "as built" shall be submitted to the Fire Department prior to final inspection.
11. Plans proposed to be listed as deferred submittals shall be clearly labeled on the cover building permit plan submittal cover sheet.
12. Inspections. Fire protection systems (fire hydrants, water mains, etc.) shall be installed, tested and approved by the City prior to the issuance of any building permits. The Fire Department shall witness all system and acceptance tests. Please provide 24-hour notice prior to any system or acceptance tests. 209-456-8340
13. A Fire Department approved "key lock box" shall be properly installed near the main entrance. A 3200 series lock box(s) can be order online directly from KNOXBOX.COM. Contact the Office of the Fire Marshal at FireMarshal@mantecafire.org for additional information.
14. All above ground gas meters, regulators, and piping exposed to vehicular damage shall be protected in an approved manner.
15. Trash enclosures/dumpsters shall not be allowed within 5 feet of any combustible walls, openings, or combustible roof eaves, unless protected by an automatic fire sprinklers.
16. Operations that require operational permits (High Piled Storage, Hot Work, Compressed Gas, Battery Storage and all others listed in CFC 105) shall be identified on the plan submittal.
17. All above comments shall be listed in the Building Permit Plan Submittal in a section designated for Fire Comments. Additionally, the Authority Having Jurisdiction should be listed as:

Authority having Jurisdiction:

City of Manteca Fire Department,
Office of the Fire Marshal

Fire Inspector II Luis "Art" Salas
1154 S. Union Road, Manteca CA 95337
Firemarshal@Mantecafire.org

City of Manteca Public Works – Park Planning & Projects

General Comments:

1. Current City of Manteca Standards and Specifications for Landscape Development shall be followed.
2. Developer shall prepare construction plans and specifications for any streetscape and basin improvements for Public Works Department – Parks Division approval, at developer's expense.
3. Streetscape phasing shall be agreed upon by both the Public Works – Park Planning and Projects Division and Engineering Division.
4. Trees along Airport Way and Lathrop Road shall be planted outside of the City right-of way.

Streetscapes/Medians/Landscape areas:

5. Streetscape/medians/landscape improvements shall be included in the Community Facilities District (CFD), or other funding mechanism, to provide resources for landscape maintenance costs as per the requirements listed under the formation/annexation requirements. Developer shall be responsible for maintenance of improvements until sufficient funding is available/collected for City to maintain.
6. In areas where South San Joaquin Irrigation District (SSJID) pipeline easements are located within the boundaries of streetscape, medians or landscape areas, SSJID and the City of Manteca Public Works Department – Parks Division shall both approve landscape plans including tree variety, setbacks, root protection methods, etc. The landscape plans shall not be considered approved until they are signed by the Public Works Department – Parks Division.
7. No turf grass is permitted in any streetscapes, unless approved by the Public Works Department – Parks Division.
8. Minimum of 25% of landscape areas shall be provided in non-irrigated landscape (examples: cobble, decomposed granite, boulders, artificial turf, etc.).

**Community Facilities District (CFD) (Or other funding source)
Formation/Annexation Requirements:**

9. CFD or other approved funding source shall be formed/annexed, at the developer's expense, to provide for the maintenance of the streetlights and all

streetscape/median/landscape improvements and the negative fiscal impacts associated with the provision of police protection, fire suppression and road maintenance services for new development. Said CFD, or other funding source, shall be in place prior to the issuance of the first building permit and as further defined in the City of Manteca Parkland Construction Policy.

10. Developer shall be responsible for maintenance of improvements until sufficient funding through the collection of full special tax revenue is available/collected for City to maintain. This may be accomplished through a maintenance agreement, direct payment to City or other means.

City of Manteca Information Technology Department, GIS Division

1. The addresses for the Airport Plaza development will be as follows:

2060 W. Lathrop Rd. (Parcel address)

2038 W. Lathrop Rd.
2042 W. Lathrop Rd.
2066 W. Lathrop Rd.
2084 W. Lathrop Rd.

If suites are created for 2038 or 2066, they should use 101, 102, etc. and increase from east to west.

San Joaquin County Environmental Health Department

1. This project shall comply with all applicable requirements from the San Joaquin County Environmental Health Department.

San Joaquin Valley Air Pollution Control District

1. This project shall comply with all applicable requirements from the San Joaquin Valley Air Pollution Control District.

San Joaquin County Multi-Species Habitat Conservation (Laurel Boyd, Habitat Planner)

1. This project is subject to the SJMSCP. If you have any questions, please call (209) 235-0600.

South San Joaquin Irrigation District

1. This project shall comply with all applicable requirements from the South San Joaquin Irrigation District.

AIRPORT PLAZA

CHEVRON, CAR WASH, QSR & RETAIL

**S.E. Corner of AIRPORT WAY AND LATHROP ROAD, MANTECA, CALIFORNIA
95337**



K12 Architects, Inc
3090 Fite Circle, #104
Sacramento, CA 95827
PH: (916) 455-6500 FAX: (916) 455-8100

CONSULTANTS:

CONTRACTOR:

PROJECT:

**AIRPORT
PLAZA**

2060 WEST LATHROP RD.
MANTECA, CA 95336

DEVELOPER:

**TWO GUYS FOOD
AND FUEL
147 LATHROP RD
MANTECA, CA 95330**

REVISIONS:

PROFESSIONAL SEALS:



PROJECT NUMBER: **20-004** PROJECT DATE: **07-12-2021**

SHEET CONTENTS:

COVER SHEET

SHEET NUMBER:

A001

CONSULTANTS

CIVIL & LANDSCAPING:

TSD ENGINEERS, INC
785 Orchard Drive, Suite 110
Folsom, CA 95630
P: (916) 608-0707
Contact:

LANDSCAPING:

PERRY DESIGN
2280 Strap Miner Trail
Cool CA 95614
P: (530) 823-2621
Contact: Carol Brown

PROJECT DATA

ASSESSOR'S PARCEL NUMBER(S): 202-020-140

ZONING: CN- NEIGHBORHOOD COMMERCIAL

PROJECT SITE AREA (GROSS): (3.08 ACRES) 134,164 S.F.

BUILDING DATA:

STRUCTURE	C.B.C. OCCUP.	TYPE OF CONST.	AREA
C-STORE	M	VB	3,439 S.F.
CAR WASH	B	VB	1,284 S.F.
FUEL CANOPY	M	IIB	5,960 S.F.
QSR	A	VB	2,500 S.F.
RESTAURANT #1	A	VB	1,908 S.F.
RETAIL #2	M	VA	7,826 S.F.

PARKING DATA: PER SEC. 17.52.050-1

BUILDING AREA	PARKING RATIO/REQ.	REQ'D.
C-STORE	(4:1,000 SF) = 14	
CAR WASH	(3 SPACES + 2/BAY) = 5	
QSR	(1:100 SF) = 25	
RESTAURANT #1	(7:1000 SF) = 14	
RETAIL #2 (5,734)	(4:1,000 SF) = 23	
RESTAURANT (2,092 SF- IN RETAIL #2)	(7:1000 SF) = 15	
TOTAL REQ'D PARKING		= 96

PARKING PROVIDED

REGULAR SPACES	= 80
COMPACT SPACES	= 5
VAN ACCESSIBLE	= 3
REGULAR ADA SPACES	= 2
ELECTRIC VEHICLE CHARGING- infrastructure only	= 7
CLEAN AIR VEHICLES	= 11
AIR / WATER	= 1
TOTAL	= 108

VICINITY MAP



SCALE: N.T.S.



DRAWING INDEX

GENERAL

A001 COVER SHEET

ARCHITECTURAL

- A101 SITE PLAN
- A101-01 SITE PLAN PHASE 1
- A101-02 SITE PLAN PHASE 2
- A102 TRASH ENCLOSURE DETAILS
- A103 FOUNTAIN DETAILS
- A104 SITE DETAILS
- A105 LIGHT FIXTURES AND EV CHARGERS
- A106 TRUCK PATH
- A201 C STORE AND CAR WASH FLOOR PLAN
- A202 QSR FLOOR PLAN
- A203 RETAIL OVERALL FLOOR PLAN
- A204 RETAIL FLOOR PLAN PART 1
- A205 RETAIL FLOOR PLAN PART 2
- A206 RESTAURANT FLOOR PLAN
- A301 C STORE AND CAR WASH EXTERIOR ELEVATIONS
- A302 C STORE AND CAR WASH EXTERIOR ELEVATIONS
- A303 QSR EXTERIOR ELEVATIONS
- A304 QSR EXTERIOR ELEVATIONS
- A305 RETAIL EXTERIOR ELEVATIONS
- A306 RETAIL EXTERIOR ELEVATIONS
- A307 RETAIL EXTERIOR ELEVATIONS
- A308 RESTAURANT EXTERIOR ELEVATIONS
- A309 RESTAURANT EXTERIOR ELEVATIONS
- A401 C STORE AND CAR WASH BUILDING SECTIONS
- A402 QSR BUILDING SECTIONS
- A403 RETAIL 1&2 BUILDING SECTIONS
- A801 CANOPY PLAN
- A802 CANOPY REFLECTED CEILING PLAN
- A803 CANOPY ELEVATIONS

CIVIL

- C1 TITLE SHEET
- C2 TOPOGRAPHIC SURVEY AND DEMOLITION PLAN
- C3 GRADING AND DRAINAGE PLAN
- C4 UTILITY PLAN
- C5 EROSION SEDIMENT CONTROL PLAN
- C6 DETAIL SHEET

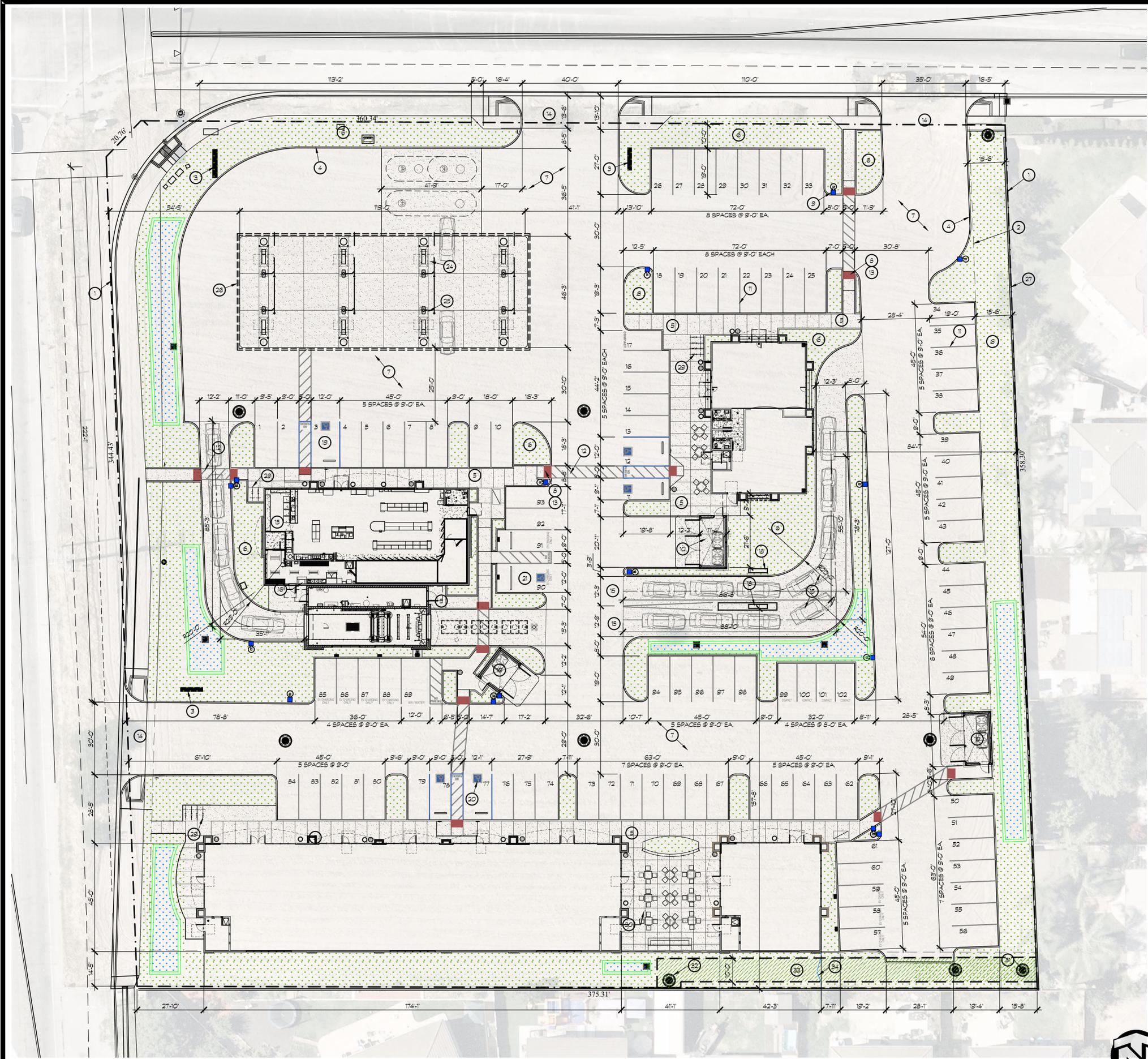
LANDSCAPE

- L1-1 PRELIMINARY PLANTING PLAN
- L1-2 PRELIMINARY PLANTING PLAN - PHASE 1
- L1-3 PRELIMINARY IRRIGATION
- L1-4 PRELIMINARY IRRIGATION - PHASE 1
- L1-5 PRELIMINARY IRRIGATION NOTES

SCOPE OF WORK

THE PROJECT ENTAILS NEW SITE DEVELOPMENT. IT WILL BE DONE IN TWO PHASES. PHASE 1 INCLUDES THE FUEL STATION CANOPY, CONVENIENCE STORE AND THE QSR. PHASE 2 WILL BE THE RESTAURANT AND RETAIL BUILDINGS.

THE NEW DEVELOPMENT WILL HAVE 2 MAIN DRIVEWAYS ON LATHROP. THE FIRST ONE IS RIGHT IN, RIGHT OUT ONLY. THE SECOND ONE IS RIGHT IN RIGHT OUT, LEFT IN AND LEFT OUT. THERE IS ONE DRIVEWAY ON AIRPORT. THIS IS A RIGHT IN, RIGHT OUT ONLY.



SITE PLAN KEYNOTES

- 1 PROPERTY LINE
- 2 SETBACK
- 3 MONUMENT SIGN, BY OWNER
- 4 6" HIGH CONCRETE CURB
- 5 CONCRETE WALK
- 6 LANDSCAPING, SEE LANDSCAPING DRAWINGS
- 7 A/C PAVING
- 8 ACCESSIBLE CURB RAMP
- 9 SITE YARD LIGHT, WITH CONCRETE BASE SHALL HAVE A DRY BACK FINISH, TYPICAL
- 10 TRASH ENCLOSURE AND CONC. APPROACH APRON
- 11 4" WIDE PAINT STRIPING, WHITE, UNLESS NOTED OTHERWISE
- 12 4" WIDE PAINT STRIPING, WHITE, AT 3'-0" O.C. TYP.
- 13 DETECTABLE WARNING SURFACE
- 14 NEW DRIVEWAY - SEE CIVIL DWGS
- 15 VEHICLE STACKING
- 16 PAY STATION
- 17 ESCAPE LANE/ TURN AROUND
- 18 DRIVE THROUGH PAY STATION
- 19 VAN ACCESSIBLE PARKING STALL
- 20 ACCESSIBLE PARKING STALL
- 21 ACCESSIBLE ELECTRIC VEHICLE CHARGING STATION
- 22 ACCESSIBLE POLE MOUNTED SITE SIGN
- 23 ACCESSIBLE POLE MOUNTED P.O.T. DIRECTIONAL SIGN
- 24 MULTI-PRODUCT FUEL DISPENSER
- 25 CANOPY COLUMN
- 26 DASHED LINE OF CANOPY ABOVE
- 27 CMU WALL
- 28 ACCESSIBLE VACUUM STATION
- 29 CLASS II BIKE RACK, INSTALL PER MFR. SPECIFICATIONS
- 30 EXTERIOR FURNITURE BY OWNER
- 31 EXISTING STORM DRAIN MANHOLE TO REMAIN
- 32 NEW SEWER MANHOLE
- 33 NEW ACCESS TO SEWER MANHOLE, DECOMPOSED GRANITE IN THIS AREA
- 34 PAIR FO 5'-0" GATES FOR ACCESS

SITE LEGEND

- AC PAVING/ PUBLIC RIGHT AWAY
- NEW CONCRETE-IMPERVIOUS, SEE CIVIL DRAWINGS
- NEW LANDSCAPE, SEE LANDSCAPE DRAWINGS
- BIO-RETENTION POND, SEE CIVIL AND LANDSCAPE DRAWINGS
- 2066 BUILDING ADDRESS



K12 Architects, Inc
 3090 Fite Circle, #104
 Sacramento, CA 95827
 PH:(916) 455-6500 FAX:(916) 455-8100

CONSULTANTS:
 CONTRACTOR:
 PROJECT:

AIRPORT PLAZA

2060 WEST LATHROP RD.
 MANTECA, CA 95336

DEVELOPER:
TWO GUYS FOOD AND FUEL
 147 LATHROP RD
 MANTECA, CA 95330

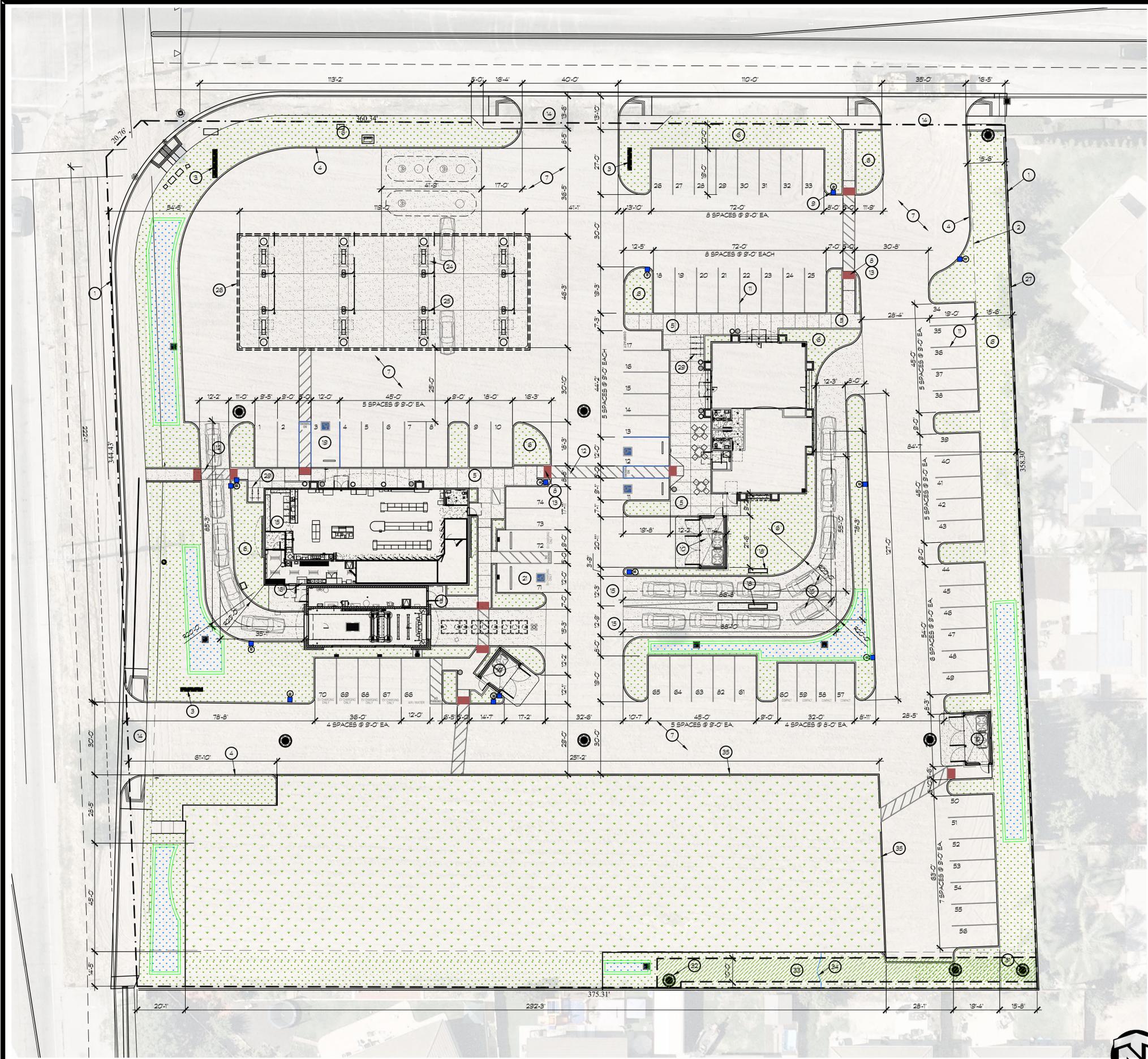


PROJECT NUMBER: **20-004** PROJECT DATE: **07-12-2021**

SHEET CONTENTS:
SITE PLAN

SHEET NUMBER:
A101





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- 1 PROPERTY LINE
- 2 SETBACK
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- 33 NEW ACCESS TO SEWER MANHOLE, DECOMPOSED GRANIT IN THIS AREA
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- 35 6" HIGH ASPHALT CURB

SITE LEGEND

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- NEW LANDSCAPE, SEE LANDSCAPE DRAWINGS
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 Sacramento, CA 95827
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AIRPORT PLAZA

2060 WEST LATHROP RD.
 MANTECA, CA 95336

DEVELOPER:
TWO GUYS FOOD AND FUEL
 147 LATHROP RD
 MANTECA, CA 95330

REVISIONS:



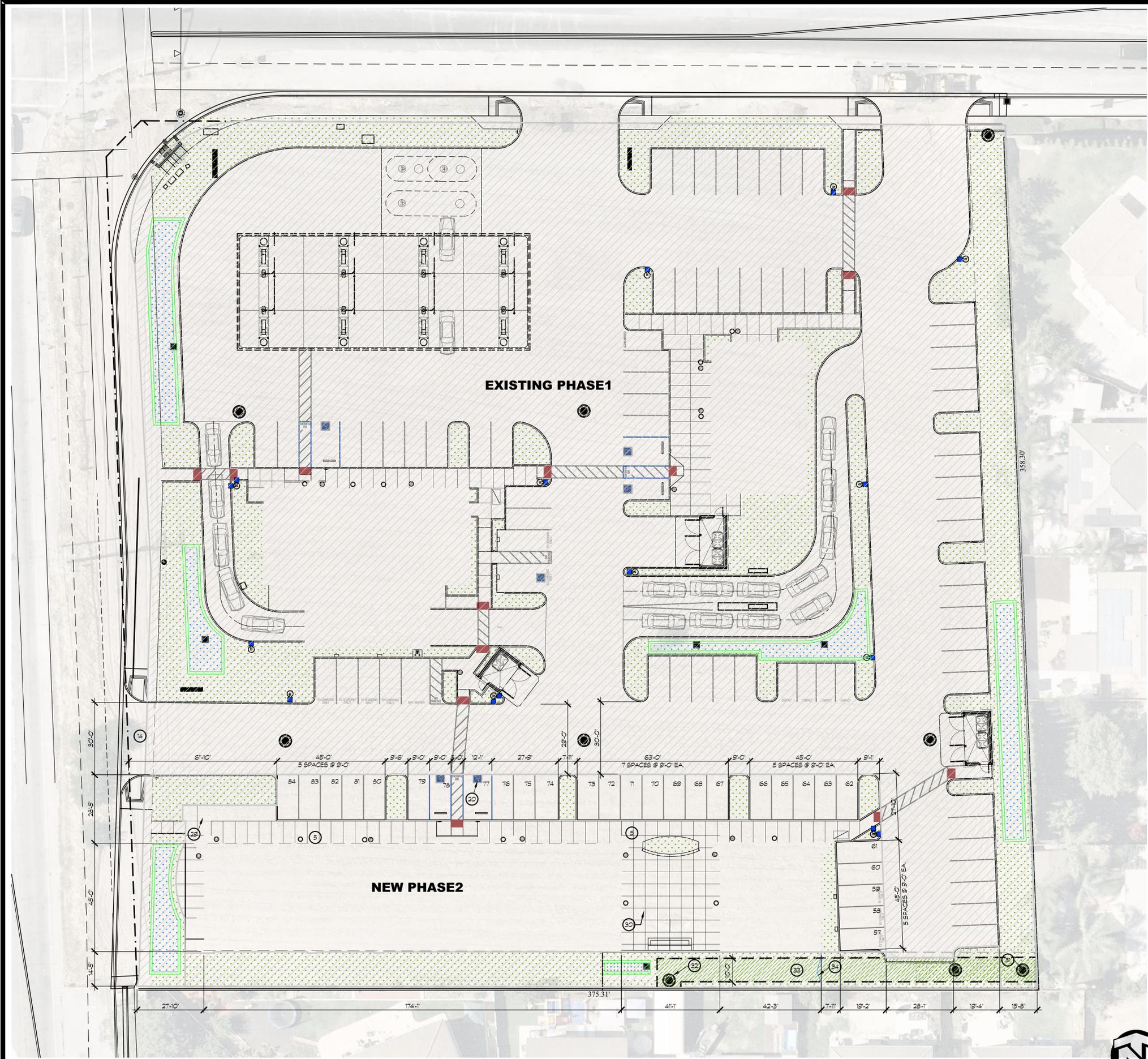
PROJECT NUMBER: **20-004** PROJECT DATE: **07-12-2021**

SHEET CONTENTS:

SITE PLAN PHASE1

SHEET NUMBER:
A101-P1





SITE PLAN KEYNOTES

- 1 PROPERTY LINE
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- 4 6' HIGH CONCRETE CURB.
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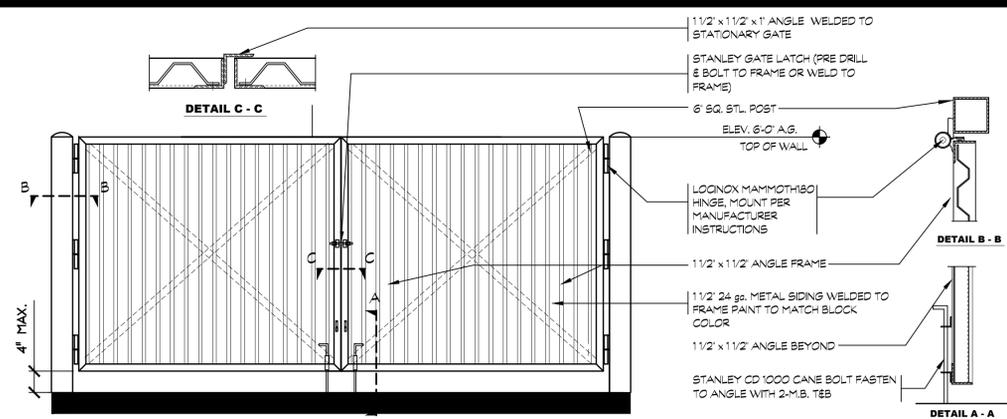
PROFESSIONAL SEALS:



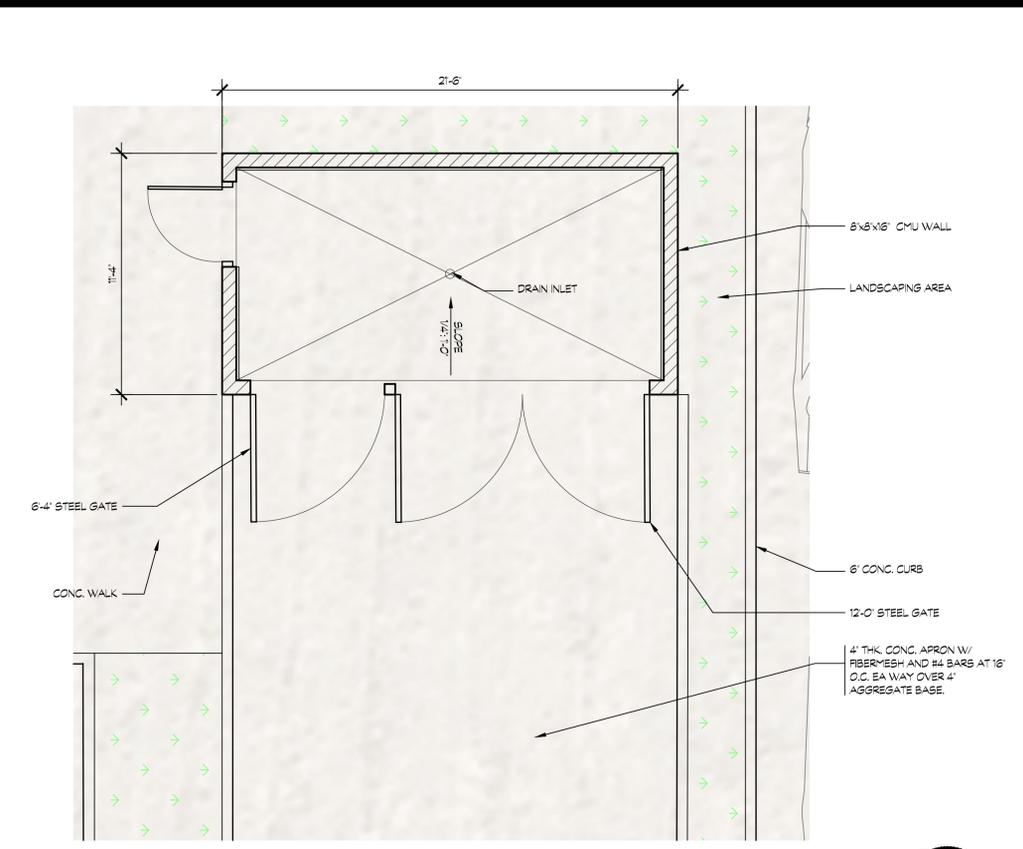
PROJECT NUMBER: **20-004** PROJECT DATE: **07-12-2021**

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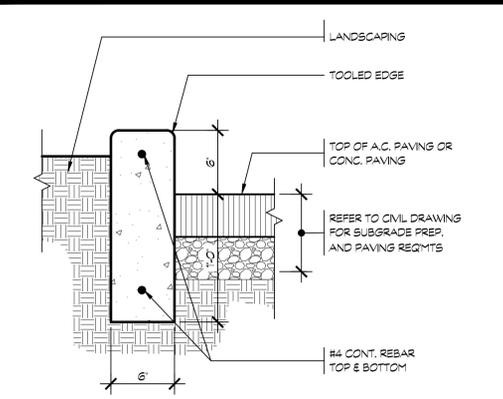
SITE PLAN - PHASE 2



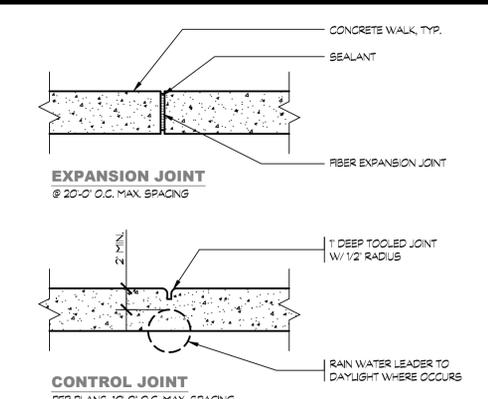
13 TRASH ENCLOSURE GATE
SCALE: 1/2" = 1'-0"



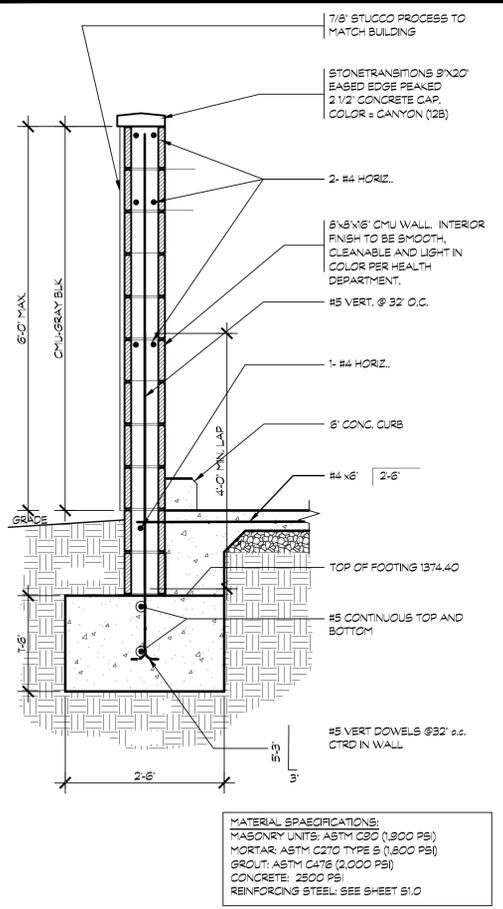
6 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



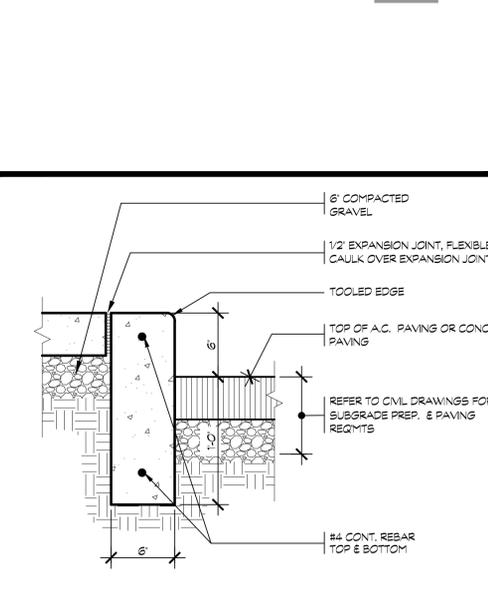
14 CONG. CURB @ LANDSCAPING
SCALE: 1 1/2" = 1'-0"



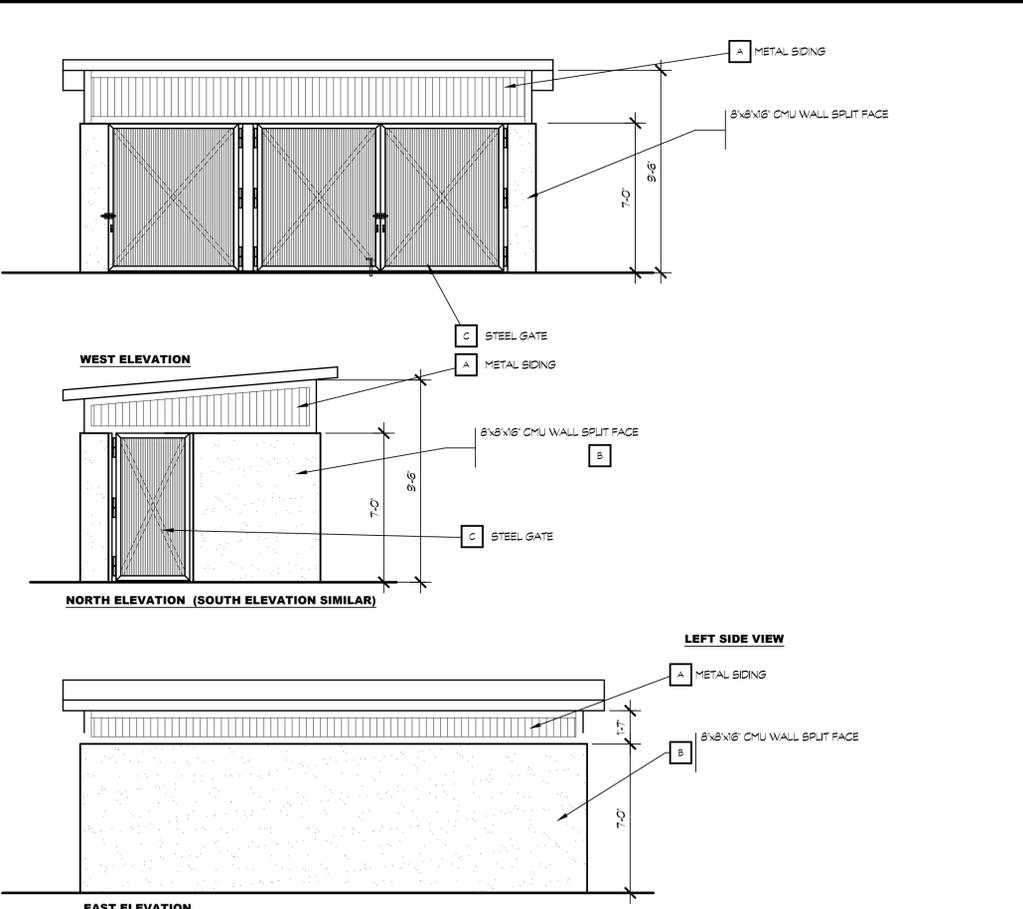
10 CONG. WALK EXPANSION & CONTROL JOINTS
SCALE: 1 1/2" = 1'-0"



15 TRASH ENCLOSURE WALL SEC.
SCALE: 3/4" = 1'-0"



12 CONG. WALK CURB
SCALE: 1 1/2" = 1'-0"



8 TRASH ENCLOSURE ELEVATIONS
SCALE: 1/4" = 1'-0"



K12 Architects

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Sacramento, CA 95827

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CONSULTANTS:

CONTRACTOR:

PROJECT:

AIRPORT PLAZA



SCALE: 1/4"=1'-0"

2060 WEST LATHROP RD.
MANTECA, CA 95336

DEVELOPER:

TWO GUYS FOOD AND FUEL

**147 LATHROP RD
MANTECA, CA 95330**

REVISIONS:

PROFESSIONAL SEALS:



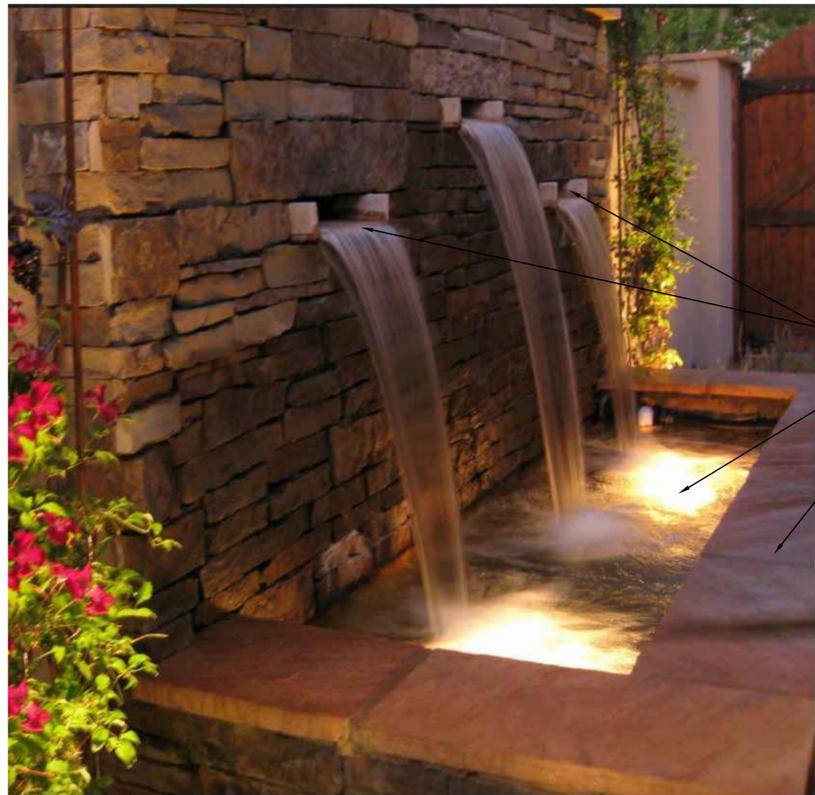
PROJECT NUMBER: **20-004** PROJECT DATE: **07-12-2021**

SHEET CONTENTS:

WATER FOUNTAIN DETAILS

SHEET NUMBER:

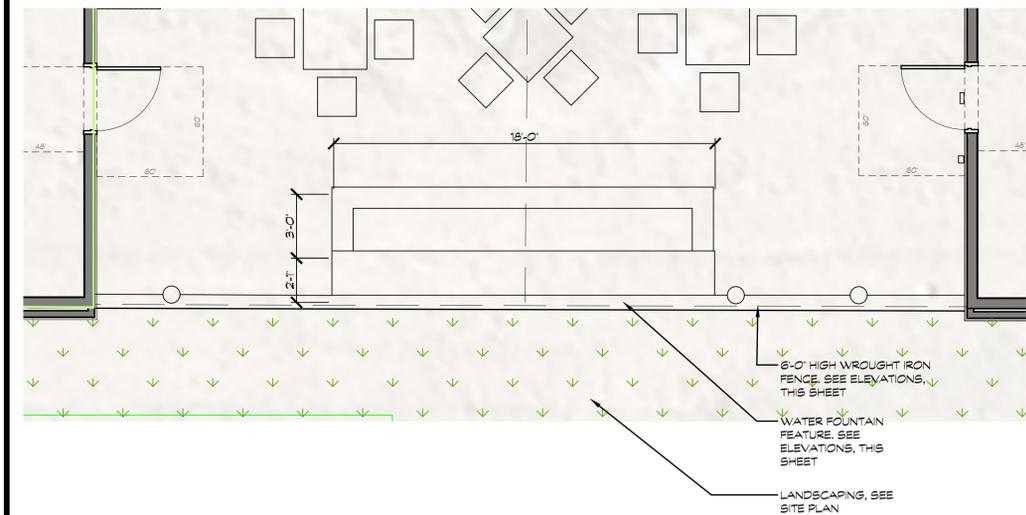
A103



FOUNTAIN OPENING 4' X 14'

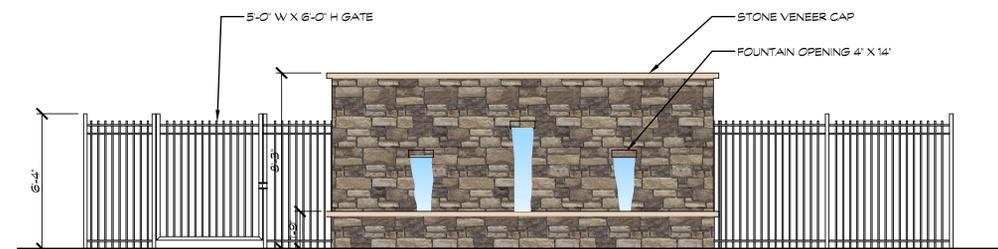
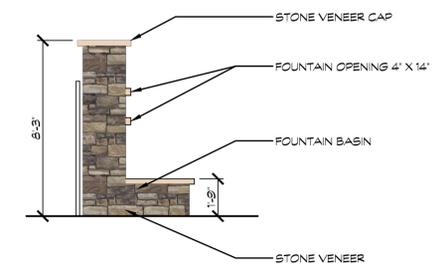
FOUNTAIN BASIN

STONE VENEER CAP



6 FOUNTAIN FLOOR PLAN

SCALE: 1/4"=1'-0"



6 FOUNTAIN ELEVATIONS

SCALE: 1/4"=1'-0"



CT4000 Level 2 Commercial Charging Station

Specifications and Ordering Information

Ordering Information

Specify model number followed by the applicable code(s). The order code sequence is: **Model-Options, Software, Services and Misc** are ordered as separate line items.

Hardware

Description	Order Code
Model	
1830 mm (6 ft) Single Port Bollard Mount	CT4011-GW1
1830 mm (6 ft) Dual Port Bollard Mount	CT4021-GW1
1830 mm (6 ft) Single Port Wall Mount	CT4013-GW1
1830 mm (6 ft) Dual Port Wall Mount	CT4023-GW1
2440 mm (8 ft) Dual Port Bollard Mount	CT4025-GW1
2440 mm (8 ft) Dual Port Wall Mount	CT4027-GW1
Included	
Integral Modem - North America	-GW1

Misc	Order Code
Power Management Kit	CT4000-PMGMT
Bollard Concrete Mounting Kit	CT4001-CCM

Note: All CT4000 stations include Integral Modem -GW1.

Software & Services

Description	Order Code
ChargePoint Commercial Service Plan	CPCLD-COMMERCIAL-n*
ChargePoint Enterprise Plan	CPCLD-ENTERPRISE-n*
ChargePoint Assure	CT4000-ASSUREn*
Station Activation and Configuration	CPSUPPORT-ACTIVE
ChargePoint Station Installation and Validation	CT4000-INSTALLVALID

Note: All CT4000 stations require a network service plan per port.

*Substitute n for desired years (1, 2, 3, 4, or 5 years).

Order Code Examples

If ordering this	the order code is
1830 mm (6 ft) Dual Port Bollard Networked Station with Concrete Mounting Kit	CT4021-GW1 CT4001-CCM
ChargePoint Commercial Service Plan, 3 Year Subscription	CPCLD-COMMERCIAL-5
ChargePoint Station Installation and Validation	CT4000-INSTALLVALID
3 Years of Assure Coverage	CT4000-ASSURES
1830 mm (6 ft) Single Port Wall Mount Networked Station	CT4013-GW1
ChargePoint Commercial Service Plan, 5 Year Subscription	CPCLD-COMMERCIAL-5
5 Years of Assure Coverage	CT4000-ASSURES
Station Activation and Configuration	CPSUPPORT-ACTIVE



CT4021



The First ENERGY STAR® Certified EV Charger

SCALE: N.T.S.

14

PRODUCT: QR-CAL2436W-A19 WEIGHT: 520 lbs (CUSTOMER TO OBTAIN IF OVER 500 LBS)

CONCRETE COLOR: DARK/SLATE BURGUNDY CUSTOM COLOR
 NATURAL BURGUNDY BURGUNDY
 MEDIUM WHITE ACIDIC TRUPE
 WHITE CUSTOM COLOR

CONCRETE TEXTURE: CHIFFONADO ETCH STROTA
 STROTA

SEALER: STANDARD SEALER

GENERAL PRODUCT NOTES: E = EXPOSED FINISHED SURFACE. INSTALLATION IS REQUIRED BY OTHERS. ALL EDGES TO BE EASED. MANUFACTURING TOLERANCE ±1/4".

LID MATERIAL: ALUMINUM STEEL

LID COLORS: BLACK GRAY BROWN BLUE

Authorized Signature _____ Date _____

By signing above or stamping this drawing "Approved" or "Not Acceptable" Authorization is given to QCP to proceed with the drawing as shown within a 10% tolerance.

QUANTITY: _____

PLAN VIEW

SECTION VIEW

ELEVATION VIEW

SCALE: N.T.S.

QTY	TYPE	DESCRIPTION
1	(LID A19) 19 5/8" DIA. ROUND FUNNEL LID	
1	SECURITY AND CABLE BOLT	
1	(OR-PL27A) ROUND PLASTIC LINER	

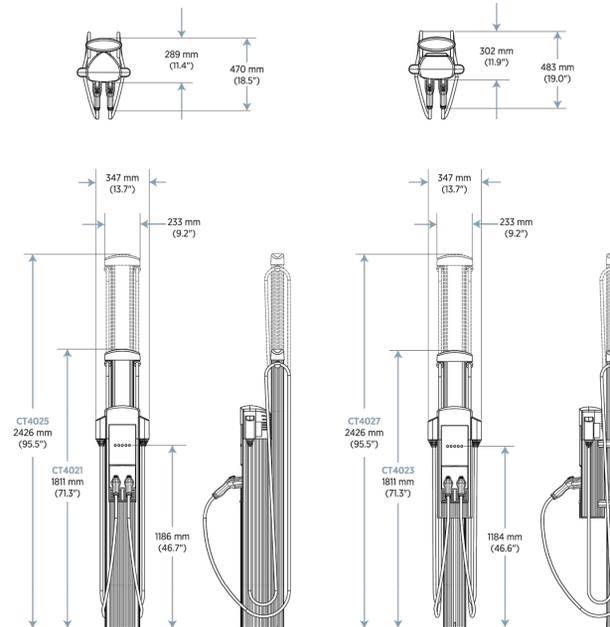
PLAN TYPE	CONSTRUCTION PLAN	DATE	FILE NO.	PROJECT
2/7/17	014 QR-CAL2436W-A19	2/7/17	014 QR-CAL2436W-A19	2/7/17
SCALE	1" = 1"			
PROJECT	QR-CAL2436W-A19 WASTE CONTAINER CALIFORNIA			
PROJECT NAME				

6

ChargePoint CT4000 Family

CT4021 1830 mm (6')
CT4025 2440 mm (8')
Bollard

CT4023 1830 mm (6')
CT4027 2440 mm (8')
Wall Mount



SCALE: N.T.S.

16

DURA BIKE LOCKER™
A DIVISION OF HANNAN SPECIALTIES
Made In The Usa

PRODUCT
DL2 MODEL
DOUBLE BIKE LOCKER

MATERIALS
Galvanized steel
Exterior: ASTM A591 16 gauge steel
Interior: ASTM A591 14 gauge steel
Divider panels: ASTM A591 18 gauge steel
Door hinge: ASTM A314 16 gauge stainless steel

POWDER COAT OPTIONS
(For Bike Lockers and Racks) Anti-graffiti clear coat available

- Black
- Silver Gray
- Emerald Green
- Pearl White
- Anti-Graffiti
- Celestial Blue
- Mesa Tan
- Fire Engine Red
- Graphite

STAINLESS STEEL FINISH

- DA Sanded

LOCK TYPE

- Pad Lock Handle
Pad Lock Not Included
- T Handle
Keys Included
- U Lock
Requires Pad Lock or T Handle
- BLUETOOTH
Use Smart Phone Manage

Locker Quantity: _____
Bank Configuration: _____
Stackable (Yes/No): _____
Approved Date: _____
Approved Signature: _____

*** Standard locker lead times depend on color, quantity, and configuration. Contact your Dura Bike Locker sales rep to insure lead time meets your schedule.

1-800-722-BIKE (2543) | info@durabikelocker.com | durabikelocker.com

SCALE: N.T.S. pg 1

8



K12 Architects

K12 Architects, Inc
3090 Fite Circle, #104
Sacramento, CA 95827

PH:(916) 455-6500 FAX:(916) 455-8100

CONSULTANTS:

CONTRACTOR:

PROJECT:

AIRPORT PLAZA

2060 WEST LATHROP RD.
MANTECA, CA 95336

DEVELOPER:

TWO GUYS FOOD AND FUEL

**147 LATHROP RD
MANTECA, CA 95330**

REVISIONS:

PROFESSIONAL SEALS:



PROJECT NUMBER: **20-004** PROJECT DATE: **07-12-2021**

SHEET CONTENTS:

SITE DETAILS

SHEET NUMBER:

A104

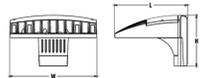


D-Series Pole Mount LED Area Luminaire



Specifications Luminaire

EPA: 0.8 ft² (0.07 m²)
Width: 13-3/4" (34.9 cm)
Length: 11.5" (29.2 cm)
Height: 8" (20.3 cm)
Weight: 16.03 lbs (7.3 kg)



Form fields for Catalog Number, Notes, and Type.

Introduction

The D-Series Pole Mount luminaire is a stylish, fully integrated LED solution for area and site applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

Ordering Information

EXAMPLE: DSXWPM LED 20C 1000 40K TSM MVOLT SPUMBA DDBXD

Table with columns: Series, LEDs, Drive current, Color temperature, Distribution, Voltage, Mounting, and Shipped included.

Control Options

Table with columns: Shipped installed, Shipped separately, and Finish required.

- Notes 1-9 detailing technical specifications and ordering options.

Accessories table listing various options like motion sensors and dimmers.

WDGE3 LED Architectural Wall Sconce



Specifications

Depth: 8"
Height: 9"
Width: 18"
Weight: 19.5 lbs (without options)



Form fields for Catalog Number, Notes, and Type.

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture.

WDGE LED Family Overview

Table showing luminaire specifications for different models and lumen outputs.

Ordering Information

EXAMPLE: WDGE3 LED P3 40K 70CR1 R3 MVOLT DDBXD

Table with columns: Series, Package, Color Temperature, CRI, Distribution, Voltage, Mounting, and Shipped included.

Options table listing various accessories like motion sensors and dimmers.

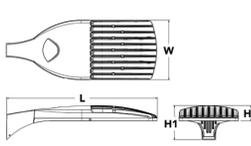
Accessories table listing various options like motion sensors and dimmers.

D-Series Size 1 LED Area Luminaire



Specifications

EPA: 1.01 ft² (0.09 m²)
Length: 33" (83.8 cm)
Width: 13" (33.0 cm)
Height H1: 7-1/2" (19.0 cm)
Height H2: 3-1/2" (8.9 cm)
Weight (max): 27 lbs (12.3 kg)



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRN DDBXD

Table with columns: Series, LEDs, Color temperature, Distribution, Voltage, Mounting, and Shipped included.

Control Options

Table with columns: Shipped installed, Shipped separately, and Finish required.

- Notes 1-9 detailing technical specifications and ordering options.

Navigation and search bar for the LIGHTING Manufacturer website.

Home | Products | Companies | Information | Events | Knowledge | Inquiries | Clubs | Forum

HiGas X LED Canopy Lights product page with specifications and company information.

Product Details table with columns: Power, Light Source, Color Rendering Index, Beam Angle, Surge Protection, Impact Protection, Input Voltage, Luminous Efficacy, Color Temperature, LED Driver, Operating Temperature, Certification, Utility Frequency, Luminous Flux, Lumen Maintenance, Power Factor, Ingress Protection, and Warranty.

FEATURES & SPECIFICATIONS

INTENDED USE - A general purpose and energy-efficient surface-mounted or suspended LED fixture... CERTAIN AIRBORNE CONTAMINANTS MAY ADVERSELY AFFECT THE FUNCTIONING OF LEDs AND OTHER ELECTRONIC COMPONENTS... CONSTRUCTION - One-piece 5VA fiber-glass housing with integral perimeter channel utilizing continuous powder-in-place NEMA 4X gasket...

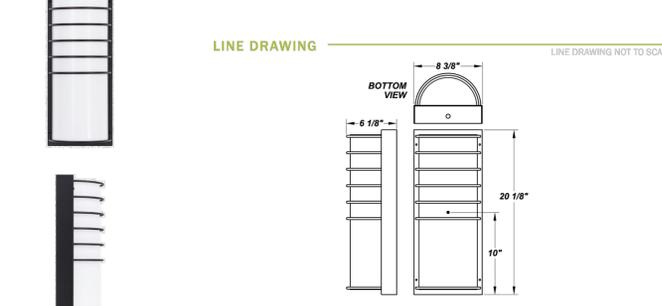


Table with columns: Standard Part Number, Stock Part Number, and Part Numbers for different configurations.

Capable Luminaire section with text describing the product and a list of features.

PROJECT, TYPE, QTY, and COMMENTS form fields.

- FEATURES: Aluminum Reflector, Constant Current, CSA Listed Wet Location, Dimmable to 10% From 120V to 230V, Emergency Battery Available, LED Light Fixture, Luminous White 75% DR Acrylic Diffuser, Mounting Hardware included, Mounts Directly to 4" Junction Box (By Others), Steel Fascia w/ Textured Black Polyester Powder Coat Finish, Steel Mounting Pan w/ Hi-Reflectance White Powder Coat Finish.



FINISHES table listing various color options: Antique Copper, Antique Silver, Bronze Mist, Matte Silver, Sand, Swedish Steel, Textured Black, Textured Bronze, Textured White.

TERON LIGHTING logo and contact information.



K12 Architects, Inc
3090 Fite Circle, #104
Sacramento, CA 95827
PH:(916) 455-6500 FAX:(916) 455-8100

CONSULTANTS:

CONTRACTOR:

PROJECT:



REVISED:

2060 WEST LATHROP RD.
MANTECA, CA 95336

DEVELOPER:

TWO GUYS FOOD AND FUEL
147 LATHROP RD
MANTECA, CA 95330

REVISIONS:

PROFESSIONAL SEAL:

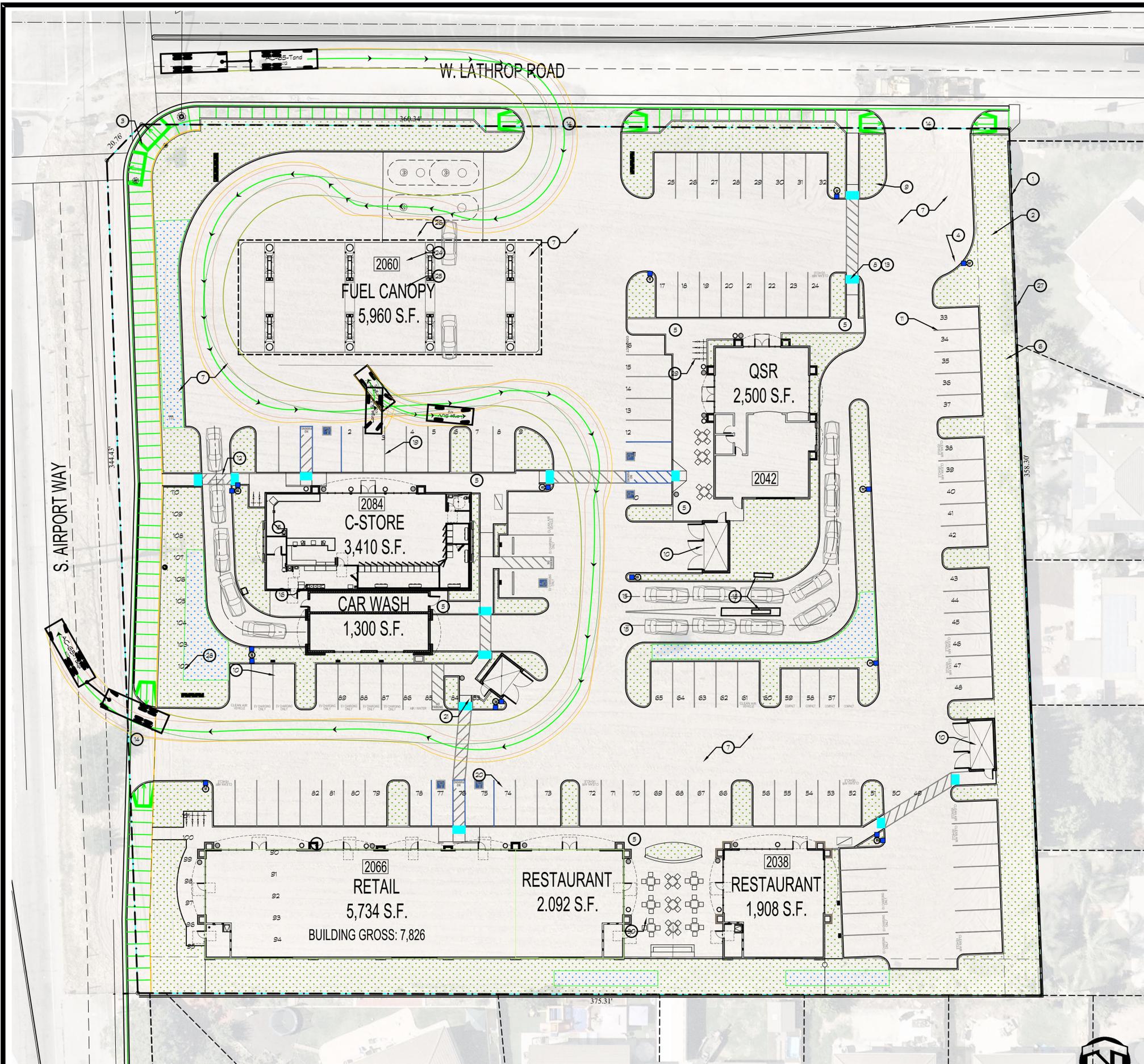


PROJECT NUMBER: 20-004 PROJECT DATE: 07-12-2021

SHEET CONTENTS:

LIGHTING CUT SHEETS

SHEET NUMBER:



SITE PLAN KEYNOTES

- 1 PROPERTY LINE
- 2 SETBACK
- 3 MONUMENT SIGN, BY OWNER
- 4 6' HIGH CONCRETE CURB
- 5 CONCRETE WALK
- 6 LANDSCAPING, SEE LANDSCAPING DRAWINGS.
- 7 A/C PAVING
- 8 ACCESSIBLE CURB RAMP
- 9 SITE YARD LIGHT, WITH CONCRETE BASE SHALL HAVE A DRY BACK FINISH, TYPICAL
- 10 TRASH ENCLOSURE AND CONC. APPROACH APRON
- 11 4" WIDE PAINT STRIPING, WHITE, UNLESS NOTED OTHERWISE
- 12 4" WIDE PAINT STRIPING, WHITE, AT 3'-0" O.C. TYP.
- 13 DETECTABLE WARNING SURFACE
- 14 NEW DRIVEWAY - SEE CIVIL DWGS
- 15 VEHICLE STACKING
- 16 PAY STATION
- 17 ESCAPE LANE/ TURN AROUND
- 18 DRIVE THROUGH PAY STATION
- 19 VAN ACCESSIBLE PARKING STALL
- 20 ACCESSIBLE PARKING STALL
- 21 ACCESSIBLE ELECTRIC VEHICLE CHARGING STATION
- 22 ACCESSIBLE POLE MOUNTED SITE SIGN
- 23 ACCESSIBLE POLE MOUNTED P.O.T. DIRECTIONAL SIGN
- 24 MULTI-PRODUCT FUEL DISPENSER
- 25 CANOPY COLUMN
- 26 DASHED LINE OF CANOPY ABOVE
- 27 CMU WALL
- 28 ACCESSIBLE VACUUM STATION
- 29 CLASS II RACK, INSTALL PER MFR. SPECIFICATIONS
- 30 EXTERIOR FURNITURE BY OWNER

SITE LEGEND

- AC OR CONCRETE PAVING
- LANDSCAPE, SEE LANDSCAPE DRAWINGS
- BIO-RETENTION POND, SEE CIVIL AND LANDSCAPING DRAWINGS
- BUILDING ADDRESS



K12 Architects, Inc
 3090 Fite Circle, #104
 Sacramento, CA 95827
 PH:(916) 455-6500 FAX:(916) 455-8100

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 CONTRACTOR:

PROJECT:
AIRPORT PLAZA

2060 WEST LATHROP RD.
 MANTECA, CA 95336

DEVELOPER:
TWO GUYS FOOD AND FUEL
 147 LATHROP RD
 MANTECA, CA 95330

REVISIONS:
 PROFESSIONAL SEALS:



PROJECT NUMBER: **20-004** PROJECT DATE: **07-12-2021**

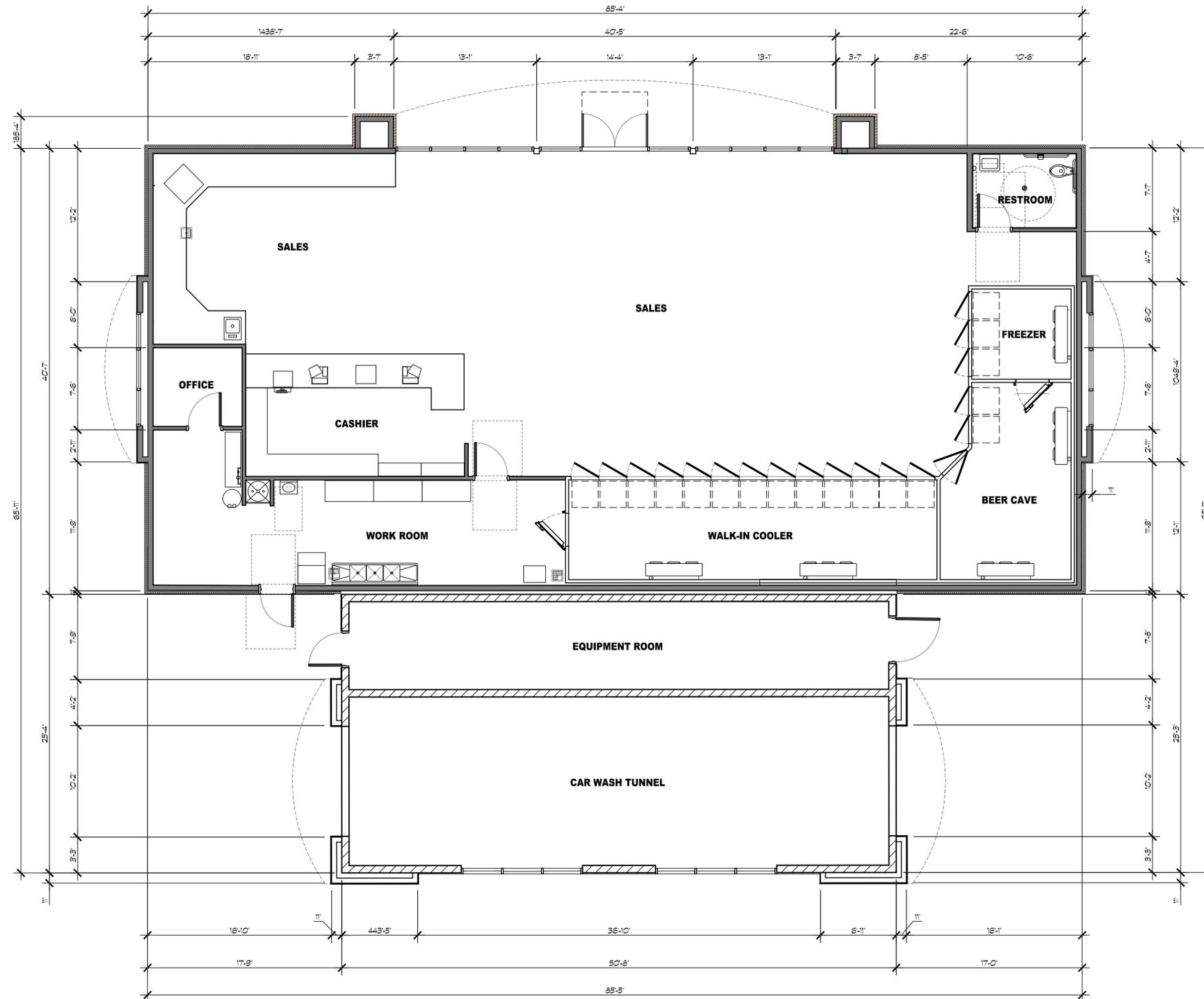
SHEET CONTENTS:
TRUCK PATH SITE PLAN

SHEET NUMBER:
A106



K12 Architects

K12 Architects, Inc
3633 Seaport Blvd, Suite C
W. Sacramento, CA 95691
PH:(916) 455-6500 FAX:(916) 455-8100



AIRPORT PLAZA

2060 WEST LATHROP RD
MANTECA, CA 95336

**TWO GUYS
FOOD AND FUEL**

147 LATHROP RD
MANTECA, CA 95330

A201

20 C STORE FLOOR PLAN 3,439 SQ. FT.

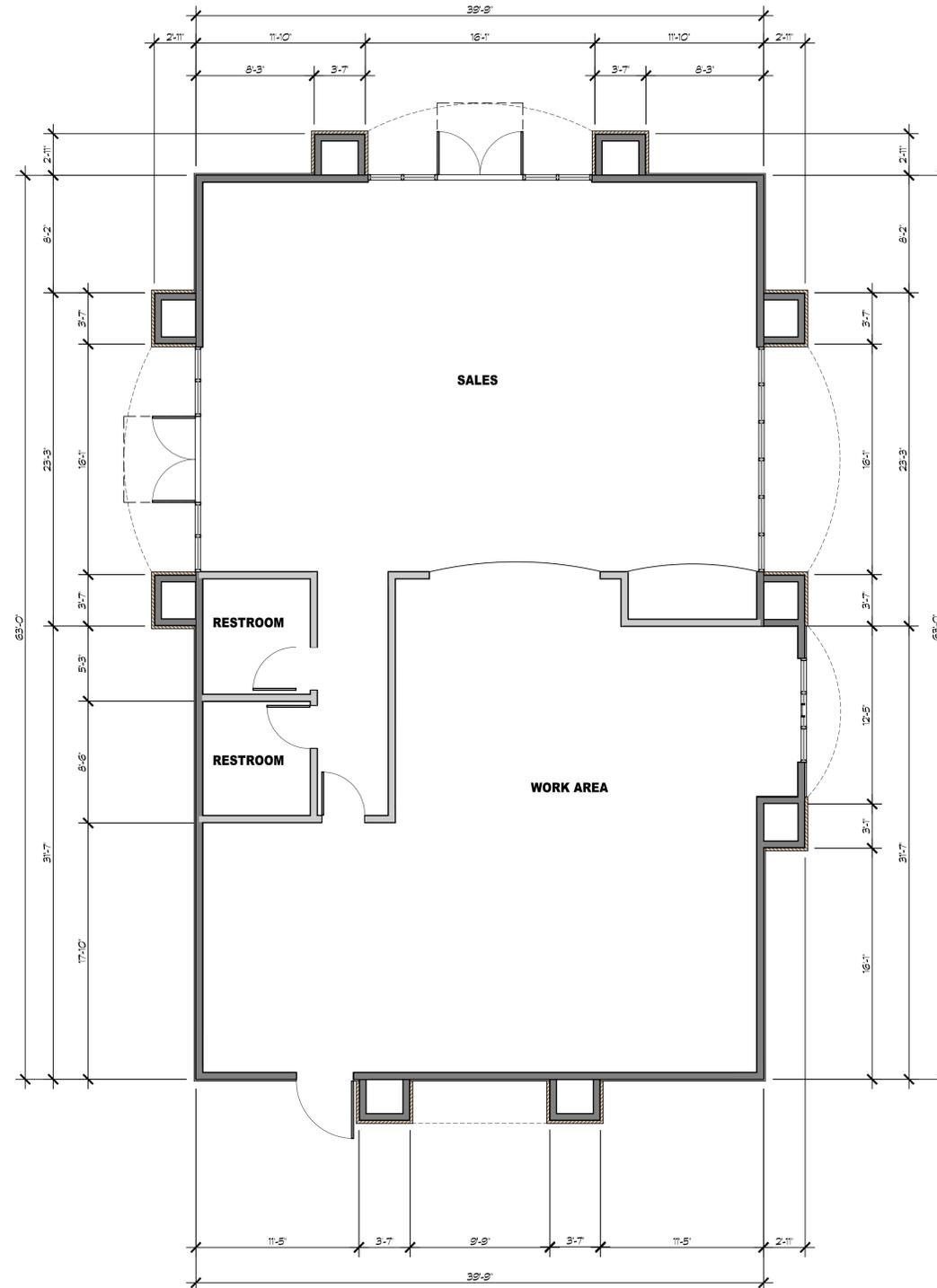


SCALE: 3/16" = 1'-0"



Architects

K12 Architects, Inc
3633 Seaport Blvd, Suite C
W. Sacramento, CA 95691
PH:(916) 455-6500 FAX:(916) 455-8100



AIRPORT PLAZA

2060 WEST LATHROP RD
MANTECA, CA 95336

**TWO GUYS
FOOD AND FUEL**

147 LATHROP RD
MANTECA, CA 95330

A202

20 QSR FLOOR PLAN- 2,543 SQ FT



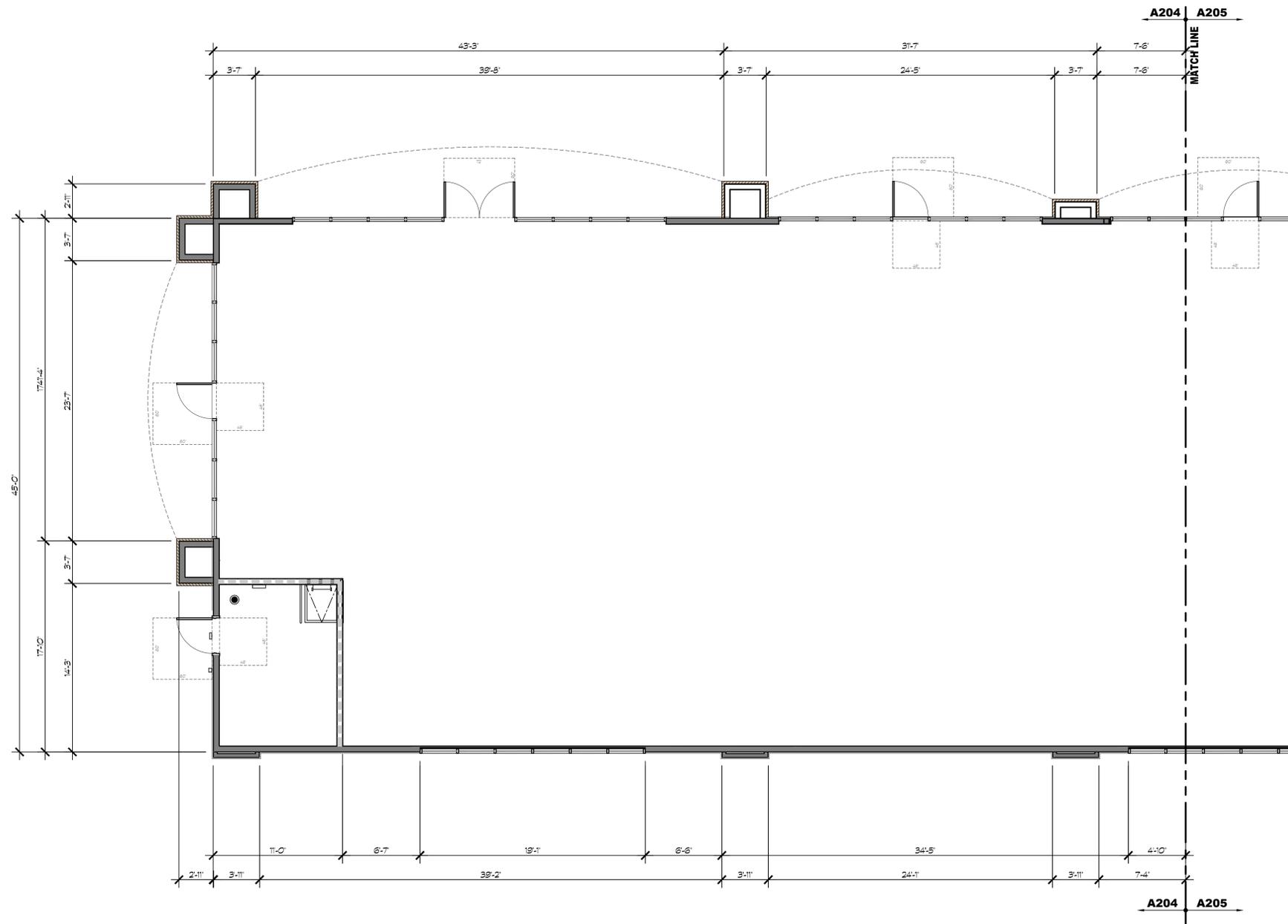
SCALE: 3/16" = 1'-0"

PROJECT NUMBER: 20-004 DATE: 02-14-20



Architects

K12 Architects, Inc
3633 Seaport Blvd, Suite C
W. Sacramento, CA 95691
PH:(916) 455-6500 FAX:(916) 455-8100



AIRPORT PLAZA

**2060 WEST LATHROP RD
MANTECA, CA 95336**

**TWO GUYS
FOOD AND FUEL**

**147 LATHROP RD
MANTECA, CA 95330**

A204

20 RETAIL 2 ENLARGED FLOOR PLAN (RETAIL 1 MIRRORED)- 5,216 SQ FT



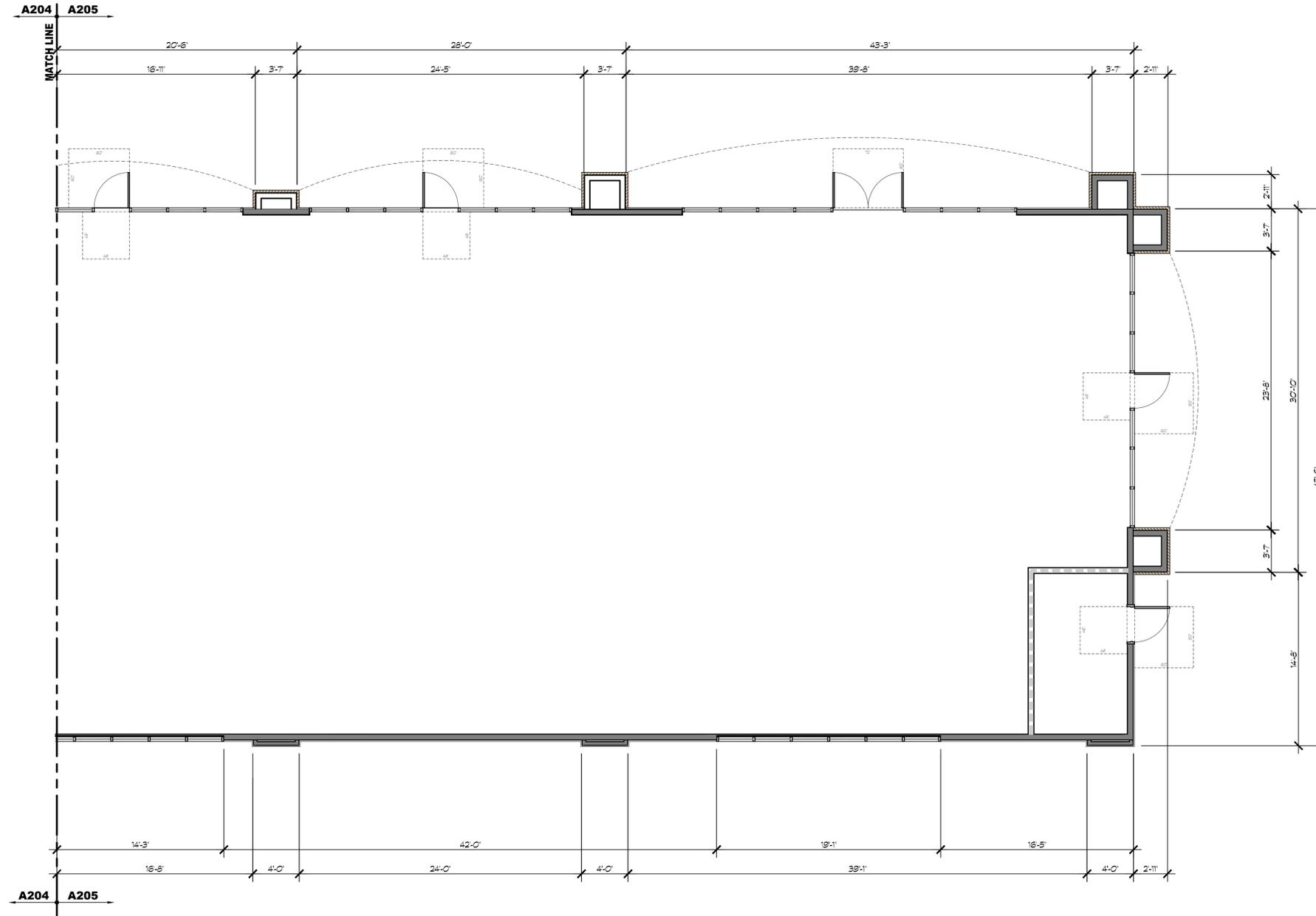
SCALE: 3/16" = 1'-0"

PROJECT NUMBER: 20-004 DATE: 02-14-20



Architects

K12 Architects, Inc
3633 Seaport Blvd, Suite C
W. Sacramento, CA 95691
PH:(916) 455-6500 FAX:(916) 455-8100



AIRPORT PLAZA

2060 WEST LATHROP RD
MANTECA, CA 95336

20 RETAIL 2 FLOOR PLAN (RETAIL 1 MIRRORED)- 5,216 SQ FT



SCALE: 3/16" = 1'-0"

**TWO GUYS
FOOD AND FUEL**

147 LATHROP RD
MANTECA, CA 95330

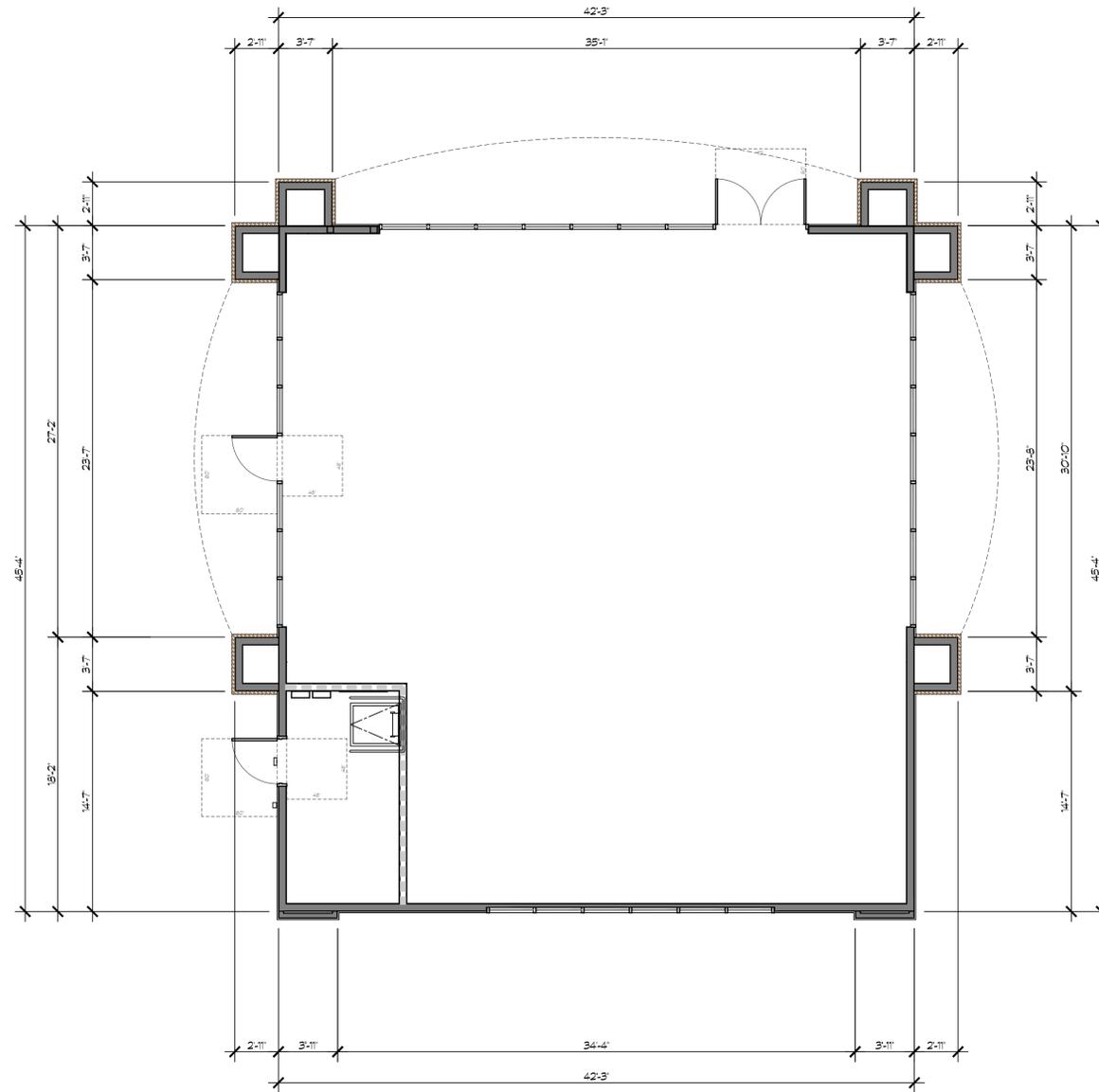
A205

PROJECT NUMBER: 20-004 DATE: 02-14-20



Architects

K12 Architects, Inc
3633 Seaport Blvd, Suite C
W. Sacramento, CA 95691
PH:(916) 455-6500 FAX:(916) 455-8100



AIRPORT PLAZA

2060 WEST LATHROP RD
MANTECA, CA 95336

20 RETAIL 2 FLOOR PLAN (RETAIL 1 MIRRORED)- 1,908 SQ FT



SCALE: 3/16" = 1'-0"

**TWO GUYS
FOOD AND FUEL**

147 LATHROP RD
MANTECA, CA 95330

A206

PROJECT NUMBER: 20-004 DATE: 02-14-20



K12
Architects

K12 Architects, Inc
3633 Seaport Blvd, Suite C
W. Sacramento, CA 95691
PH: (916) 455-6500 FAX: (916) 455-8100



18 CONVENIENCE STORE NORTH ELEVATION

SCALE: 3/16" = 1'-0"

KEY NOTES

- 1 7/8" THREE COAT STUCCO SYSTEM OVER DUPONT TYVEK DRAINWRAP
- 2 SIGNAGE, BY OWNER
- 3 STOREFRONT WINDOW SYSTEM; DARK BRONZE ANODIZED, 2"x4.5" CENTER GLAZING SYSTEM; WITH 1" CLEAR DUAL GLAZING
- 4 HOLLOW CORE METAL DOOR
- 5 METAL SIDING- PAINTED
- 6 METAL TRIM- PAINTED
- 7 STANDING SEAM METAL ROOFING
- 8 STONE TILE OVER EXTERIOR CEMENT PLASTER OVER METAL LATH OVER DUPONT TYVEK DRAINWRAP
- 9 WALL LIGHT BY OWNER
- 10 ROOF LINE AND WALL BEYOND
- 11 STREET ADDRESS, 12" HIGH LETTERS, 1 1/2" STROKE, BLACK, BACKGROUND COLOR TO MATCH TRIM COLOR, WALL WASH ILLUMINATION
- 12 METAL FLASHING - PAINT TO MATCH DAL TILE OR CEMENT PLASTER
- 13 DECORATIVE METAL AWNING- PAINTED
- 14 WINDOW GRAPHICS- BY OWNER
- 15 METAL PANEL
- 16 FAUX STOREFRONT WINDOW SYSTEM; DARK BRONZE ANODIZED, 2"x4.5" CENTER GLAZING SYSTEM; WITH 1" CLEAR DUAL GLAZING PAINTED BLACK ON REAR
- 17

COLOR LEGEND

A	DAL TILE STACKED STONE- 'MACAU BLACK'	
B	DAL TILE ACACIA VALLEY STONE- 'AVIS ASH'	
C	SHERWIN WILLIAMS SW7005- 'PURE WHITE'	
D	SHERWIN WILLIAMS SW6002- 'ESSENTIAL GRAY'	
E	SHERWIN WILLIAMS SW7083- 'DARK ROOM'	
F	AEP SPAN METAL ROOFING- 'SLATE GRAY'	
G	CHEVRON WINDOW GRAPHIC	
H	CHEVRON BURGANDY	
J	DUNN EDWARDS PAINT DE6185- 'LIGHT ASPIRATION'	
K	DIZAL ALUMINUM SIDING 122-03- 'HICKORY BOURBON'	

AIRPORT PLAZA

2060 WEST LATHROP RD
MANTECA, CA 95336



20 CONVENIENCE STORE WEST ELEVATION

SCALE: 3/16" = 1'-0"

PRELIMINARY ELEVATIONS

TWO GUYS
FOOD AND FUEL

147 LATHROP RD
MANTECA, CA 95330

A301



K12
Architects

K12 Architects, Inc
3633 Seaport Blvd, Suite C
W. Sacramento, CA 95691
PH:(916) 455-6500 FAX:(916) 455-8100

AIRPORT PLAZA

**2060 WEST LATHROP RD
MANTECA, CA 95336**

**TWO GUYS
FOOD AND FUEL**

**147 LATHROP RD
MANTECA, CA 95330**

A302

PROJECT NUMBER: 20-004 DATE: 02-14-20

KEY NOTES

- 1 7/8" THREE COAT STUCCO SYSTEM OVER DUPONT TYVEK DRAINWRAP
- 2 SIGNAGE, BY OWNER
- 3 STOREFRONT WINDOW SYSTEM; DARK BRONZE ANODIZED, 2"x4.5" CENTER GLAZING SYSTEM; WITH 1" CLEAR DUAL GLAZING
- 4 HOLLOW CORE METAL DOOR
- 5 METAL SIDING- PAINTED
- 6 METAL TRIM- PAINTED
- 7 STANDING SEAM METAL ROOFING
- 8 STONE TILE OVER EXTERIOR CEMENT PLASTER OVER METAL LATH OVER DUPONT TYVEK DRAINWRAP
- 9 WALL LIGHT BY OWNER
- 10 ROOF LINE AND WALL BEYOND
- 11 STREET ADDRESS, 12" HIGH LETTERS, 1 1/2" STROKE, BLACK, BACKGROUND COLOR TO MATCH TRIM COLOR, WALL WASH ILLUMINATION
- 12 METAL FLASHING - PAINT TO MATCH DAL TILE OR CEMENT PLASTER
- 13 DECORATIVE METAL AWNING- PAINTED
- 14 WINDOW GRAPHICS- BY OWNER
- 15 METAL PANEL
- 16 FAUX STOREFRONT WINDOW SYSTEM; DARK BRONZE ANODIZED, 2"x4.5" CENTER GLAZING SYSTEM; WITH 1" CLEAR DUAL GLAZING PAINTED BLACK ON REAR
- 17

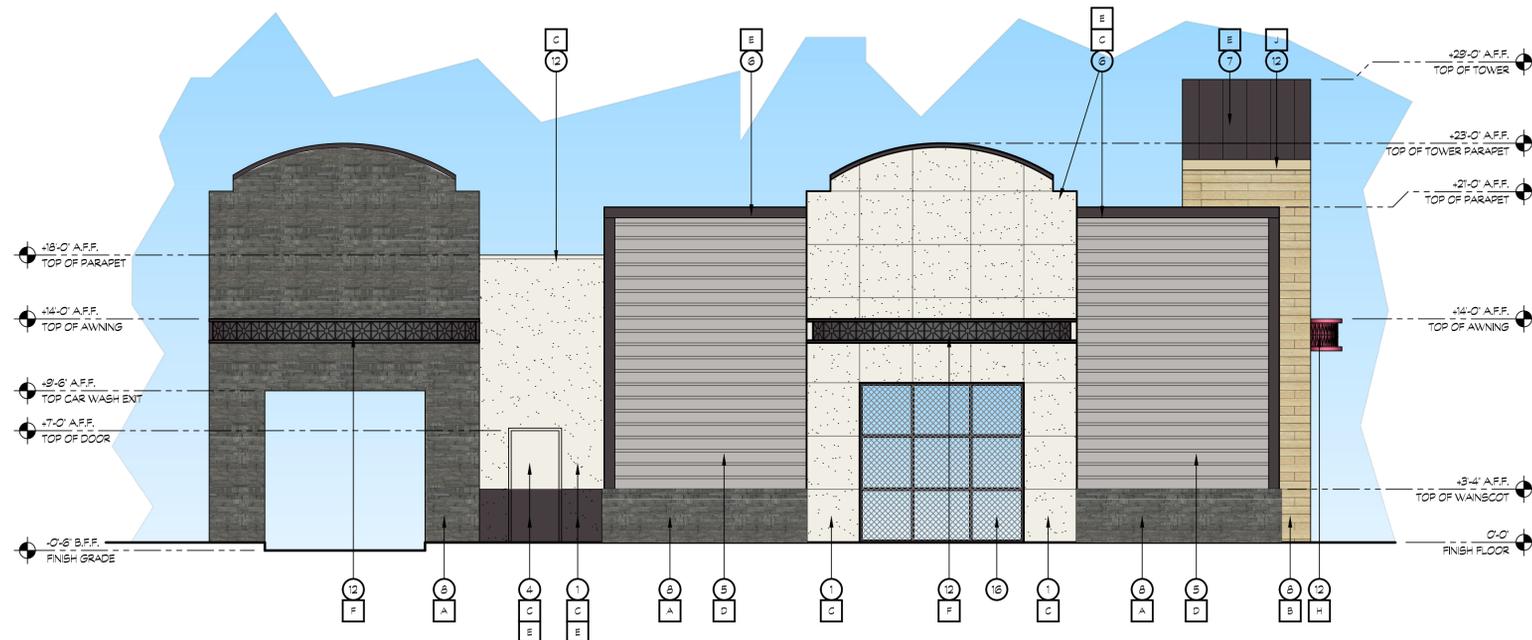
COLOR LEGEND

A	DAL TILE STACKED STONE- 'MACAU BLACK'	
B	DAL TILE ACACIA VALLEY STONE- 'AV13 ASH'	
C	SHERWIN WILLIAMS SW7005- 'PURE WHITE'	
D	SHERWIN WILLIAMS SW6002- 'ESSENTIAL GRAY'	
E	SHERWIN WILLIAMS SW7083- 'DARK ROOM'	
F	ASP SPAN METAL ROOFING- 'SLATE GRAY'	
G	CHEVRON WINDOW GRAPHIC	
H	CHEVRON BURGANDY	
J	DUNN EDWARDS PAINT DE6185- 'LIGHT ASPIRATION'	
K	DICAL ALUMINUM SIDING 122-03- 'HICKORY BOURBON'	



18 CONVENIENCE STORE SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



20 CONVENIENCE STORE EAST ELEVATION

SCALE: 3/16" = 1'-0"

PRELIMINARY ELEVATIONS

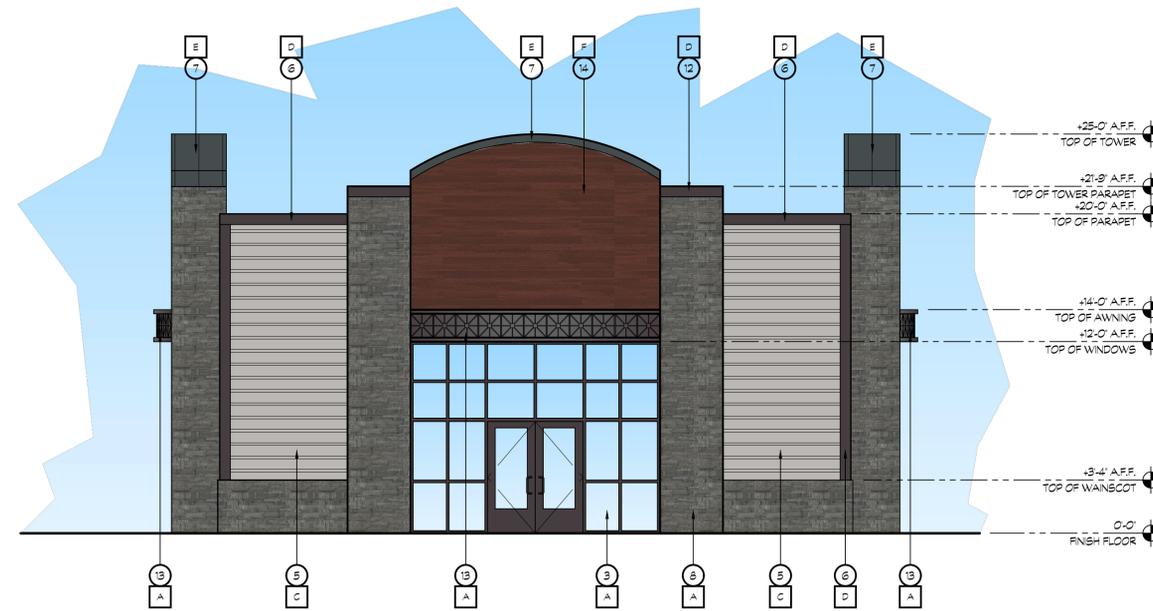


K12
Architects

K12 Architects, Inc
3633 Seaport Blvd, Suite C
W. Sacramento, CA 95691
PH:(916) 455-6500 FAX:(916) 455-8100

KEY NOTES

- ① 7/8" THREE COAT STUCCO SYSTEM OVER DUPONT TYVEK DRAINWRAP
- ② SIGNAGE, BY OWNER
- ③ STOREFRONT WINDOW SYSTEM, DARK BRONZE ANODIZED, 2"x4.5" CENTER GLAZING SYSTEM, WITH 1" CLEAR DUAL GLAZING
- ④ HOLLOW CORE METAL DOOR
- ⑤ METAL SIDING- PAINTED
- ⑥ METAL TRIM- PAINTED
- ⑦ STANDING SEAM METAL ROOFING
- ⑧ STONE TILE OVER EXTERIOR CEMENT PLASTER OVER METAL LATH OVER DUPONT TYVEK DRAINWRAP
- ⑨ WALL LIGHT BY OWNER
- ⑩ ROOF LINE AND WALL BEYOND
- ⑪ STREET ADDRESS, 12" HIGH LETTERS, 1 1/2" STROKE, BLACK, BACKGROUND COLOR TO MATCH TRIM COLOR, WALL WASH ILLUMINATION
- ⑫ METAL FLASHING - PAINT TO MATCH DAL TILE OR CEMENT PLASTER
- ⑬ DECORATIVE METAL AWNINGS- PAINTED
- ⑭ METAL PANEL



18 QSR BUILDING NORTH ELEVATION

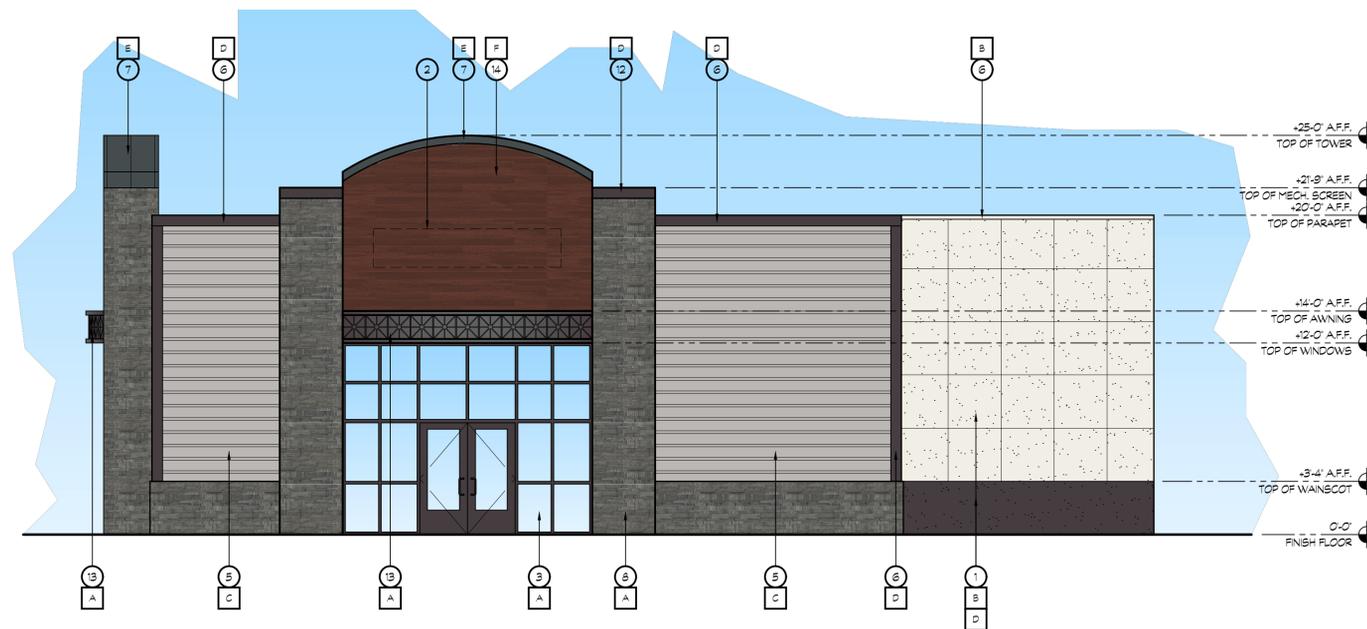
SCALE: 3/16"= 1'-0"

COLOR LEGEND

A	DAL TILE STACKED STONE- 'MACAU BLACK'	
B	SHERWIN WILLIAMS SW7005- 'PURE WHITE'	
C	SHERWIN WILLIAMS SW6002- 'ESSENTIAL GRAY'	
D	SHERWIN WILLIAMS SW7083- 'DARK ROOM'	
E	AEP SPAN METAL ROOFING- 'SLATE GRAY'	
F	DIZAL ALUMINUM SIDING 122-03- 'HICKORY BOURBON'	

AIRPORT PLAZA

2060 WEST LATHROP RD
MANTECA, CA 95336



20 QSR BUILDING WEST ELEVATION

SCALE: 3/16"= 1'-0"

**TWO GUYS
FOOD AND FUEL**

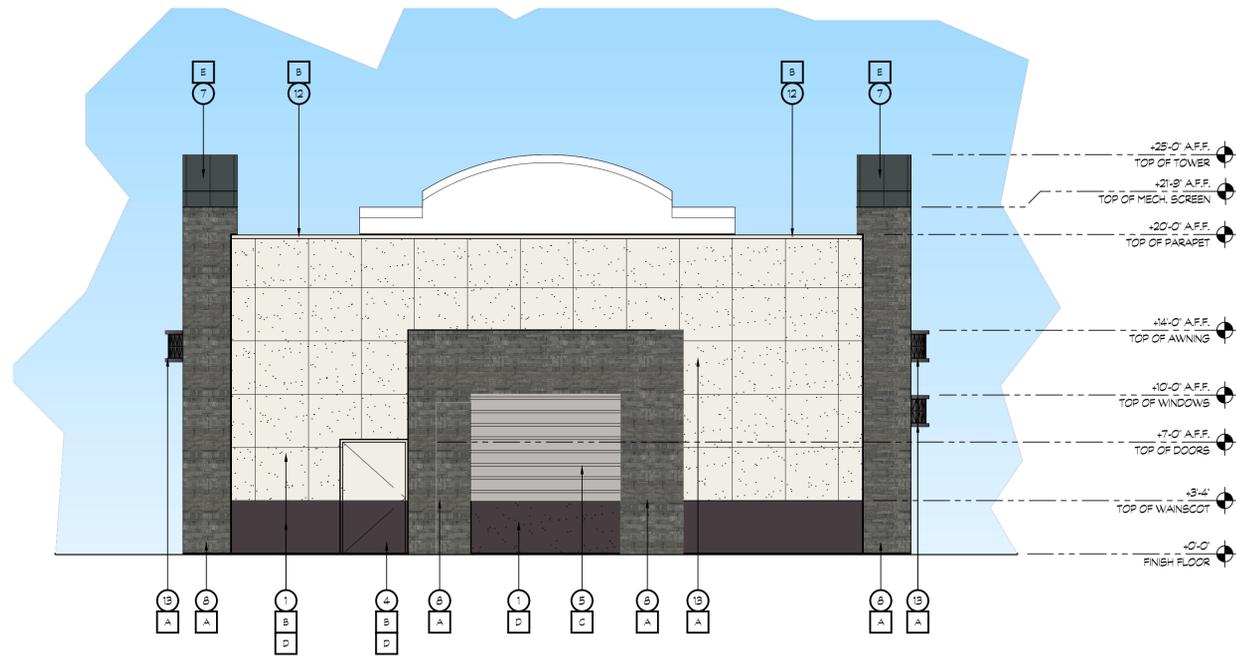
147 LATHROP RD
MANTECA, CA 95330

A303



K12
Architects

K12 Architects, Inc
3633 Seaport Blvd, Suite C
W. Sacramento, CA 95691
PH:(916) 455-6500 FAX:(916) 455-8100



KEY NOTES

- ① 7/8" THREE COAT STUCCO SYSTEM OVER DUPONT TYVEK DRAINWRAP
- ② SIGNAGE, BY OWNER
- ③ STOREFRONT WINDOW SYSTEM; DARK BRONZE ANODIZED, 2"x4.5" CENTER GLAZING SYSTEM; WITH 1" CLEAR DUAL GLAZING
- ④ HOLLOW CORE METAL DOOR
- ⑤ METAL SIDING- PAINTED
- ⑥ METAL TRIM- PAINTED
- ⑦ STANDING SEAM METAL ROOFING
- ⑧ STONE TILE OVER EXTERIOR CEMENT PLASTER OVER METAL LATH OVER DUPONT TYVEK DRAINWRAP
- ⑨ WALL LIGHT BY OWNER
- ⑩ ROOF LINE AND WALL BEYOND
- ⑪ STREET ADDRESS, 12" HIGH LETTERS, 1 1/2" STROKE, BLACK, BACKGROUND COLOR TO MATCH TRIM COLOR, WALL WASH ILLUMINATION
- ⑫ METAL FLASHING - PAINT TO MATCH DAL TILE OR CEMENT PLASTER
- ⑬ DECORATIVE METAL AWNINGS- PAINTED
- ⑭ DRIVE THRU WINDOW
- ⑮ METAL PANEL
- ⑯ FAUX STOREFRONT WINDOW SYSTEM; DARK BRONZE ANODIZED, 2"x4.5" CENTER GLAZING SYSTEM; WITH 1" CLEAR DUAL GLAZING PAINTED BLACK ON REAR

18 QSR BUILDING SOUTH ELEVATION

SCALE: 3/16"= 1'-0"

AIRPORT PLAZA

2060 WEST LATHROP RD
MANTECA, CA 95336



COLOR LEGEND

A	DAL TILE STACKED STONE- 'MACAU BLACK'	
B	SHERWIN WILLIAMS SW7005- 'PURE WHITE'	
C	SHERWIN WILLIAMS SW6002- 'ESSENTIAL GRAY'	
D	SHERWIN WILLIAMS SW7083- 'DARK ROOM'	
E	AEP SPAN METAL ROOFING- 'SLATE GRAY'	
F	DIZAL ALUMINUM SIDING 122-03- 'HICKORY BOURBON'	

20 QSR BUILDING EAST ELEVATION

SCALE: 3/16"= 1'-0"

**TWO GUYS
FOOD AND FUEL**

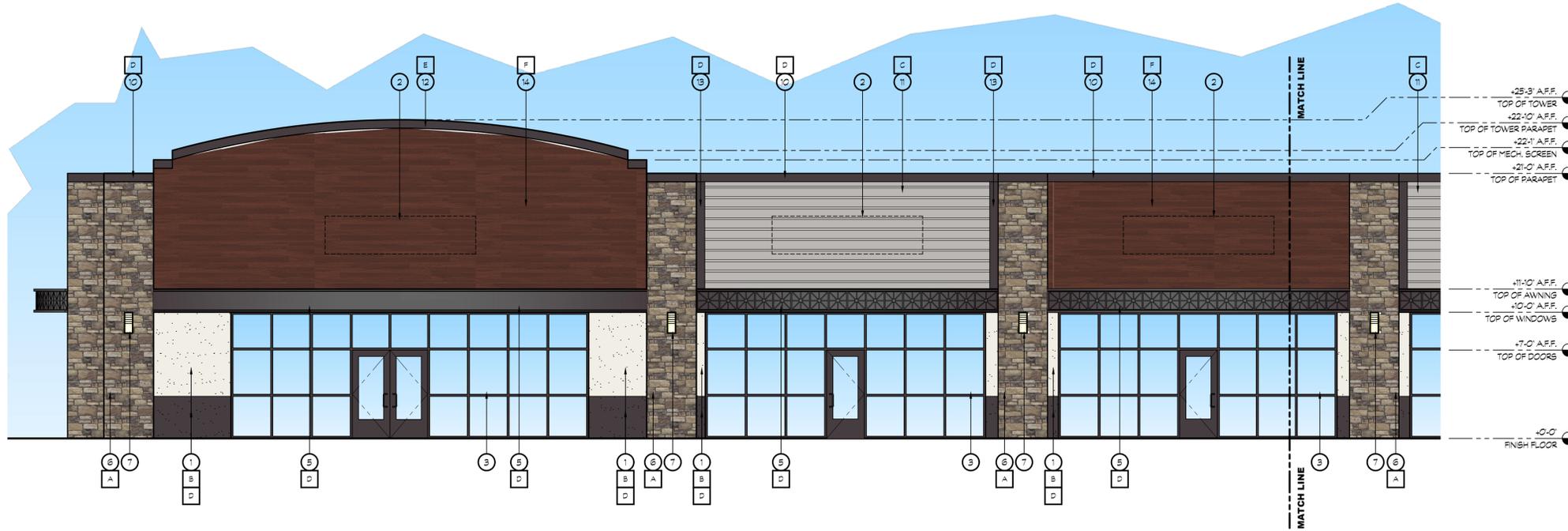
147 LATHROP RD
MANTECA, CA 95330

A304



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Architects

K12 Architects, Inc
3633 Scaport Blvd, Suite C
W. Sacramento, CA 95691
PH:(916) 455-6500 FAX:(916) 455-8100



KEY NOTES

- 1 7/8" THREE COAT STUCCO SYSTEM OVER DUPONT TYVEK DRAINWRAP
- 2 SIGNAGE, BY OWNER
- 3 STOREFRONT WINDOW SYSTEM; DARK BRONZE ANODIZED, 2"x4.5" CENTER GLAZING SYSTEM; WITH 1" CLEAR DUAL GLAZING
- 4 HOLLOW CORE METAL DOOR
- 5 DECORATIVE METAL AWNING
- 6 STONE TILE OVER EXTERIOR CEMENT PLASTER OVER METAL LATH OVER DUPONT TYVEK DRAINWRAP
- 7 WALL LIGHT BY OWNER
- 8 ROOF LINE AND WALL BEYOND
- 9 STREET ADDRESS, 12" HIGH LETTERS, 1/2" STROKE, BLACK, BACKGROUND COLOR TO MATCH TRIM COLOR, WALL WASH ILLUMINATION
- 10 METAL FLASHING - PAINT TO MATCH DAL TILE OR CEMENT PLASTER
- 11 METAL WALL PANEL- PAINTED
- 12 STANDING SEAM METAL ROOFING
- 13 METAL TRIM- PAINTED
- 14 METAL PANEL
- 15 FAUX STOREFRONT WINDOW SYSTEM; DARK BRONZE ANODIZED, 2"x4.5" CENTER GLAZING SYSTEM; WITH 1" CLEAR DUAL GLAZING PAINTED BLACK ON REAR

18 RETAIL BUILDING NORTH ELEVATION PART 1

SCALE: 3/16"= 1'-0"

AIRPORT PLAZA

2060 WEST LATHROP RD
MANTECA, CA 95336

COLOR LEGEND

A	EL DORADO STONE LIMESTONE- 'YORK'	
B	SHERWIN WILLIAMS SW7005- 'PURE WHITE'	
C	SHERWIN WILLIAMS SW6002- 'ESSENTIAL GRAY'	
D	SHERWIN WILLIAMS SW7083- 'DARK ROOM'	
E	AEP SPAN METAL ROOFING- 'SLATE GRAY'	
F	DIZAL ALUMINUM SIDING 122-03- 'HICKORY BOURBON'	



20 RETAIL BUILDING NORTH ELEVATION PART 2

SCALE: 3/16"= 1'-0"

**TWO GUYS
FOOD AND FUEL**

147 LATHROP RD
MANTECA, CA 95330

A305



K12
Architects

K12 Architects, Inc
3633 Seaport Blvd, Suite C
W. Sacramento, CA 95691
PH:(916) 455-6500 FAX:(916) 455-8100



KEY NOTES

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18 RETAIL BUILDING WEST ELEVATION

SCALE: 3/16"= 1'-0"

AIRPORT PLAZA

2060 WEST LATHROP RD
MANTECA, CA 95336

COLOR LEGEND

A	EL DORADO STONE LIMESTONE- 'YORK'	
B	SHERWIN WILLIAMS SW7005- 'PURE WHITE'	
C	SHERWIN WILLIAMS SW6002- 'ESSENTIAL GRAY'	
D	SHERWIN WILLIAMS SW7083- 'DARK ROOM'	
E	AEP SPAN METAL ROOFING- 'SLATE GRAY'	
F	DIZAL ALUMINUM SIDING 122-03- 'HICKORY BOURBON'	



20 RETAIL BUILDING EAST ELEVATION

SCALE: 3/16"= 1'-0"

**TWO GUYS
FOOD AND FUEL**

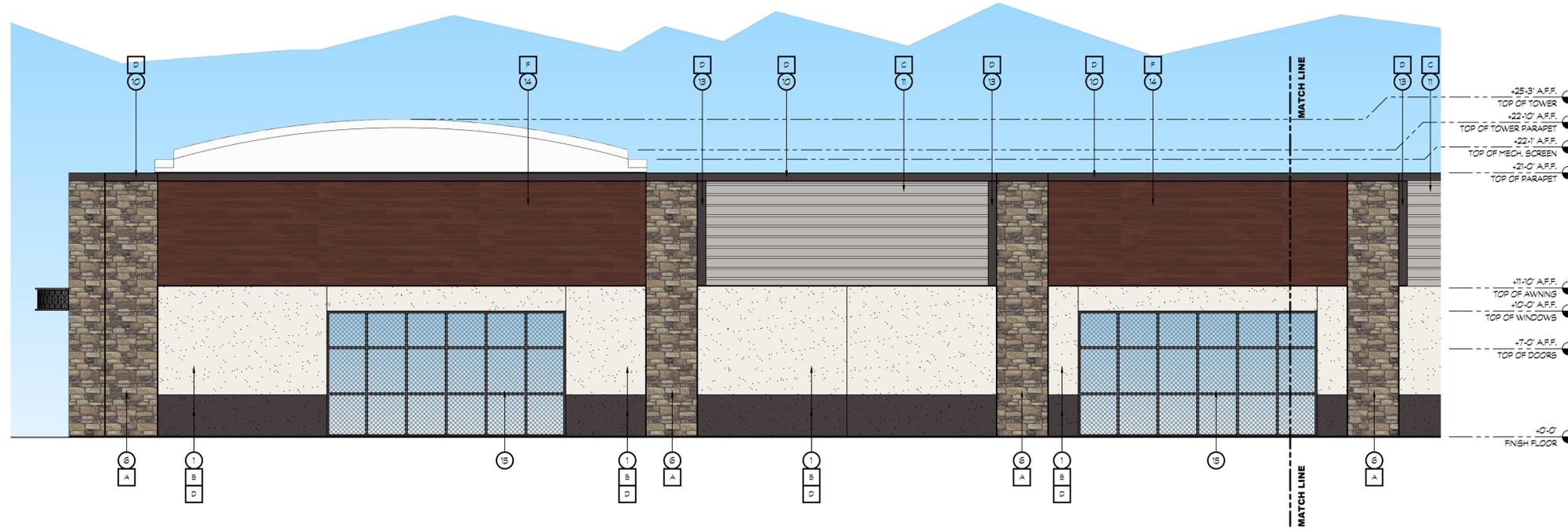
147 LATHROP RD
MANTECA, CA 95330

A306



Architects

K12 Architects, Inc
3633 Seaport Blvd, Suite C
W. Sacramento, CA 95691
PH:(916) 455-6500 FAX:(916) 455-8100



KEY NOTES

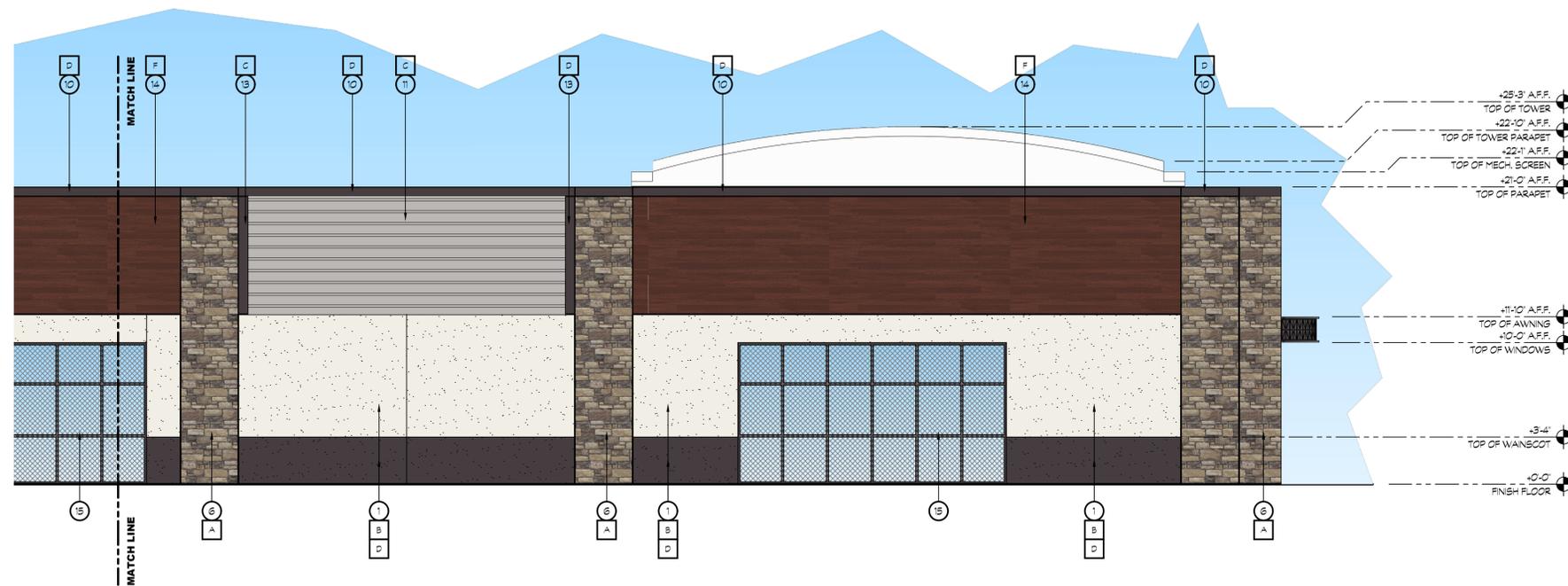
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18 RETAIL BUILDING SOUTH ELEVATION PART 01

SCALE: 3/16"= 1'-0"

AIRPORT PLAZA

2060 WEST LATHROP RD
MANTECA, CA 95336



COLOR LEGEND

- A EL DORADO STONE LIMESTONE- YORK
- B SHERWIN WILLIAMS SW7005- PURE WHITE
- C SHERWIN WILLIAMS SW6002- ESSENTIAL GRAY
- D SHERWIN WILLIAMS SW7083- DARK ROOM
- E AEP SPAN METAL ROOFING- SLATE GRAY
- F DIZAL ALUMINUM SIDING 122-03- HICKORY BOURBON

20 RETAIL BUILDING SOUTH ELEVATION PART 02

SCALE: 3/16"= 1'-0"

**TWO GUYS
FOOD AND FUEL**

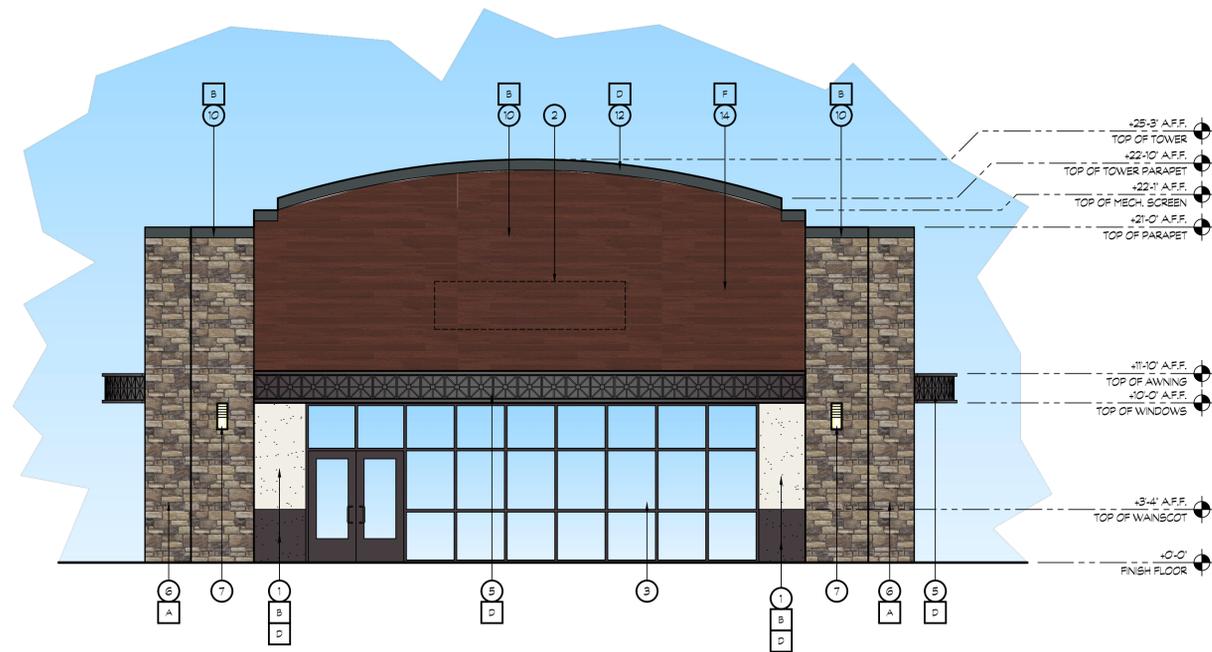
147 LATHROP RD
MANTECA, CA 95330

A307



Architects

K12 Architects, Inc
3633 Seaport Blvd, Suite C
W. Sacramento, CA 95691
PH:(916) 455-6500 FAX:(916) 455-8100



KEY NOTES

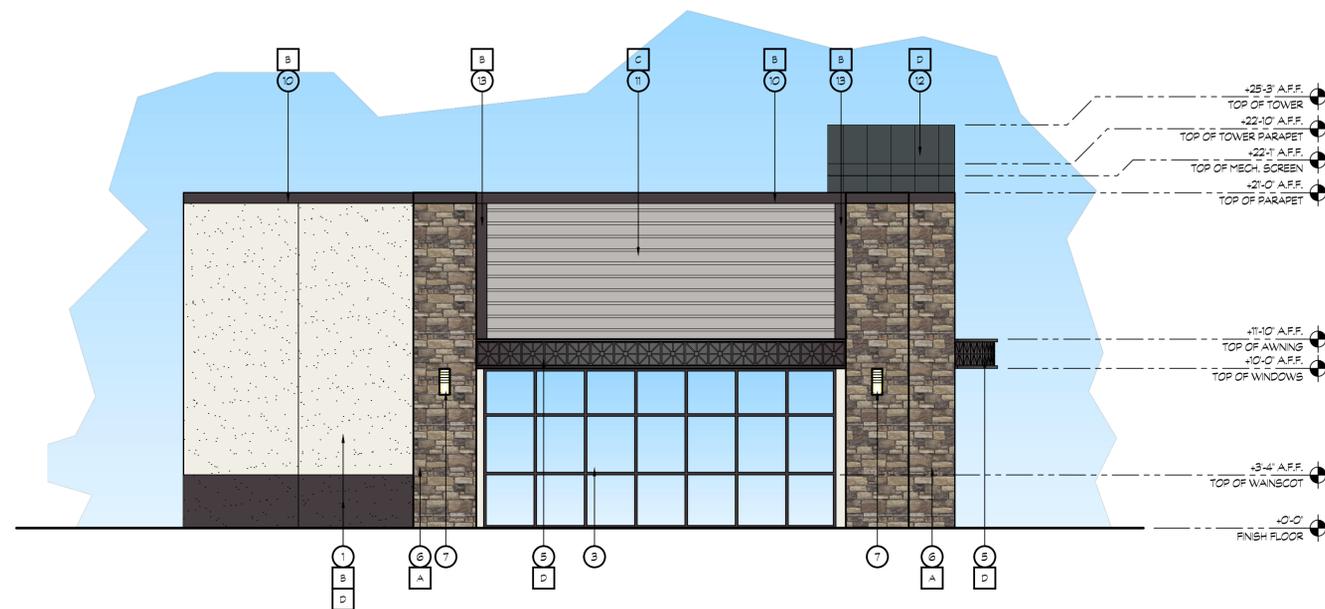
- 1 7/8" THREE COAT STUCCO SYSTEM OVER DUPONT TYVEK DRAINWRAP
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18 RESTAURANT BUILDING NORTH ELEVATION

SCALE: 3/16"= 1'-0"

AIRPORT PLAZA

2060 WEST LATHROP RD
MANTECA, CA 95336



COLOR LEGEND

A	EL DORADO STONE LIMESTONE- 'YORK'	
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C	SHERWIN WILLIAMS SW6002- 'ESSENTIAL GRAY'	
D	SHERWIN WILLIAMS SW7083- 'DARK ROOM'	
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F	DIZAL ALUMINUM SIDING 122-03- 'HICKORY BOURBON'	

20 RESTAURANT BUILDING EAST ELEVATION

SCALE: 3/16"= 1'-0"

**TWO GUYS
FOOD AND FUEL**

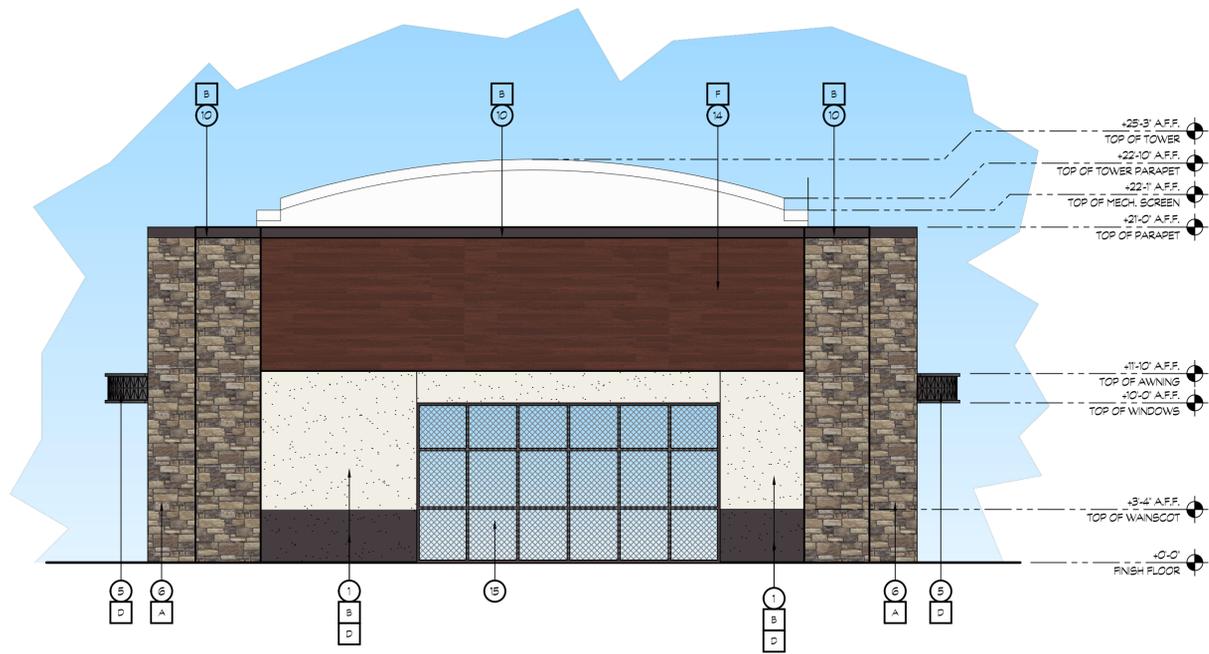
147 LATHROP RD
MANTECA, CA 95330

A308



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3633 Seaport Blvd, Suite C
W. Sacramento, CA 95691
PH:(916) 455-6500 FAX:(916) 455-8100



KEY NOTES

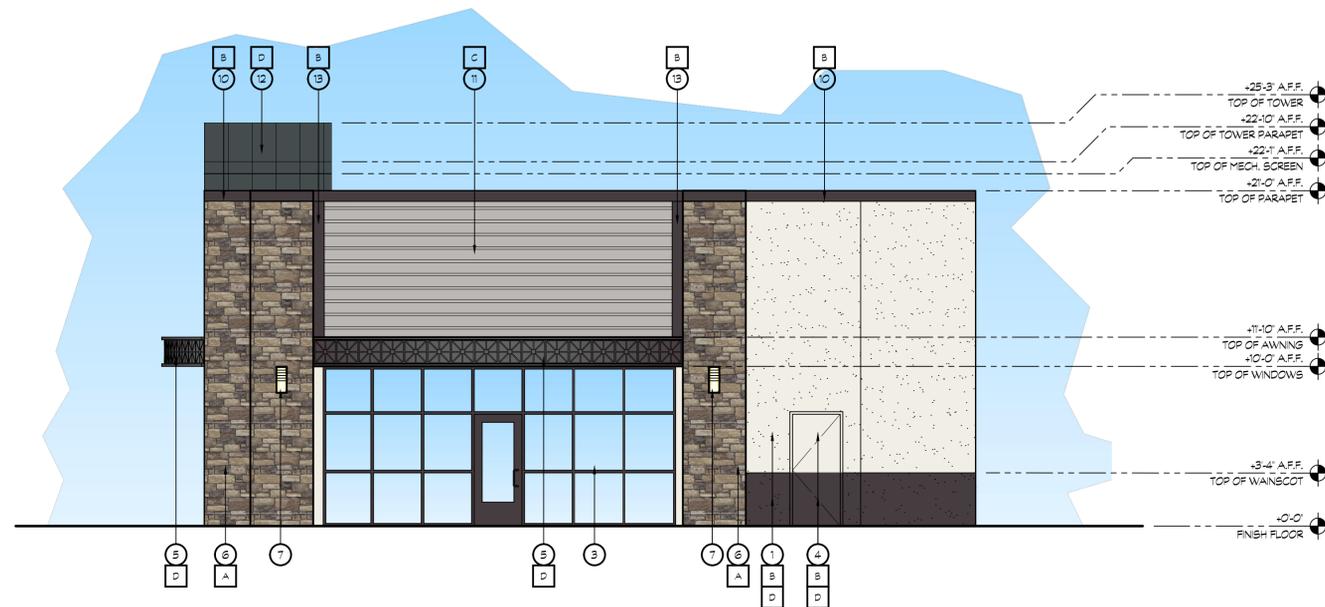
- 1 7/8\"/>

18 RESTAURANT BUILDING SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

AIRPORT PLAZA

2060 WEST LATHROP RD
MANTECA, CA 95336



COLOR LEGEND

A	EL DORADO STONE LIMESTONE- 'YORK'	
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20 RESTAURANT BUILDING WEST ELEVATION

SCALE: 3/16" = 1'-0"

**TWO GUYS
FOOD AND FUEL**

147 LATHROP RD
MANTECA, CA 95330

A309



Architects

K12 Architects, Inc
3633 Seaport Blvd, Suite C
W. Sacramento, CA 95691
PH:(916) 455-6500 FAX:(916) 455-8100

AIRPORT PLAZA

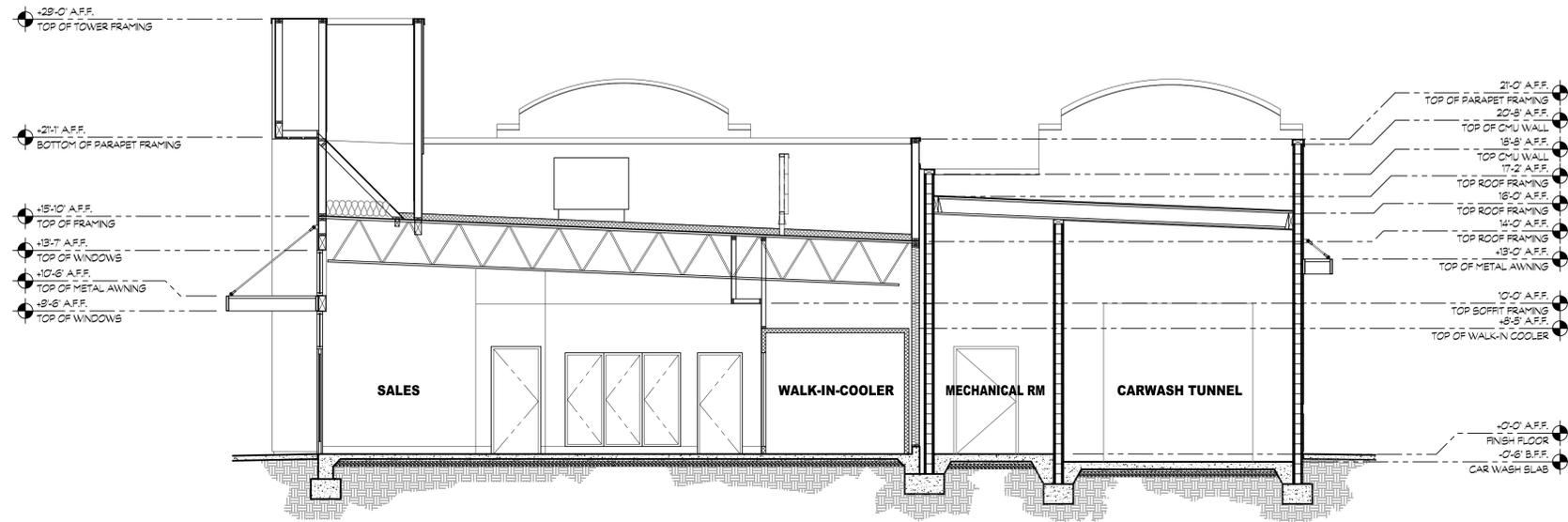
2060 WEST LATHROP RD
MANTECA, CA 95336

**TWO GUYS
FOOD AND FUEL**

147 LATHROP RD
MANTECA, CA 95330

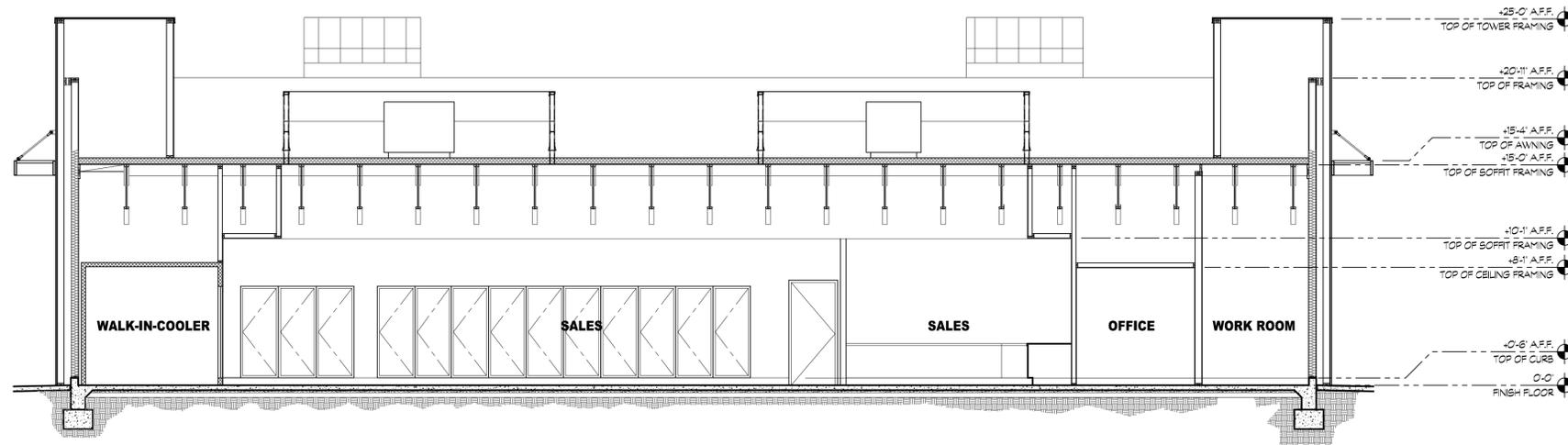
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PROJECT NUMBER: 20-004 DATE: 02-14-20



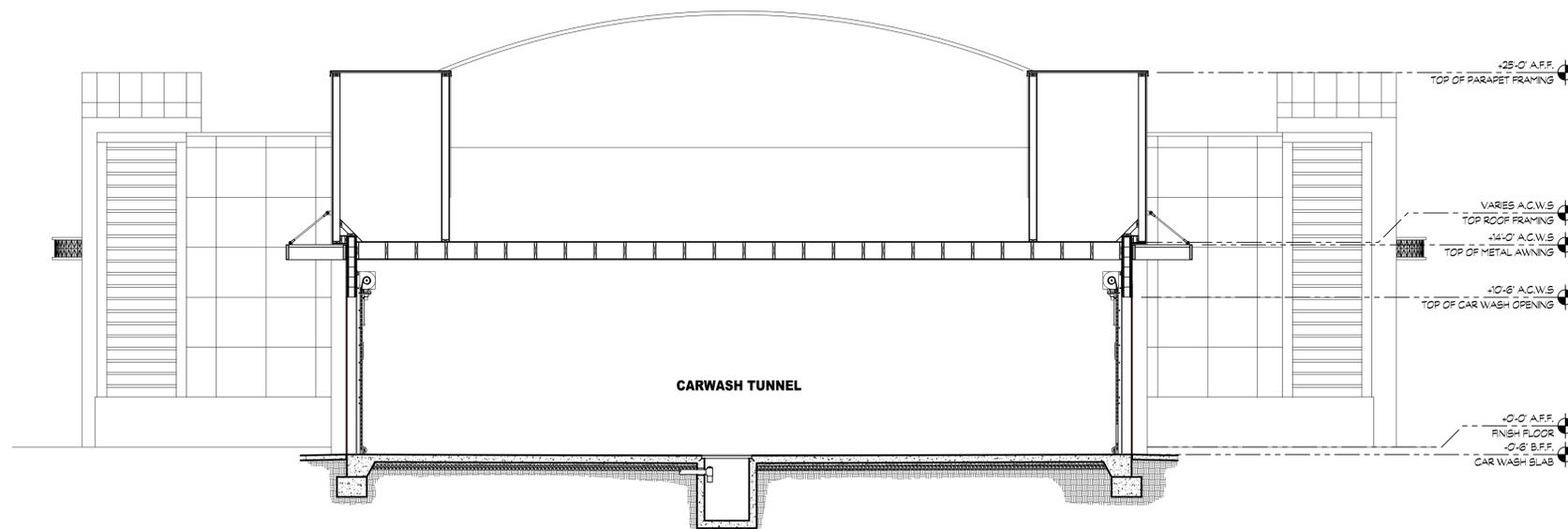
A CONVENIENCE STORE - BUILDING SECTION A-A

SCALE: 3/16" = 1'-0"



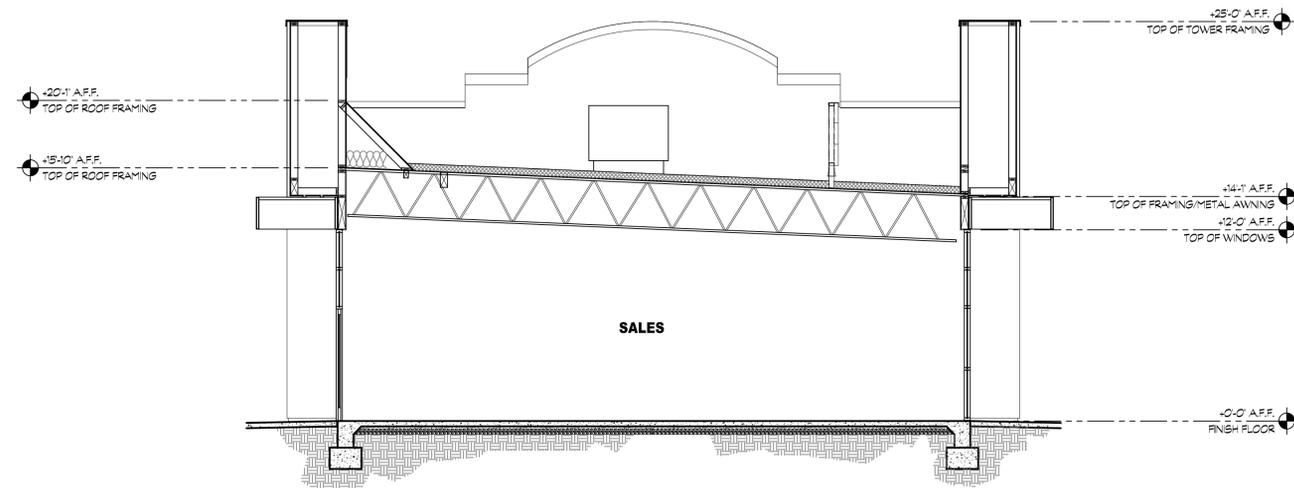
B CONVENIENCE STORE - BUILDING SECTION B-B

SCALE: 3/16" = 1'-0"



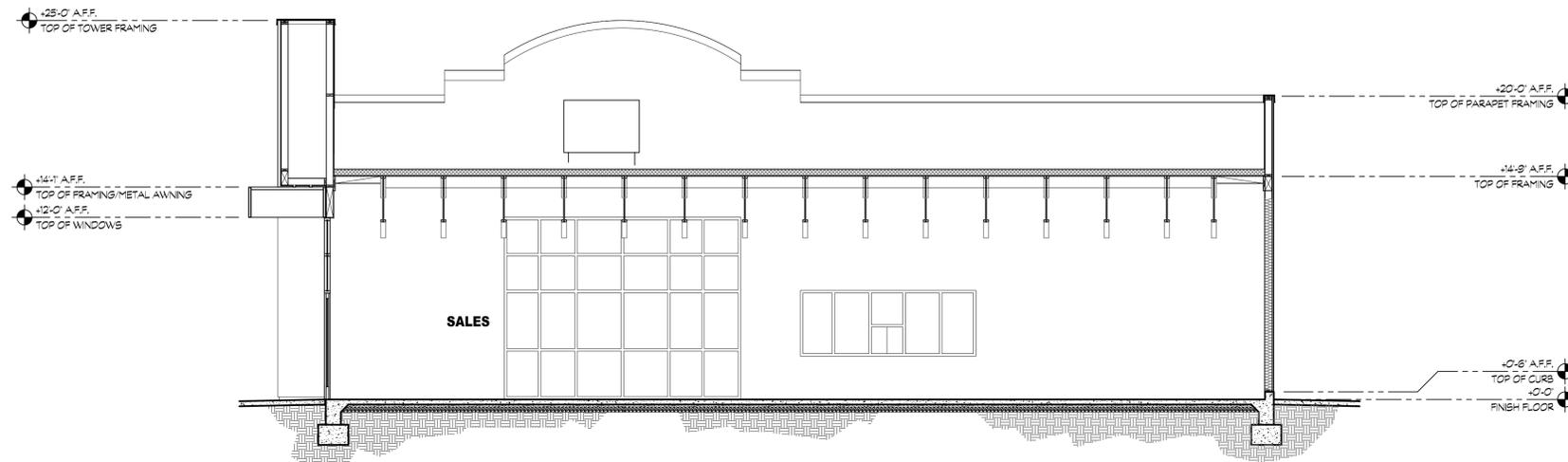
C CAR WASH - BUILDING SECTION C-C

SCALE: 3/16" = 1'-0"



A QSR - BUILDING SECTION A-A

SCALE: 3/16" = 1'-0"



B QSR - BUILDING SECTION B-B

SCALE: 3/16" = 1'-0"

AIRPORT PLAZA

2060 WEST LATHROP RD
 MANTECA, CA 95336

TWO GUYS FOOD AND FUEL

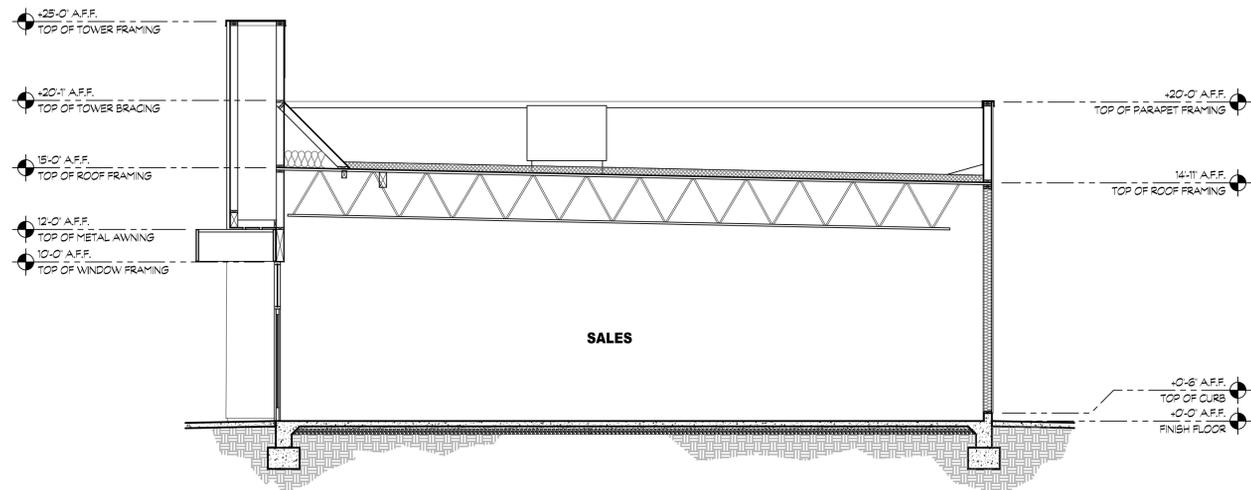
147 LATHROP RD
 MANTECA, CA 95330

A402



Architects

K12 Architects, Inc
3633 Seaport Blvd, Suite C
W. Sacramento, CA 95691
PH:(916) 455-6500 FAX:(916) 455-8100

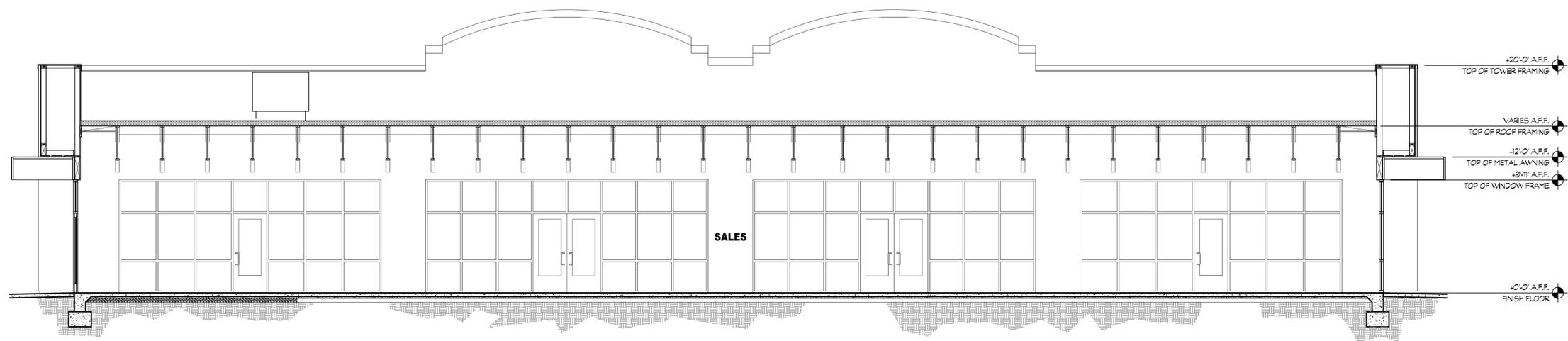


A QSR - BUILDING SECTION A-A

SCALE: 3/16" = 1'-0"

AIRPORT PLAZA

2060 WEST LATHROP RD
MANTECA, CA 95336



B QSR - BUILDING SECTION B-B

SCALE: 3/16" = 1'-0"

**TWO GUYS
FOOD AND FUEL**

147 LATHROP RD
MANTECA, CA 95330

A403



K12
Architects

K12 Architects, Inc
3090 Fite Circle, #104
Sacramento, CA 95827

PH:(916) 455-6500 FAX:(916) 455-8100

CONSULTANTS:

CONTRACTOR:

PROJECT:

**AIRPORT
PLAZA**

2060 WEST LATHROP RD.
MANTECA, CA 95336

DEVELOPER:

**TWO GUYS FOOD
AND FUEL**

**147 LATHROP RD
MANTECA, CA 95330**

REVISIONS:

PROFESSIONAL SEALS:



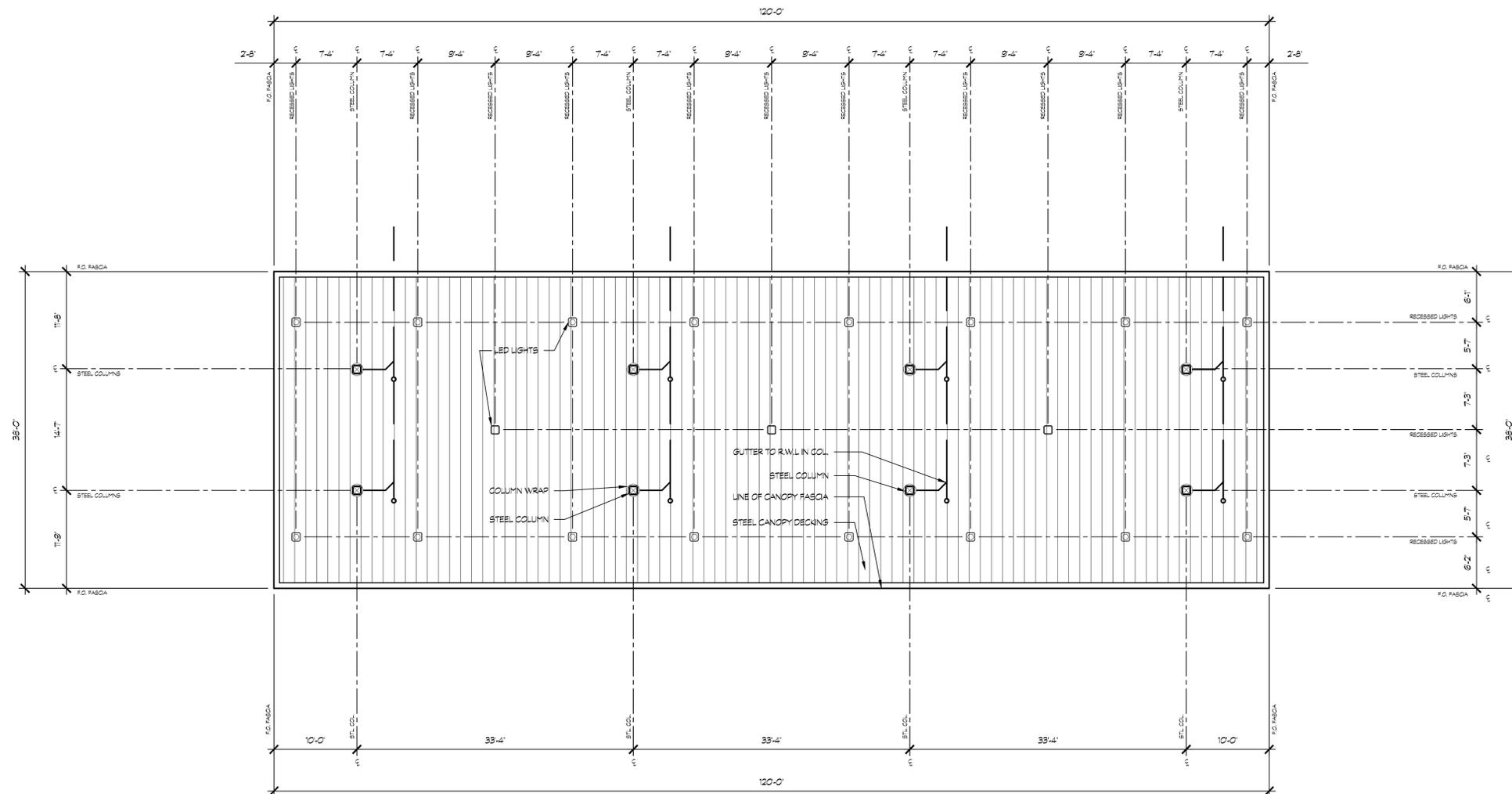
PROJECT NUMBER: **20-004** PROJECT DATE: **07-12-2021**

SHEET CONTENTS:

**FUELING CANOPY
REFLECTED CEILING
PLAN**

SHEET NUMBER:

A902





K12
Architects

K12 Architects, Inc
3090 Fite Circle, #104
Sacramento, CA 95827
PH:(916) 455-6500 FAX:(916) 455-8100

CONSULTANTS:

CONTRACTOR:

PROJECT:

**AIRPORT
PLAZA**

2060 WEST LATHROP RD.
MANTECA, CA 95336

DEVELOPER:

**TWO GUYS FOOD
AND FUEL**

**147 LATHROP RD
MANTECA, CA 95330**

REVISIONS:

PROFESSIONAL SEALS:



PROJECT NUMBER: **20-004** PROJECT DATE: **07-12-2021**

SHEET CONTENTS:

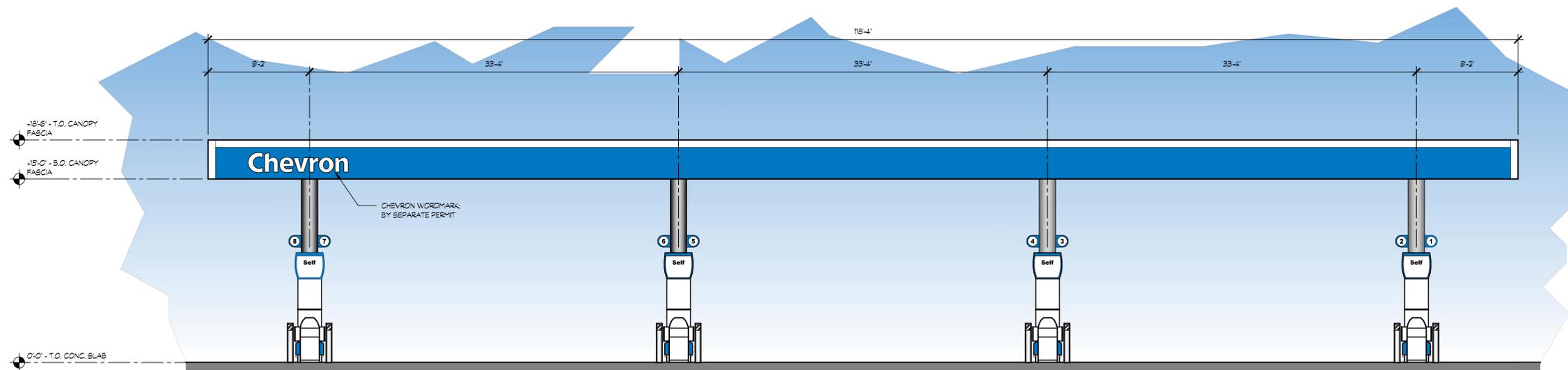
**AUTO FUELING
CANOPY**

SCHEMATIC DESIGN

ELEVATIONS

SHEET NUMBER:

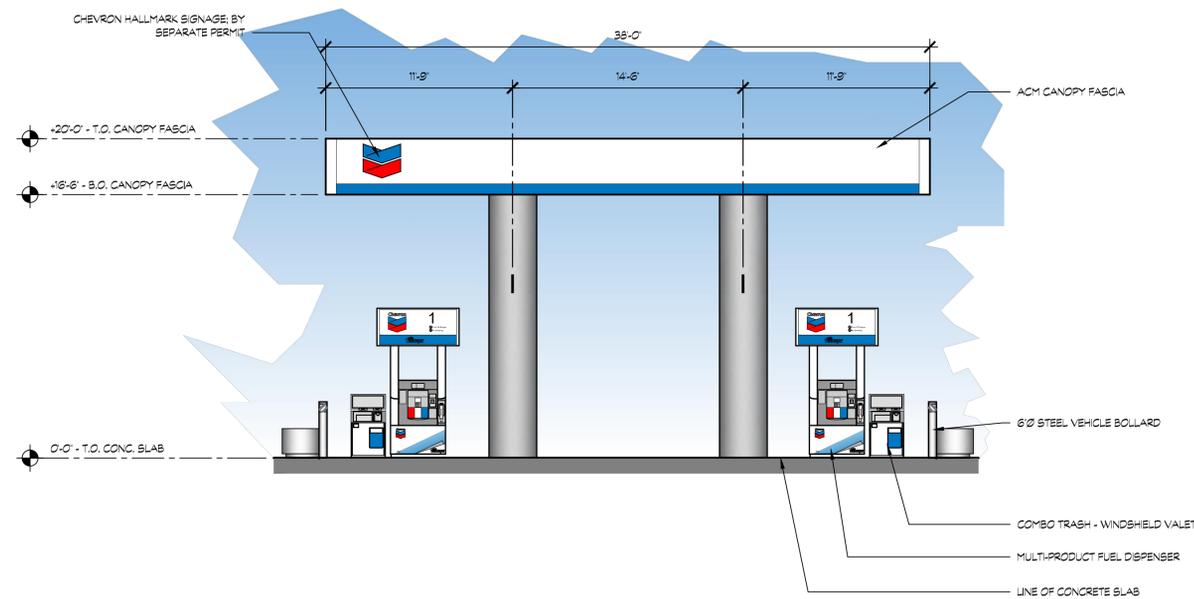
A903



18 AUTO FUELING CANOPY - SOUTH ELEVATION

NORTH ELEVATION SIMILAR

SCALE: 3/16" = 1'-0"



12 AUTO FUELING CANOPY - WEST ELEVATION

EAST ELEVATION SIMILAR

SCALE: 3/16" = 1'-0"

19

20

IMPROVEMENT PLANS FOR

AIRPORT PLAZA 2060 W. LATHROP ROAD MANTECA, CA. 95336 APN: 202-020-14

CITY OF MANTECA STANDARDS GENERAL NOTES

- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, ENGINEER AND THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNLESS OTHERWISE STATED, ALL STATIONS INDICATED ON THE IMPROVEMENT PLANS ARE REFERENCED TO THE CENTER LINE OF THE STREET. ALL STATIONS ON THE CURBS ARE PERPENDICULAR TO OR RADIALLY OPPOSITE CENTER LINE STATIONS, UNLESS OTHERWISE NOTED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING FACILITIES.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE CITY ENGINEER.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY IN ACCORDANCE WITH THE CURRENT ISSUE OF "MANUAL OF TRAFFIC CONTROLS WARNING SIGNS, LIGHTS AND DEVICES FOR USE IN PERFORMANCE OF WORK UPON HIGHWAYS" PUBLISHED BY THE STATE OF CALIFORNIA BUSINESS AND TRANSPORTATION AGENCY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY MARKING THE INSTALLED LOCATION OF ALL SANITARY AND WATER SERVICES (STAMPED WITH AN "S" AND "W" RESPECTIVELY) AT THE TIME OF INSTALLATION. CONTRACTOR SHALL REMOVE ALL EXISTING BERMS, STRUCTURES AND BARRICADES, PAVING AND/OR OIL SCREENING WITHIN SPECIFIC AREAS INDICATED TO BE IMPROVED.
- THE OFFICE OF THE CITY ENGINEER SHALL BE NOTIFIED AT LEAST 24 HOURS IN ADVANCE OF ANY WORK.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MANTECA, DEPARTMENT OF PUBLIC WORKS STANDARD PLANS AND SPECIFICATIONS; AND THE LATEST EDITION OF THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS.
- P.G. & E., TELEPHONE AND CABLE TV UNDERGROUND WORK SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF THE CURB, GUTTER, SIDEWALK AND PAVING.
- IF REQUIRED, THE CONTRACTOR SHALL DETERMINE THE PROPER WELL PLACEMENTS TO ADEQUATELY DEWATER THE AREA FOR TRENCHING.
- THE CITY OF MANTECA OR ASSOCIATED UTILITY COMPANY AND RESIDENCES TO BE AFFECTED SHALL BE NOTIFIED IMMEDIATELY UPON ANY UTILITY SERVICE DISRUPTION OTHER THAN SPECIFIED ON THESE IMPROVEMENT PLANS AND A 24 HOUR NOTICE SHALL BE GIVEN FOR ANY PLANNED DISRUPTION.
- DUST SHALL BE CONTROLLED AS PER SECTION 10 OF THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS AND THE CITY OF MANTECA'S SPECIFICATIONS.
- LOTS SHALL BE GRADED TO ESTABLISH IDENTICAL ELEVATIONS (MATCH GRADES) WITH ADJACENT LOTS AND SURROUNDING PROPERTY UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM THE CITY OF MANTECA, DEPARTMENT OF PUBLIC WORKS OR ANY OTHER APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF WORK WITHIN EXISTING CITY RIGHT-OF-WAY.
- STREET SIGNS, TRAFFIC CONTROL SIGNS, AND PAVEMENT MARKINGS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR AT LOCATIONS ESTABLISHED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL SECURE A TRENCH PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO EXCAVATION OF ANY TRENCH OVER FIVE FEET IN DEPTH.
- ASPHALT CONCRETE SHALL BE PLACED ONLY WHEN THE ATMOSPHERIC TEMPERATURE IS ABOVE 50°F AND RISING.
- ALL STREET LIGHTING SHALL BE CONSTRUCTED BY AND AT A COST TO THE DEVELOPER SUCH THAT OWNERSHIP OF THE STREET LIGHTS ARE TO BE PROVIDED TO THE CITY (LS-2C SCHEDULE).
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES AND SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES PRIOR TO COMMENCEMENT OF WORK. HE SHALL BE RESPONSIBLE FOR THE LOCATION AND PRESERVATION OF ALL SUCH FACILITIES IN THE AREA OF CONSTRUCTION AND SHALL NOTIFY UTILITIES FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE REMOVAL OR RELOCATION OF ALL EXISTING UTILITIES WITH RESPECTIVE UTILITY COMPANIES.
- THE CONTRACTOR IS TO PROVIDE COMPACTED BUILDING PADS AT THE ELEVATIONS SHOWN ON THE GRADING PLAN.
- ALL SERVICE LATERALS SHALL BE EXTENDED PAST THE PROPERTY LINE AND PLUGGED, IF THERE IS TO BE A LAPSE BEFORE ON-SITE WORK IS COMPLETE.
- MANHOLE CASTINGS AND COVERS SHALL BE ADJUSTED TO FINAL GRADES BY THE PAVING CONTRACTOR AFTER STREET IMPROVEMENTS ARE COMPLETED.
- ALL WATER LINES SHALL BE TESTED AND DISINFECTED IN COMPLIANCE WITH THE REQUIREMENTS OF THE CITY OF MANTECA'S STANDARD PLANS AND SPECIFICATIONS, PRIOR TO FINAL ACCEPTANCE.
- AFTER CONSTRUCTION OF ALL IMPROVEMENTS, THE ENGINEERS SHALL SUBMIT ONE SET OF REPRODUCIBLE "AS BUILT" PLANS. FINAL INVERT ELEVATIONS FOR SEWER AND STORM DRAIN LINES THAT ARE TO BE EXTENDED FOR FUTURE CONSTRUCTION SHALL ALSO BE SHOWN ON THE "AS BUILT" PLANS.
- ALL TRENCHES ON MAJOR AND COLLECTOR STREETS AND CROSS TRENCHES ON ALL STREETS SHALL BE PAVED WITH TEMPORARY PAVING THE SAME DAY THE PAVEMENT CUT IS MADE.



VICINITY MAP
N.T.S.

SCOPE OF WORK

- THIS PROJECT CONSIST OF DEVELOPING THE SITE TO BE USED AS A GAS STATION, CONVENIENCE STORE, RETAIL BUILDING, AND CARWASH. IMPROVEMENTS WILL INCLUDE GRADING, DRAINAGE, UTILITY INSTALLATION AND CONNECTIONS, STRIPING AND THE INSTALLATION OF DRIVEWAYS.

GENERAL SITE NOTES:

- EXISTING SQUARE FEET OF IMPERVIOUS AREA: 0 S.F.
- PROPOSED SQUARE FEET OF IMPERVIOUS AREA: 106,980 S.F.

GENERAL NOTES:

- OWNER: TWO GUYS FOOD AND FUEL
C/O JARNAIL KAMBOJ
147 LATHROP ROAD
LATHROP, CA. 95330
- CIVIL ENGINEER: DILLON & MURPHY
C/O JOE MURPHY
P.O. BOX 2180
LODI, CA. 95241
- SOILS REPORT: CTE CAL, INC.
JOB NO. 25-1236G
APRIL 20, 2022
4230 KIERNAN AVE., SUITE 150
MODESTO, CA. 95356
(209) 543-1799

INDEX OF SHEETS

- | | |
|-----------|---|
| C1 | TITLE SHEET |
| C2 | TOPOGRAPHIC SURVEY AND DEMOLITION PLAN |
| C3 | GRADING AND DRAINAGE PLAN |
| C4 | UTILITY PLAN |
| C5 | EROSION AND SEDIMENT CONTROL PLAN |
| C6 | DETAIL SHEET |

DRAFT
** NOT FOR CONSTRUCTION **

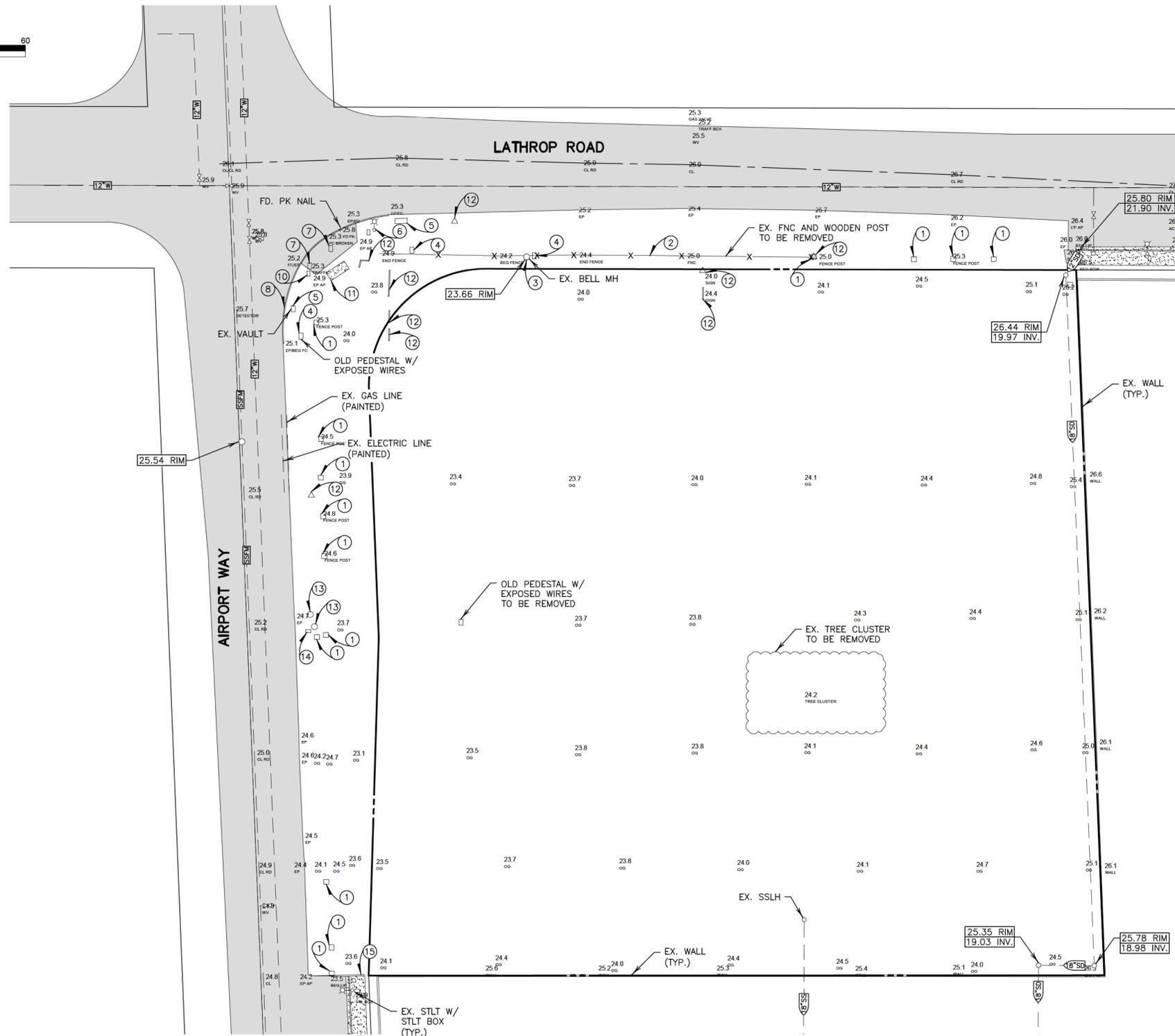
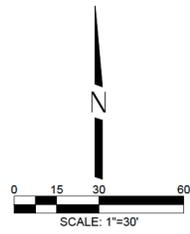


Know what's below.
Call before you dig.

 DILLON & MURPHY ENGINEERING	DILLON & MURPHY ENGINEERING 847 N. CLUFF AVENUE SUITE A-2, LODI, CA 95240 (209) 334-6613
	AIRPORT PLAZA ON-SITE IMPROVEMENT PLANS

TITLE SHEET	
MANTECA, CALIFORNIA OCTOBER, 2023	

REV. NO.	DESCRIPTION	DATE	BY	SCALE: N.T.S.	BENCH MARK: SJ-33 EL: 26.146	SHEET
				DRAWN BY: JMO	DESCRIPTION:	C1
				DESIGNED BY:	BRASS CAP TOP HWY R/W MARKER	OF 6 SHEETS
				CHECKED BY: JM	48' W OF AIRPORT 25' S. SIDE	JOB NO.
				AS BUILT BY:	(NGVD 29)	22177



LEGEND

- EX. EXISTING
- FNC FENCE
- FD. FOUND
- LH LAMPHOLE
- MH MANHOLE
- PP POWER POLE
- STLT STREET LIGHT
- SD STORM DRAIN
- SS SANITARY SEWER
- TB TRAFFIC BOX
- (TYP.) TYPICAL
- W/ WITH
- EX. CONCRETE
- EX. PAVEMENT
- EX. SIGN
- EX. WATER VALVE
- EX. STREET LIGHT
- EX. FIRE HYDRANT
- EX. WIRE FENCE W/ WOODEN POST
- EX. UTILITY

GENERAL NOTES:

1. ALL ITEMS ON-SITE AND ALONG THE FRONTAGE WILL BE REMOVED OR RELOCATED.
2. STORM DRAIN AND SEWER TO REMAIN IN PLACE.

DEMOLITION NOTES:

- 1 REMOVE FENCE POST.
- 2 REMOVE WIRED FENCE.
- 3 RAISE MANHOLE TO GRADE.
- 4 RELOCATE ELECTRIC PEDESTAL BEHIND SIDEWALK.
- 5 RELOCATE VAULT TO PROPOSED SIDEWALK AND RAISE TO GRADE.
- 6 RELOCATE STREET LIGHT AND STREET LIGHT BOX TO 0.5' BEHIND SIDEWALK.
- 7 RELOCATE TRAFFIC BOX BEHIND SIDEWALK.
- 8 REMOVE 95 LF ~ CURB.
- 9 REMOVE PAVEMENT.
- 10 RELOCATE STREET LIGHT BOX BEHIND SIDEWALK.
- 11 CONCRETE TO BE REMOVED.
- 12 REMOVE SIGN.
- 13 POWER POLE TO BE RELOCATED.
- 14 RELOCATE PGE BOX NEAR POWER POLE.
- 15 REMOVE 26 LF ~ BARRICADE.

DRAFT
** NOT FOR CONSTRUCTION **



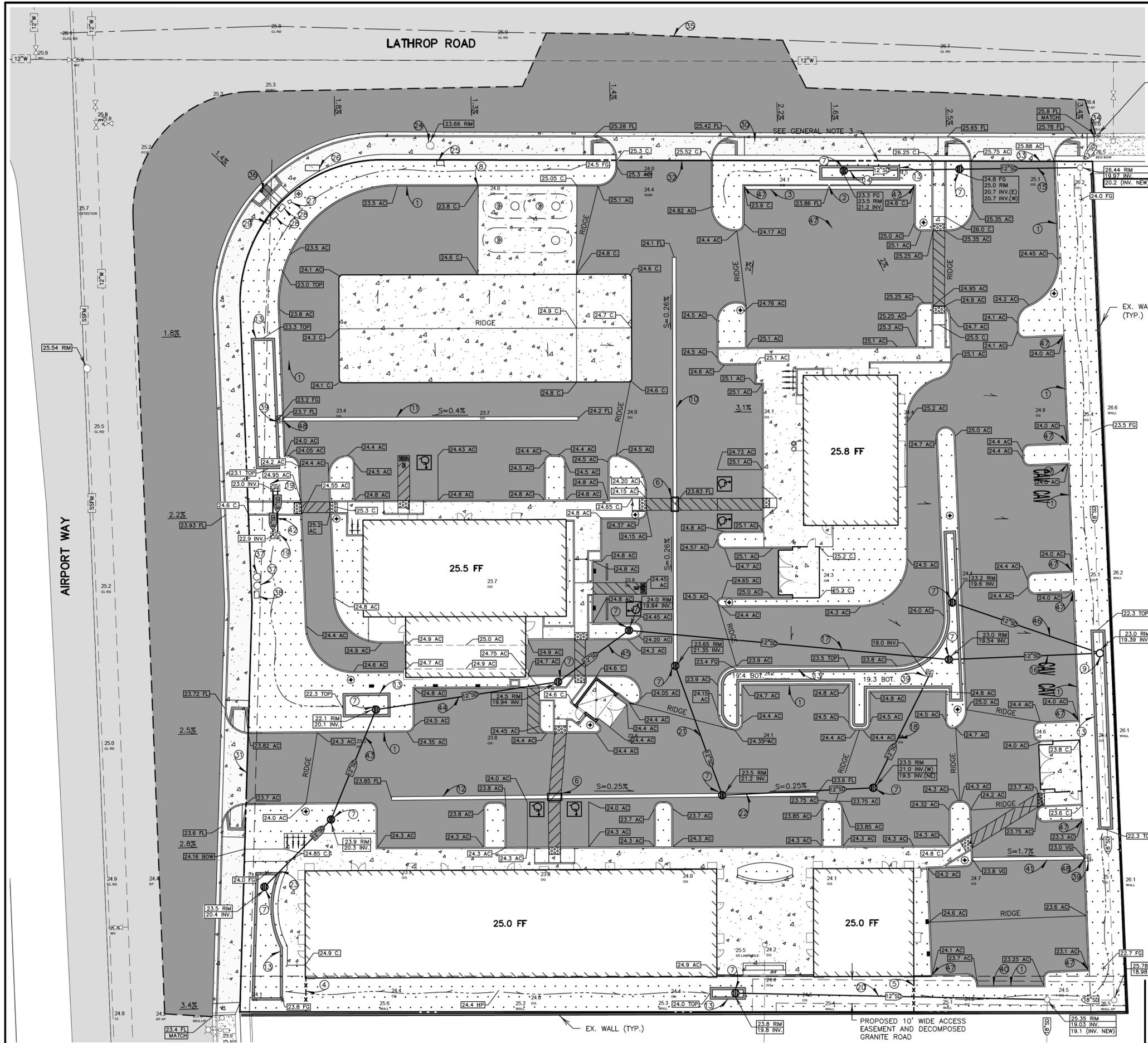
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<p>DILLON & MURPHY ENGINEERING</p>	<p>DILLON & MURPHY ENGINEERING</p> <p>847 N. CLUFF AVENUE SUITE A-2, LODI, CA 95240 (209) 334-6613</p>	
	<p>AIRPORT PLAZA ON-SITE IMPROVEMENT PLANS</p>	

TOPOGRAPHIC SURVEY AND DEMOLITION PLAN

MANTECA, CALIFORNIA
OCTOBER, 2022

REV. NO.	DESCRIPTION	DATE	BY	SCALE: 1"=30'	BENCH MARK: SJ-33 EL: 26.146	SHEET
					DESCRIPTION:	C2
				DRAWN BY: JMO	BRASS CAP TOP HWY R/W MARKER	OF 6 SHEETS
				DESIGNED BY:	48' W OF AIRPORT 25' S. SIDE	JOB NO.
				CHECKED BY: JM	(NGVD 29)	22177
				AS BUILT BY:		



- LEGEND**
- BLDG BUILDING
 - C.O.M. CITY OF MANTECA
 - EX. EXISTING
 - DWG. DRAWING
 - FG FINISH GRADE
 - FD. FOUND
 - IP IRON PIPE
 - MH MANHOLE
 - PP POWER POLE
 - PUE PUBLIC UTILITY EASEMENT
 - STD. STANDARD
 - SS.SD SOUTH SAN JOAQUIN IRRIGATION DISTRICT SANITARY SEWER STORM DRAIN
 - SS.SD PROPOSED CONCRETE GRADE EX. STREET LIGHT
 - EX. PAVEMENT
 - 4" AC OVER
 - 8" CLASS II AB @ 95% RC
 - PROPOSED CONCRETE
 - PROPOSED LANDSCAPE
 - PROPOSED TRUNCATED DOMES
 - PROPOSED TRUNCATED DOMES
 - PROPOSED LIGHT POLE
 - PROPOSED SWALE
 - PROPOSED BIORETENTION

CONSTRUCTION NOTES:

- 1 CONCRETE VERTICAL CURB WITH 1' BREAKS EVERY 8' O.C. SEE DETAIL ON SHEET C6.
- 2 1' CURB BREAK TO DRAIN TO BIORETENTION.
- 3 INSTALL 72 LF ~ CURB AND GUTTER SEE DETAIL ON SHEET C6.
- 4 INSTALL 14 LF ~ FENCE. SEE ARCHITECT PLANS FOR DETAILS.
- 5 INSTALL 15 LF ~ FENCE. SEE ARCHITECT PLANS FOR DETAILS.
- 6 INSTALL 6'X3' METAL PLATE TO ALLOW ADA ACCESS AND STORM WATER FLOW.
- 7 INSTALL STORM DRAIN DROP INLET PER C.O.M. STD. DWG. D-6.
- 8 BEGIN CURB BREAK.
- 9 INSTALL SDMH PER C.O.M. STD. DWG. D-1. SDMH TO HAVE GRATED LID. FIELD VERIFY INVERT OF EX. SD LINE PRIOR TO CONSTRUCTION.
- 10 INSTALL 173 LF ~ 18" CONCRETE VALLEY GUTTER SEE DETAIL ON SHEET C6.
- 11 INSTALL 125 LF ~ 18" CONCRETE VALLEY GUTTER SEE DETAIL ON SHEET C6.
- 12 INSTALL 180 (TOTAL) LF ~ 18" CONCRETE VALLEY GUTTER SEE DETAIL ON SHEET C6.
- 13 INSTALL BIORETENTION SEE DETAIL ON SHEET C6.(TYP.)
- 14 INSTALL 50 LF ~ 12" SD LINE. S=0.01.
- 15 INSTALL 50 LF ~ 12" RCP SD LINE. S=0.01.
- 16 INSTALL 64 LF ~ 12" SD LINE. S=0.0023.
- 17 INSTALL 136 LF ~ 12" SD LINE. S=0.0022.
- 18 INSTALL 52 LF ~ 12" SD LINE. S=0.01.
- 19 INSTALL 4'X3' RIP-RAP (12" MINUS).
- 20 INSTALL 132 LF ~ 12" SD LINE. S=0.005.
- 21 INSTALL 58 LF ~ 12" CLASS III RCP SD LINE. S=0.003.
- 22 INSTALL 64 LF ~ 12" CLASS III RCP SD RCP LINE. S=0.0031.
- 23 INSTALL 40 LF ~ 12" SD LINE. S=0.0025.
- 24 RAISE EXISTING MANHOLE TO GRADE.
- 25 INSTALL RELOCATED ELECTRIC PEDESTAL BEHIND SIDEWALK.
- 26 RELOCATED VAULT TO PROPOSED SIDEWALK AND RAISE TO GRADE.
- 27 RELOCATED STREET LIGHT AND STREET LIGHT BOX BEHIND SIDEWALK.
- 28 RELOCATED TRAFFIC BOX BEHIND SIDEWALK.
- 29 RELOCATED STREET LIGHT BOX BEHIND SIDEWALK.
- 30 INSTALL 714 (TOTAL) LF ~ CURB, GUTTER, AND SIDEWALK.
- 31 INSTALL 30' WIDE DRIVEWAY PER C.O.M. STD. DWG. ST-9.
- 32 INSTALL 40' WIDE DRIVEWAY PER C.O.M. STD. DWG. ST-9.
- 33 INSTALL 35' WIDE DRIVEWAY PER C.O.M. STD. DWG. ST-9.
- 34 INSTALL 3 LF ~ TRANSITION FOR CURB, GUTTER, AND SIDEWALK.
- 35 SAWCUT 833 (TOTAL) LF.
- 36 INSTALL CURB RAMP PER C.O.M. STD. DWG. ST-4.
- 37 APPROXIMATE LOCATION OF RELOCATED POWER POLE.
- 38 RELOCATED PGE BOX TO BE NEAR POWER POLE.
- 39 INSTALL 3'X3' RIP-RAP (12" MINUS).

GENERAL NOTES:

1. SEE ARCHITECT PLANS FOR PROPOSED ITEMS NOT DETAILED ON THIS PLAN SET.
2. SEE SHEET C6 FOR ADDITIONAL DETAILS.
3. RIGHT-OF-WAY ALIGNMENT PER MASTER PLAN PROVIDED BY CITY OF MANTECA.

CONSTRUCTION NOTES:

- 40 INSTALL 15 LF ~ 6" WIDE CONCRETE CURB FLUSH WITH THE ASPHALT.
- 41 INSTALL 47 (TOTAL) LF ~ 18" CONCRETE VALLEY GUTTER SEE DETAIL ON SHEET C6.
- 42 INSTALL 2-17 LF ~ 6" SD LINE. S=0.0059. 1 LF SEPARATION BETWEEN SD LINE.
- 43 INSTALL 50 LF ~ 12" SD LINE. S=0.004.
- 44 INSTALL 78 LF ~ 12" SD LINE. S=0.0021.
- 45 INSTALL 37 LF ~ 12" SD LINE. S=0.0027.
- 46 INSTALL 66 LF ~ 12" SD LINE. S=0.0032.
- 47 INSTALL CORNER CURB PER DETAIL ON SHEET C6.
- 48 INSTALL 2' CURB CUT, O.C.

DRAFT

** NOT FOR CONSTRUCTION **



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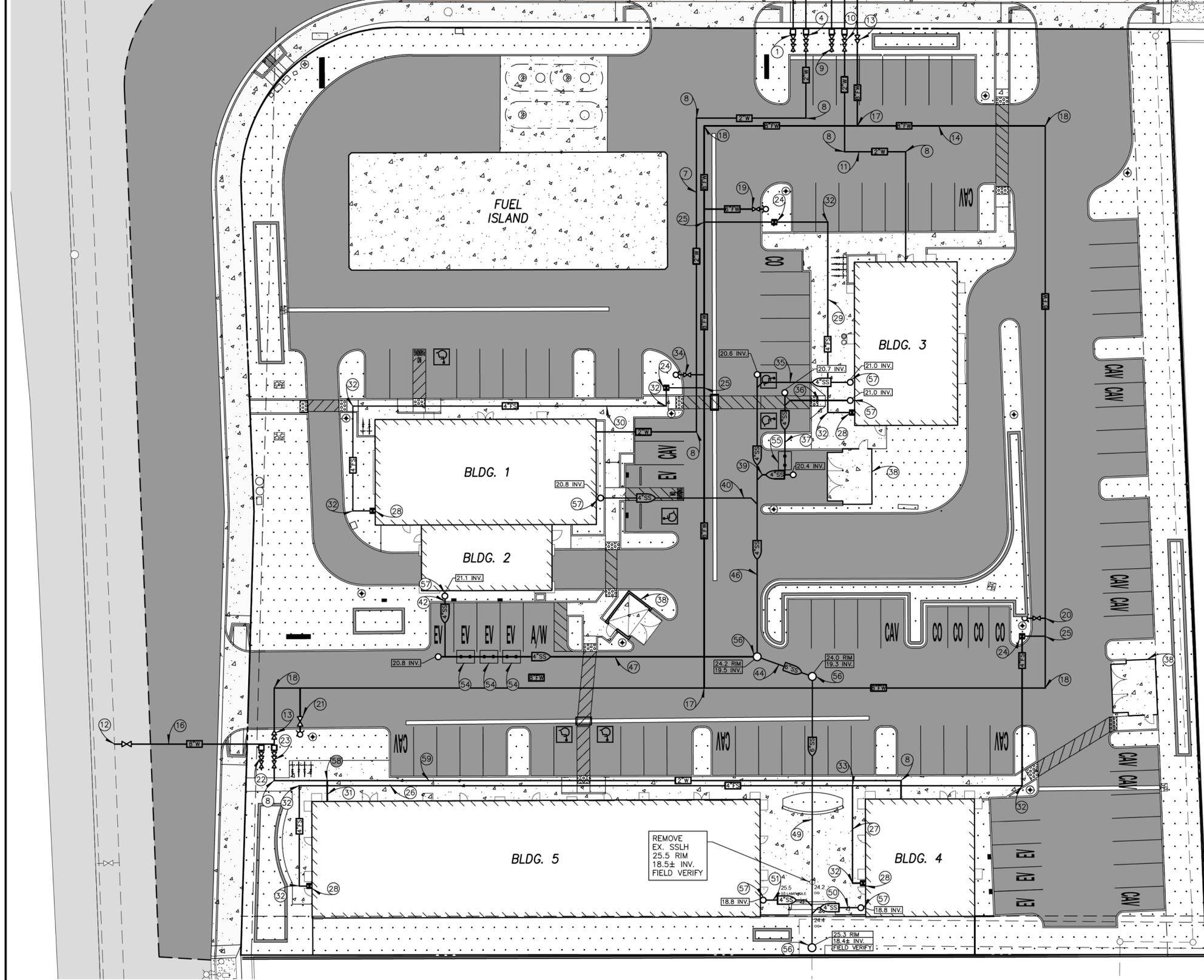
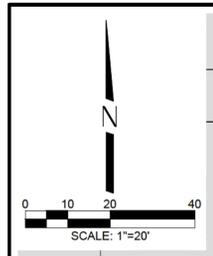
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SUITE A-2, LODI, CA 95240
(209) 334-6613

**AIRPORT PLAZA
ON-SITE IMPROVEMENT PLANS
GRADING AND DRAINAGE PLAN**

MANTECA, CALIFORNIA
OCTOBER, 2023

REV. NO.	DESCRIPTION	DATE	BY	SCALE: 1"=20'	BENCH MARK: SJ-33 EL: 26.146	SHEET
					DESCRIPTION:	C3
				DRAWN BY: JMO	BRASS CAP TOP HWY R/W MARKER	OF 6 SHEETS
				DESIGNED BY:	48' W OF AIRPORT 25' S. SIDE	JOB NO.
				CHECKED BY: JM	(NGVD 29)	22177
				AS BUILT BY:		



CONSTRUCTION NOTES:

- 1 FOR IRRIGATION USE: 1" WATER METER, RP/DCV PER C.O.M. STD. W-15, AND WATER VALVE PER C.O.M. STD. DWG. W-6. FOR USE OF BUILDING 1 AND 2.
- 2 INSTALL 12"x12" TEE AND WATER VALVE.
- 3 INSTALL 12"x12" TEE AND WATER VALVE.
- 4 FOR DOMESTIC USE: 1-1/2" WATER METER, RP/DCV PER C.O.M. STD. W-15, AND WATER VALVE PER C.O.M. STD. DWG. W-6. FOR USE OF BUILDING 1 AND 2.
- 5 INSTALL 51 LF ~ 1" WATER LINE.
- 6 INSTALL 51 LF ~ 1" WATER LINE.
- 7 INSTALL 280 (TOTAL) LF ~ 2" WATER LINE.
- 8 INSTALL 2"x2" 90° ELBOW.
- 9 FOR IRRIGATION USE: 1" WATER METER, RP/DCV PER C.O.M. STD. W-15, AND WATER VALVE PER C.O.M. STD. DWG. W-6. FOR USE OF BUILDING 3.
- 10 FOR DOMESTIC USE: 1-1/2" WATER METER, RP/DCV PER C.O.M. STD. W-15, AND WATER VALVE PER C.O.M. STD. DWG. W-6. FOR USE OF BUILDING 3.
- 11 INSTALL 157 (TOTAL) LF ~ 2" WATER LINE.
- 12 INSTALL 12"x8"x12" TEE AND WATER VALVE.
- 13 INSTALL 8" FW BFD.
- 14 INSTALL 905 (TOTAL ON-SITE) LF ~ 8" WATER LINE.
- 15 INSTALL 80 LF ~ 8" WATER LINE.
- 16 INSTALL 62 LF ~ 8" WATER LINE.
- 17 INSTALL 8"x8"x8" TEE.
- 18 INSTALL 8"x8" 90° ELBOW.
- 19 FOR FIRE HYDRANT UNIT: INSTALL 24 LF ~ 6" FW LINE, FH PER C.O.M. STD. DWG. W-8, AND 8"x6"x8" TEE.
- 20 FOR FIRE HYDRANT UNIT: INSTALL 8 LF ~ 6" FW LINE, FH PER C.O.M. STD. DWG. W-8, AND 8"x6"x8" TEE.
- 21 FOR FIRE HYDRANT UNIT: INSTALL 18 LF ~ 6" FW LINE, FH PER C.O.M. STD. DWG. W-8, AND 8"x6"x8" TEE.
- 22 FOR IRRIGATION USE: INSTALL 10 LF ~ 1" WATER LINE, 1" WATER METER, RP/DCV PER C.O.M. STD. W-15, AND WATER VALVE PER C.O.M. STD. DWG. W-6. FOR USE OF BUILDING 4 AND 5.
- 23 FOR DOMESTIC USE: 2" WATER METER, RP/DCV PER C.O.M. STD. W-15, AND WATER VALVE PER C.O.M. STD. DWG. W-6. FOR USE OF BUILDING 4 AND 5.
- 24 INSTALL FIRE DEPARTMENT CONNECTION. SEE ARCHITECT PLANS FOR DETAILS.
- 25 INSTALL 8"x4"x8" TEE.
- 26 INSTALL 392 (TOTAL) LF ~ 4" FIRE SERVICE LINE.
- 27 INSTALL 43 LF ~ 4" FIRE WATER.
- 28 INSTALL FIRE RISER. SEE ARCHITECT PLANS FOR DETAILS.
- 29 INSTALL 133 (TOTAL) LF ~ 4" FIRE SERVICE LINE.
- 30 INSTALL 193 (TOTAL) LF ~ 4" FIRE SERVICE LINE.
- 31 INSTALL 8 LF ~ 2" WATER LINE.
- 32 INSTALL 4"x4" 90° ELBOW.
- 33 INSTALL A 4"x4"x4" TEE.
- 34 FOR FIRE HYDRANT UNIT: INSTALL 12 LF ~ 6" FW LINE, FH PER C.O.M. STD. DWG. W-8, AND 8"x6"x8" TEE.
- 35 INSTALL 36 LF ~ 4" SS LINE. S=0.012.
- 36 INSTALL 26 LF ~ 4" SS LINE. S=0.013.
- 37 INSTALL 32 LF ~ 4" SS LINE. S=0.01.
- 38 TRASH ENCLOSURE TO DRAIN TO LANDSCAPE AREA.
- 39 INSTALL 14 LF ~ 4" SS LINE. S=0.014.
- 40 INSTALL 61 LF ~ 4" SS LINE. S=0.011.

LEGEND

- | | | | |
|------|---------------------------------|------|---------------------------------|
| BFD | BACK FLOW DEVICE | VA | VACUUM PARKING STALL |
| BOT. | BOTTOM | A/W | AIR/WATER PARKING STALL |
| DCV | DOUBLE CHECK VALVE | CO | COMPACT PARKING STALL |
| EX. | EXISTING | CAV | CLEAN AIR VEHICLE STALL |
| FD. | FOUND | EV | ELECTRIC VEHICLE STALL |
| FW | FIRE WATER | | ADA PARKING STALL |
| FDC | FIRE DEPARTMENT CONNECTION | | SEE ARCHITECT PLANS FOR DETAILS |
| FH | FIRE HYDRANT | 2"W | 2" WATER LINE |
| IP | IRON PIPE | 4"FS | 4" FIRE SERVICE LINE |
| MH | MANHOLE | 8"W | 8" FIRE WATER LINE |
| PP | POWER POLE | 4"SS | 4" SANITARY SEWER LINE |
| PUE | PUBLIC UTILITY EASEMENT | | |
| | REDUCED PRESSURE SANITARY SEWER | | |
| | STORM DRAIN | | |
| | EX. STREET LIGHT | | |
| | PROPOSED STREET LIGHT | | |
| | EX. PAVEMENT | | |
| | PROPOSED PAVEMENT | | |
| | EX. CONCRETE | | |
| | PROPOSED CONCRETE | | |
| | PROPOSED LANDSCAPE | | |

CONSTRUCTION NOTES:

- 41 INTENTIONALLY LEFT BLANK.
- 42 INSTALL 24 LF ~ 4" SS LINE. S=0.013.
- 43 INTENTIONALLY LEFT BLANK.
- 44 INSTALL 23 LF ~ 6" SS LINE. S=0.0087.
- 45 INTENTIONALLY LEFT BLANK.
- 46 INSTALL 109 LF ~ 4" SS LINE. S=0.01.
- 47 INSTALL 124 LF ~ 4" SS LINE. S=0.01.
- 48 INTENTIONALLY LEFT BLANK.
- 49 INSTALL 105 LF ~ 6" SS LINE. S= 0.009.
- 50 INSTALL 19 LF ~ 4" SS LINE. S=0.011.
- 51 INSTALL 19 LF ~ 4" SS LINE. S=0.011.
- 52 INTENTIONALLY LEFT BLANK.
- 53 INTENTIONALLY LEFT BLANK.
- 54 INSTALL CLARIFIER RECYCLED WATER TANKS. SEE ARCHITECT PLANS FOR DETAILS.
- 55 INSTALL GREASE INTERCEPTOR. SEE ARCHITECT PLANS FOR DETAILS.
- 56 INSTALL SSMH PER C.O.M. STD. DWG. S-3.
- 57 INSTALL SSCO PER C.O.M. STD. DWG. S-13.
- 58 INSTALL 2"x2"x2" TEE.
- 59 INSTALL 265 (TOTAL) LF ~ 2" WATER LINE.

DRAFT

** NOT FOR CONSTRUCTION **



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 847 N. CLUFF AVENUE
 SUITE A-2, LODI, CA 95240
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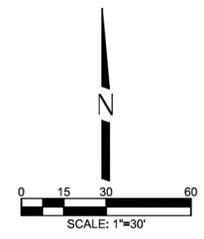
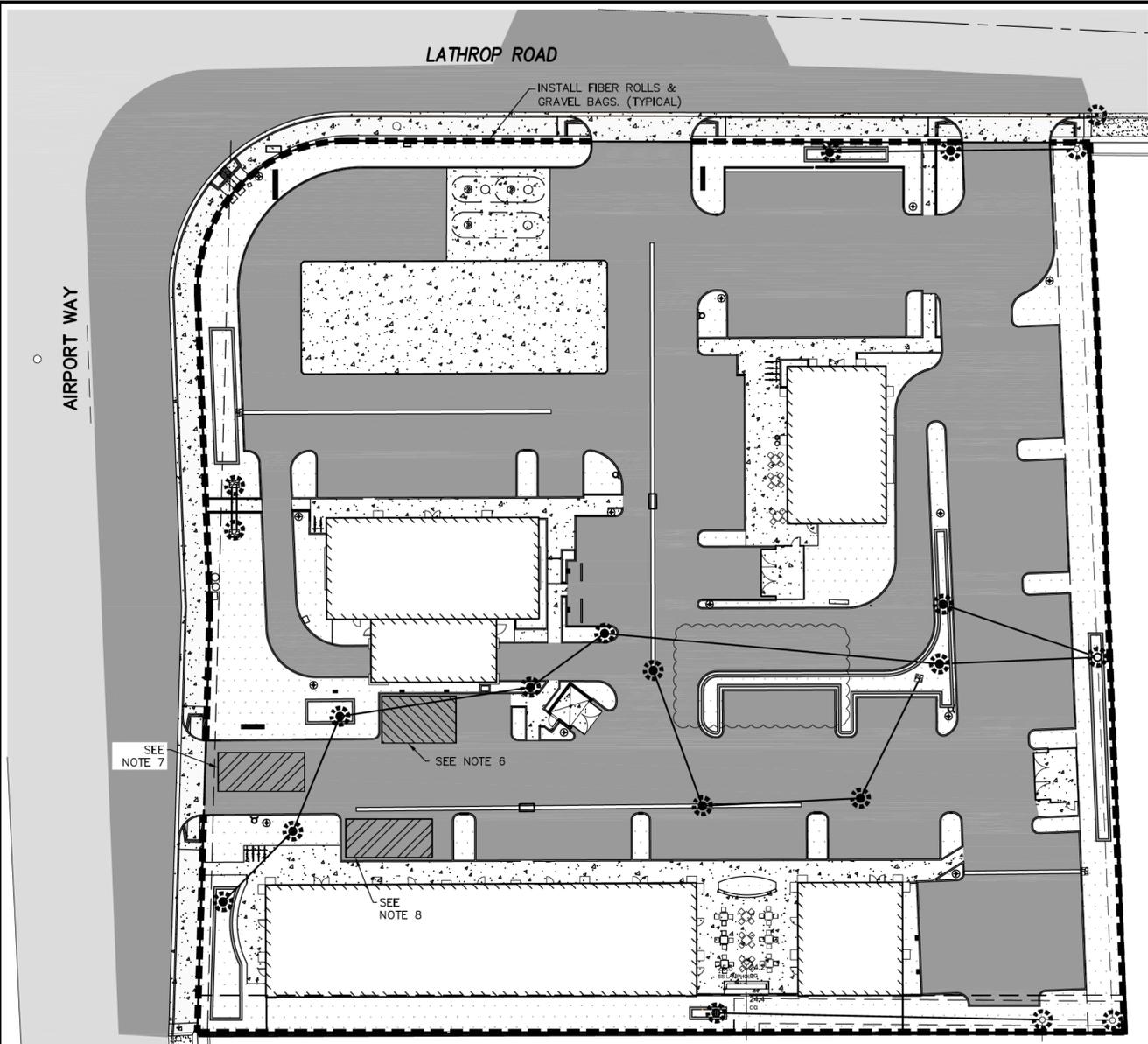
**AIRPORT PLAZA
ON-SITE IMPROVEMENT PLANS**

UTILITY PLAN

MANTECA, CALIFORNIA
OCTOBER, 2023

REV. NO.	DESCRIPTION	DATE	BY	SCALE: 1"=20'	BENCH MARK: SJ-33 EL: 26.146	SHEET
				DRAWN BY: JMO	DESCRIPTION:	C4
				DESIGNED BY:	BRASS CAP TOP HWY R/W MARKER	OF 6 SHEETS
				CHECKED BY: JM	48' W OF AIRPORT 25' S. SIDE	JOB NO.
				AS BUILT BY:	(NGVD 29)	22177

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DUST CONTROL NOTES:

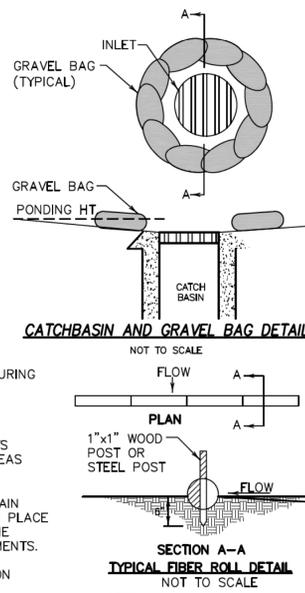
1. DUST CONTROL IS THE CONTRACTOR'S SOLE RESPONSIBILITY WHEN WORKING ON-SITE. THE WORK SHOWN ON THIS SHEET SHALL BE INCLUDED IN THE BID. THE CONTRACTOR SHALL ALSO WATER THE SITE AS AN EXTRA, WHEN REQUESTED BY THE CITY OF MANTECA.
2. ALL MOTORS SHALL BE KEPT PROPERLY TUNED AND MAINTAINED.
3. EARTH MOVING ACTIVITIES SHALL CEASE IF WIND EXCEEDS 20 MPH AVERAGE OVER ONE HOUR.
4. ON-SITE VEHICLE SPEEDS SHALL BE LIMITED TO 15 MPH.
5. ALL OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE SAN JOAQUIN COUNTY UNIFIED AIR POLLUTION CONTROL DISTRICT AND CITY OF MANTECA.
6. ALL AREAS WITH VEHICLE TRAFFIC SHOULD BE WATERED PERIODICALLY FOR STABILIZATION OF DUST EMISSIONS.
7. STREETS ADJACENT TO THE PROJECT SITE SHOULD BE SWEEP AS NEEDED TO REMOVE SILT WHICH MAY HAVE ACCUMULATED FROM CONSTRUCTION ACTIVITIES.
8. THE AREA DISTURBED BY CLEARING, EARTH MOVING OR EXCAVATION ACTIVITIES SHOULD BE MINIMIZED AT ALL TIMES.
9. ALL MATERIAL TRANSPORTED ON OR OFF-SITE SHALL EITHER BE SUFFICIENTLY WATERED OR SECURELY COVERED TO PREVENT EXCESSIVE AMOUNTS OF DUST.
10. WHEN CONDITIONS ARE DRY, ALL MATERIAL EXCAVATED OR GRADED SHOULD BE SUFFICIENTLY WATERED TO PREVENT EXCESSIVE AMOUNTS OF DUST. WATERING SHOULD OCCUR AT LEAST TWICE A DAY WITH COMPLETE COVERAGE, PREFERABLY IN THE LATE MORNING AND AFTER WORK IS COMPLETED FOR THE DAY.

EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION BY THE CONTRACTOR PER THE EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS LATEST REVISION.
2. INLET FILTERS SHALL BE PLACED AROUND ALL DRAIN INLETS WHICH COULD RECEIVE DRAINAGE IN UNPAVED AND PAVED AREAS DURING THE WET SEASON (OCTOBER 1 TO APRIL 15).
3. STORM DRAIN INLET FILTERS SHALL BE PLACED ON ALL DRAIN INLETS AFTER COMPLETION OF PAVING AND SHALL REMAIN IN PLACE ON A YEAR ROUND BASIS. FILTERS SHALL BE REMOVED BY THE CONTRACTOR UPON ACCEPTANCE OF DEVELOPMENT IMPROVEMENTS.
4. CONTRACTOR TO REMOVE ANY SEDIMENTATION DEPOSITED ON EXISTING PAVED ROADWAYS PRIOR TO LEAVING THE SITE, IF POSSIBLE, AND IN ALL CASES WITHIN 24 HOURS.
5. CONTRACTOR TO MAINTAIN STREET FRONTAGE SWALES.
6. INSTALL FIBER ROLLS AND/OR SILT FENCE ALONG PERIMETER OF PROJECT SITE AND AS SHOWN ON THESE PLANS.
7. CONTRACTOR TO INSPECT SITE AFTER FIRST SIGNIFICANT RAINFALL AND MAINTAIN "FIBER ROLLS", WHERE NECESSARY AND REMOVE ACCUMULATED SILT AT LOCATIONS WHERE EROSION HAS OCCURRED AND SEDIMENT HAS GATHERED.
8. ALL IMPLEMENTED MEASURES SHALL BE MAINTAINED WEEKLY (OR SOONER, DEPENDING ON NEED) THROUGHOUT THE RAINY SEASON (OCTOBER 1ST. THRU APRIL 15TH).
9. STORM WATER POLLUTION PREVENTION PLAN (SWPPP) TO BE KEPT ON SITE AT ALL TIME. (IF APPLICABLE.)
10. BEST MANAGEMENT PRACTICES (BMP'S) SHOWN HERE ARE MINIMUM REQUIREMENTS FOR SATISFACTION OF THE NPDES SWPPP MANAGEMENT PLAN.
11. CONTRACTOR TO GRADE AREA FOR WORKER'S VEHICLES. WATER AT LEAST DAILY TO RETARD DUST OR TAKE MORE EXTENSIVE MEASURES AS NECESSARY.
12. TRASH COLLECTION AREA SHALL BE INSTALLED AND FENCED AS NECESSARY TO STORE ALL DEBRIS AND SECURE THE DEBRIS FROM BEING MOVED BY WIND.
13. PORTABLE RESTROOMS SHALL NOT BE LOCATED CLOSER THAN 50' FROM CATCH BASINS.

STORM WATER POLLUTION PREVENTION PLAN

- WITH THE EXCEPTION OF PROPERLY DESILTED WATER FROM SITE DEWATERING, THE CONTRACTOR SHALL NOT DISCHARGE ANY MATERIALS AN/OR LIQUIDS TO THE STORM DRAINAGE SYSTEM. ACTIVITIES OF PARTICULAR CONCERN ARE:
- A. CONTRACTOR SHALL PROVIDE A CONCRETE TRUCK CLEAN-OUT AREA. CITY OF MANTECA INSPECTOR APPROVED BEST MANAGEMENT PRACTICES SHALL AT ALL TIMES BE FULLY IMPLEMENTED AT AND AROUND THE CLEAN-OUT AREA.
 - B. TACK COAT AND PRIME COAT ASPHALTS SHALL BE CAREFULLY SPRAYED AND ANY EXCESS MATERIAL SPILLED SHALL BE CLEANED UP IMMEDIATELY BY PROPER METHODS.
 - C. ALL EQUIPMENT REFUELING IN THE PROJECT AREA SHALL BE CAREFULLY DONE TO AVOID SPILLAGE. ANY SPILLS SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS. ALL FUELING VEHICLES SHALL BE EQUIPPED WITH SPILL CLEANUP MATERIALS AND EQUIPMENT.
 - D. CONTRACTOR SHALL CONTROL AND PROPERLY DISPOSE OF ALL LIQUIDS DURING SAWCUTTING ACTIVITIES.



- NOTES:**
1. GRAVEL BAGS SHALL BE WOVEN GEOTEXTILE FABRIC. (12"x18"± AND 15 LBS± OF 1" MAX. ROCK
 2. CONSTRUCT ON GENTLY SLOPING STREET WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE OUT OF SUSPENSION.
 3. INSPECT AND REPAIR FILTERS AFTER EACH STORM EVENT. REMOVE SEDIMENT WHEN 1/2 OF THE FILTER DEPTH HAS BEEN FILLED. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA TRIBUTARY TO A SEDIMENT BASIN OR OTHER FILTERING MEASURE.
 4. SEDIMENT AND GRAVEL SHALL BE IMMEDIATELY REMOVED FROM TRAVELED WAY OF ROAD.
 5. GRAVEL BAG INLET PROTECTION ON ROADS OPEN TO THE PUBLIC WILL REQUIRE DELINEATION DEVICES TO ALERT MOTORISTS, BICYCLISTS AND PEDESTRIANS. THE USE OF SUCH DEVICES SHALL BE SUBJECT TO THE ENGINEERS APPROVAL.

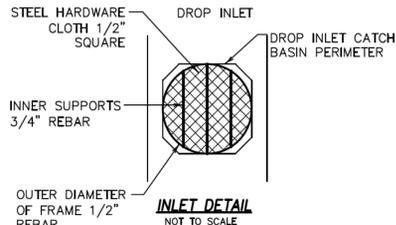
CONSTRUCTION ENTRANCE NOTES:

1. STABILIZED CONSTRUCTION SITE ACCESS SHALL BE CONSTRUCTED OF 3" TO 4" WASHED, WELL-GRADED FRACTURED STONE AGGREGATE. MATERIAL SHALL BE PLACED TO A MINIMUM THICKNESS OF 6", SLOPED AWAY FROM THE ROADWAY.
2. LENGTH OF ENTRANCE SHALL BE A MINIMUM OF 40'. WIDTH SHALL BE A MINIMUM 12' OR GREATER IF NECESSARY TO COVER ALL VEHICULAR INGRESS AND EGRESS. PROVIDE AMPLE TURNING RADI.
3. THE ENTRANCE SHALL BE KEPT IN GOOD CONDITION BY OCCASIONAL TOP DRESSING WITH MATERIAL AS SPECIFIED IN NOTE 1.
4. ACCESSES SHALL BE INSPECTED WEEKLY DURING PERIODS OF HEAVY USAGE, MONTHLY DURING NORMAL USAGE, AND AFTER EACH RAINFALL, WITH MAINTENANCE PROVIDED AS NECESSARY. PERIODIC TOP DRESSING SHALL BE DONE AS NEEDED.
5. ANY DEBRIS, SEDIMENT OR ROCK TRACKED ONTO PUBLIC STREETS WILL BE SWEEP UP BY THE END OF EACH WORKDAY.

ANY WORK PERFORMED IN THE CITY RIGHT-OF-WAY SHALL REQUIRE OBTAINING AN ENCROACHMENT PERMIT FROM THE CITY.

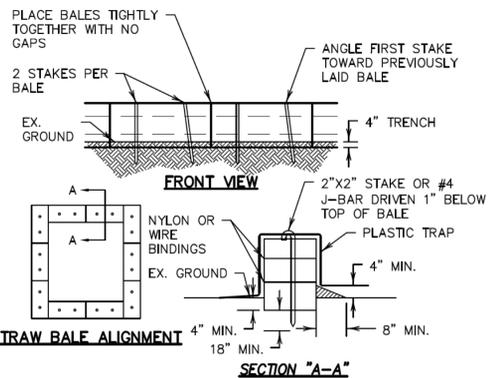
NOTES:

1. DEVELOPER IS RESPONSIBLE FOR REPLACEMENT OF MISSING AND DAMAGED FILTER SCREENS UNTIL THE PROJECT IS ACCEPTED. A ROUTINE MAINTENANCE SCHEDULE IS TO BE MAINTAINED. FILTER SCREENS SHALL BE SECURED TO THE CATCHBASIN DURING THIS PERIOD.
2. COMPRESSED BETWEEN REBAR FRAME AND DICB IS 1" THICK FILTER PAD MATERIAL. FILTER PAD MATERIAL IS DENSE TO RETAIN SILT YET POROUS ENOUGH TO ALLOW WATER DRAINAGE. THE FILTER SYSTEM IS WIRE TIED TO THE DICB IN 2 OR MORE PLACES TO PREVENT SLIPPAGE OR REMOVAL OF UNIT FROM DICB
3. THE FILTER PAD AND GRATE SHALL BE SECURELY ATTACHED TO THE DROP INLET BY WIRE OR TIE-WRAPS.
4. INLET FILTERS SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL. REPAIRS AND SEDIMENT AND DEBRIS REMOVAL SHALL BE MADE AS NECESSARY.
5. INLET FILTERS SHALL BE "CONSTRUCTION" STORM DRAIN FILTERS BY POLLUTION SOLUTION.
6. 30'x30' AREA RESERVED FOR WASTE BIN AND MATERIAL STORAGE. ALL MATERIALS TO BE STORED IN LOCK BOX. ENTIRE STORAGE AREA TO BE WRAPPED BY MINIMUM 6" BERM. CONTRACTOR TO RELOCATE AS NECESSARY.
7. CONSTRUCTION ENTRANCE, CONTRACTOR TO RELOCATE AS NECESSARY.
8. CONCRETE WASHOUT AREA. CONTRACTOR TO USE REMOVABLE CONCRETE WASHOUT BINS OR REFER TO DETAILS ON THIS SHEET. CONTRACTOR TO RELOCATE AS NECESSARY.



STORM WATER POLLUTION PREVENTION PLAN

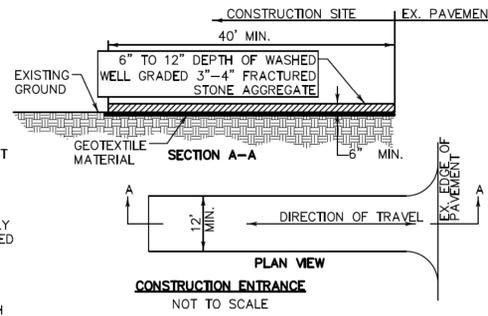
- WITH THE EXCEPTION OF PROPERLY DESILTED WATER FROM SITE DEWATERING, THE CONTRACTOR SHALL NOT DISCHARGE ANY MATERIALS AN/OR LIQUIDS TO THE STORM DRAINAGE SYSTEM. ACTIVITIES OF PARTICULAR CONCERN ARE:
- A. CONTRACTOR SHALL PROVIDE A CONCRETE TRUCK CLEAN-OUT AREA. CITY OF MANTECA INSPECTOR APPROVED BEST MANAGEMENT PRACTICES SHALL AT ALL TIMES BE FULLY IMPLEMENTED AT AND AROUND THE CLEAN-OUT AREA.
 - B. TACK COAT AND PRIME COAT ASPHALTS SHALL BE CAREFULLY SPRAYED AND ANY EXCESS MATERIAL SPILLED SHALL BE CLEANED UP IMMEDIATELY BY PROPER METHODS.
 - C. ALL EQUIPMENT REFUELING IN THE PROJECT AREA SHALL BE CAREFULLY DONE TO AVOID SPILLAGE. ANY SPILLS SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS. ALL FUELING VEHICLES SHALL BE EQUIPPED WITH SPILL CLEANUP MATERIALS AND EQUIPMENT.
 - D. CONTRACTOR SHALL CONTROL AND PROPERLY DISPOSE OF ALL LIQUIDS DURING SAWCUTTING ACTIVITIES.



NOTES:

1. PLACE BALES IN A 4" DEEP TRENCH. BALES SHALL BE PLACED SO THAT BINDINGS ARE HORIZONTAL.
2. BALES SHALL BE ANCHORED BY TWO 2"x2" STAKES OR #4 J-BAR DRIVEN FLUSH WITH THE TOP OF THE BAILE. THE FIRST STAKE OR J-BAR IN EACH BAILE SHALL BE DRIVEN AT AN ANGLE TOWARDS THE PREVIOUSLY LAID BAILE TO FORCE THE BAILES TIGHTLY TOGETHER.
3. AFTER BALES ARE STAKED IN PLACE, EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE SIDE TO A MINIMUM HEIGHT OF 4".
4. CONTRACTOR SHALL INSPECT BALES WEEKLY AND AFTER EACH WASHOUT. REPAIRS SHALL BE MADE AS NECESSARY AND SEDIMENT SHALL BE REMOVED WHEN IT HAS ACCUMULATED TO A DEPTH OF 6". BALES SHALL BE REPLACED WHEN THEY HAVE BEEN DAMAGED, COLLAPSED, OR DECOMPOSED.

TEMPORARY CONCRETE WASHOUT DETAIL
NOT TO SCALE



REV. NO.	DESCRIPTION	DATE	BY	SCALE: 1"=30'	BENCH MARK: SJ-33 EL: 26.146	SHEET
				DRAWN BY: JMO	DESCRIPTION:	C5
				CHECKED BY: JM	BRASS CAP TOP HWY R/W MARKER 48" W OF AIRPORT 25' S. SIDE (NGVD 29)	OF 6 SHEETS
				AS BUILT BY:		JOB NO. 22177

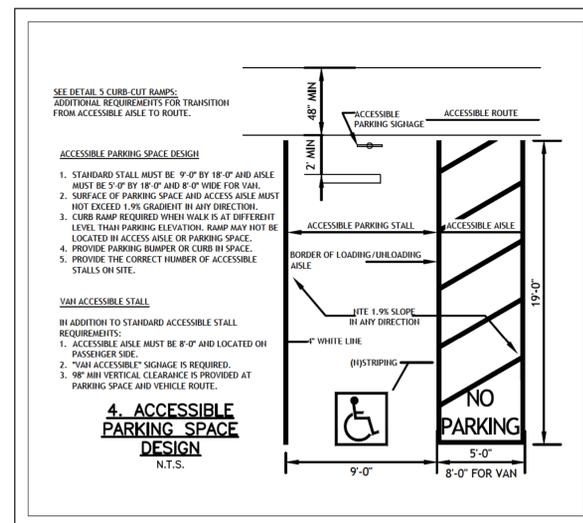
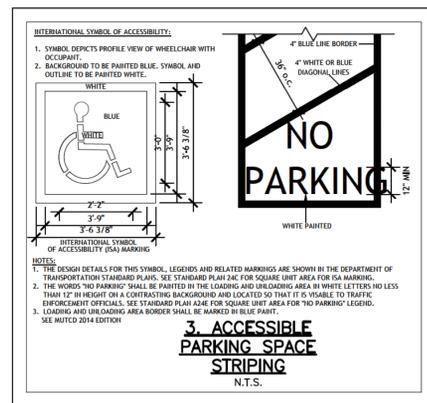
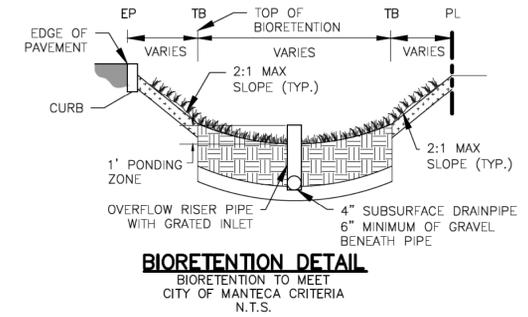
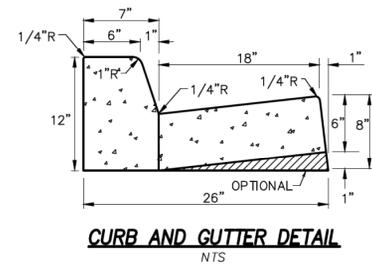
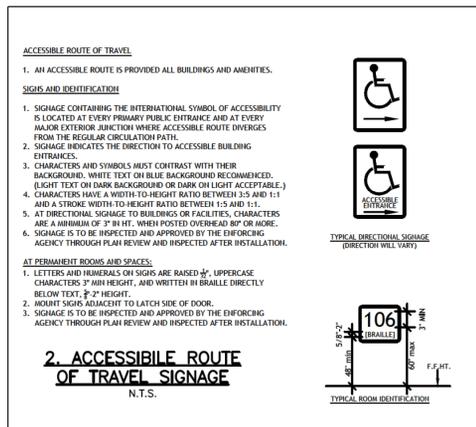
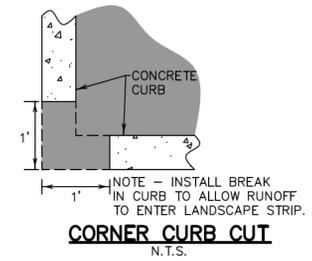
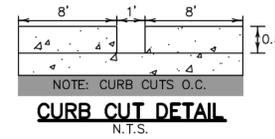
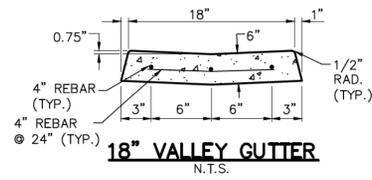
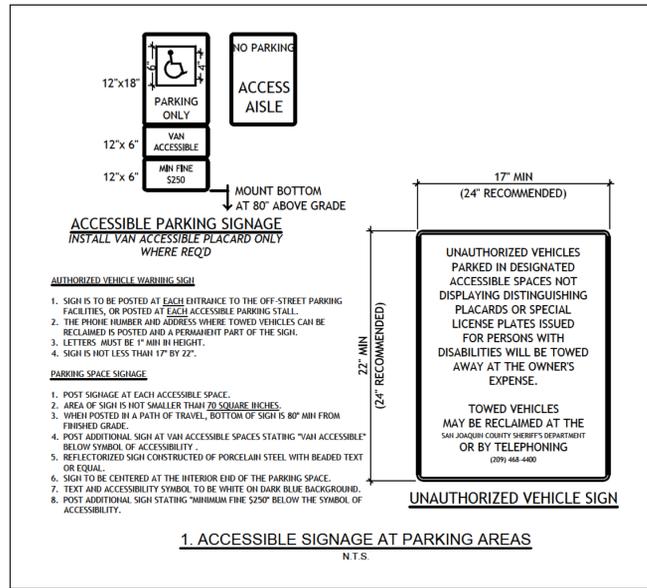
DRAFT
** NOT FOR CONSTRUCTION **



DILLON & MURPHY ENGINEERING
847 N. CLUFF AVENUE
SUITE A-2, LODI, CA 95240
(209) 334-6613

AIRPORT PLAZA ON-SITE IMPROVEMENT PLANS
EROSION AND SEDIMENT CONTROL PLAN

MANTECA, CALIFORNIA
OCTOBER, 2023



DRAFT
** NOT FOR CONSTRUCTION **



Know what's below.
Call before you dig.

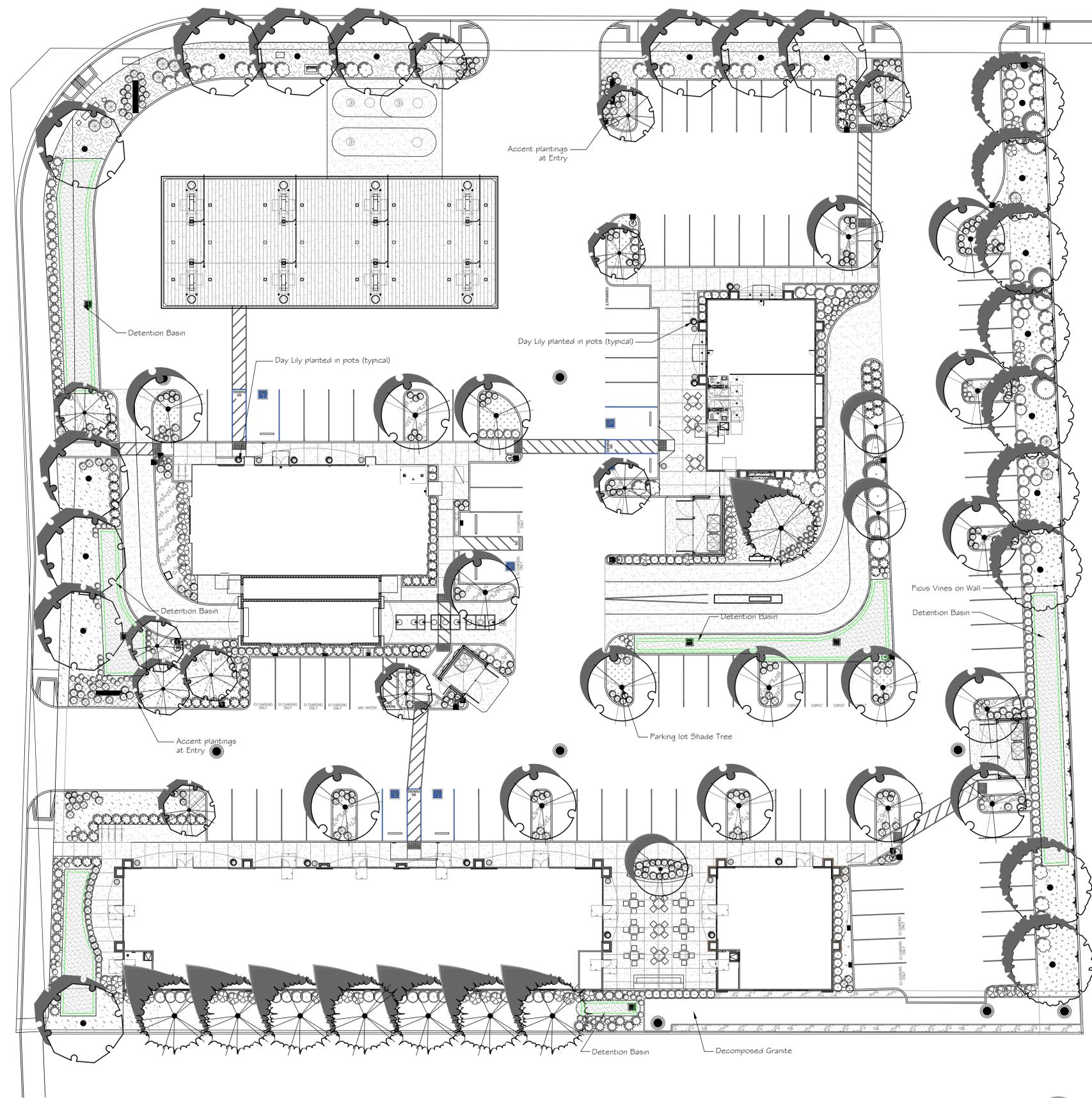
DM
DILLON & MURPHY ENGINEERING
847 N. CLUFF AVENUE
SUITE A-2, LODI, CA 95240
(209) 334-6613

AIRPORT PLAZA
ON-SITE IMPROVEMENT PLANS

DETAIL SHEET

MANTECA, CALIFORNIA
OCTOBER, 2023

REV. NO.	DESCRIPTION	DATE	BY	SCALE: AS SHOWN	BENCH MARK:	SHEET
				DRAWN BY: JMO	N/A	C6
				DESIGNED BY:		OF 6 SHEETS
				CHECKED BY: JM		JOB NO.
				AS BUILT BY:		22177



PLANT SCHEDULE				
TREES	BOTANICAL / COMMON NAME	CONT	QTY	
	<i>Cedrus deodara</i> / Deodar Cedar Low Water / WUCOLS	24"box	8	
	<i>Cercis canadensis</i> 'Texensis' / Oklahoma Redbud Low Water / WUCOLS	15 gal	3	
	<i>Ginkgo biloba</i> 'Autumn Gold' TM / Maidenhair Tree Medium Water / WUCOLS	15 gal	9	
	<i>Lagerstroemia indica</i> x <i>faurei</i> 'Natchez' / Natchez Grape Myrtle Low Water / WUCOLS	24"box	11	
	<i>Laurus nobilis</i> 'Saratoga' / Sweet Bay Low Water / WUCOLS	24"box	17	
	<i>Tilia cordata</i> 'Greenspire' / Greenspire Littleleaf Linden Medium Water / WUCOLS	15 gal	11	
SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY	
	<i>Agapanthus orientalis</i> 'BLUE' / Blue' Lily of the Nile Medium Water / WUCOLS	5 gal	45	
	<i>Callistemon viminalis</i> 'Little John' / Dwarf Bottlebrush Low Water / WUCOLS	5 gal	46	
	<i>Diets bicolor</i> / Fortnight Lily Low Water / WUCOLS	5 gal	15	
	<i>Diets vegeta</i> / African Ins Medium Water / WUCOLS	5 gal	106	
	<i>Hemerocallis</i> x 'Stella de Oro' / Stella de Oro Daylily Medium Water / WUCOLS	5 gal	171	
	<i>Lavandula angustifolia</i> 'Twickel Purple' / English Lavender Low Water / WUCOLS	5 gal	79	
	<i>Lomandra longifolia</i> 'Lime Tuff' / Lime Tuff Dwarf Mat Rush Low Water / WUCOLS	1 gal	40	
	<i>Muhlenbergia capillans</i> 'Pink Cloud' / Pink Muhly Low Water / WUCOLS	1 gal	138	
	<i>Myrtus communis</i> 'Compacta' / Dwarf Myrtle Low Water / WUCOLS	5 gal	63	
	<i>Nandina domestica</i> 'Compacta' / Dwarf Heavenly Bamboo Low Water / WUCOLS	5 gal	109	
	<i>Pennisetum setaceum</i> 'Rubrum' / Purple Fountain Grass Low Water / WUCOLS	5 gal	38	
	<i>Phormium tenax</i> 'Guardman' / New Zealand Flax Low Water / WUCOLS	5 gal	14	
	<i>Prunus ilicifolia</i> <i>ilicifolia</i> / Hollyleaf Cherry Low Water / WUCOLS	5 gal	11	
	<i>Raphiolepis indica</i> 'Indian Princess' TM / Indian Princess Indian Hawthorne Medium Water / WUCOLS	5 gal	60	
VINE/ESPALIER	BOTANICAL / COMMON NAME	SIZE	QTY	
	<i>Ficus pumila</i> / Creeping Fig Medium Water / WUCOLS	5 gal	34	
	<i>Wistena sinensis</i> / Chinese Wistena Medium Water / WUCOLS	5 gal	5	
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	<i>Delosperma</i> x 'John Proffitt' / Table Mountain Ice Plant Low Water / WUCOLS	1 gal	24" o.c.	3,217 sf
	<i>Hypencum calycinum</i> 'Fiesta' / St. John's Wort Low Water / WUCOLS	1 gal	36" o.c.	2,633 sf
	<i>Juniperus horizontalis</i> 'Blue Rug' / Blue Rug Juniper Low Water / WUCOLS	1 gal	36" o.c.	2,917 sf
	<i>Mahonia repens</i> / Creeping Mahonia Low Water / WUCOLS	1 gal	36" o.c.	2,120 sf
	<i>Sedum rupestre</i> 'Lemon Coral/Lemon Coral Stonecrop' / Sedum Low Water / WUCOLS	1 gal	18" o.c.	616 sf
	Sod 'Mow Free Native' Grass / By Delta Bluegrass Medium Water / WUCOLS	sod		4,423 sf
	<i>Verbena peruviana</i> / Peruvian Verbena Low Water / WUCOLS	1 gal	18" o.c.	389 sf

- NOTES:**
- Landscape shall be designed per City of Manteca landscape design requirements and California MWELD.
 - No groundcover or shrubs are to be planted within 3' of any tree trunk.
 - A landscape soils test shall be analyzed by a soils testing laboratory. Soils shall be amended per soil analysis report recommendations prior to Landscape Installation.
 - This project shall be irrigated by an automatic irrigation system consisting of subsurface drip for shrubs and groundcover, and deep watering bubblers for all trees all connected to a smart controller.
 - All planter areas shall receive a three-inch (3") mulch of red fir walk-on bark. All groundcover areas shall receive a two-inch (2") layer of bark mulch.



REVISIONS BY

CAROL PERRY BROWN
Landscape Architecture
Irrigation Design

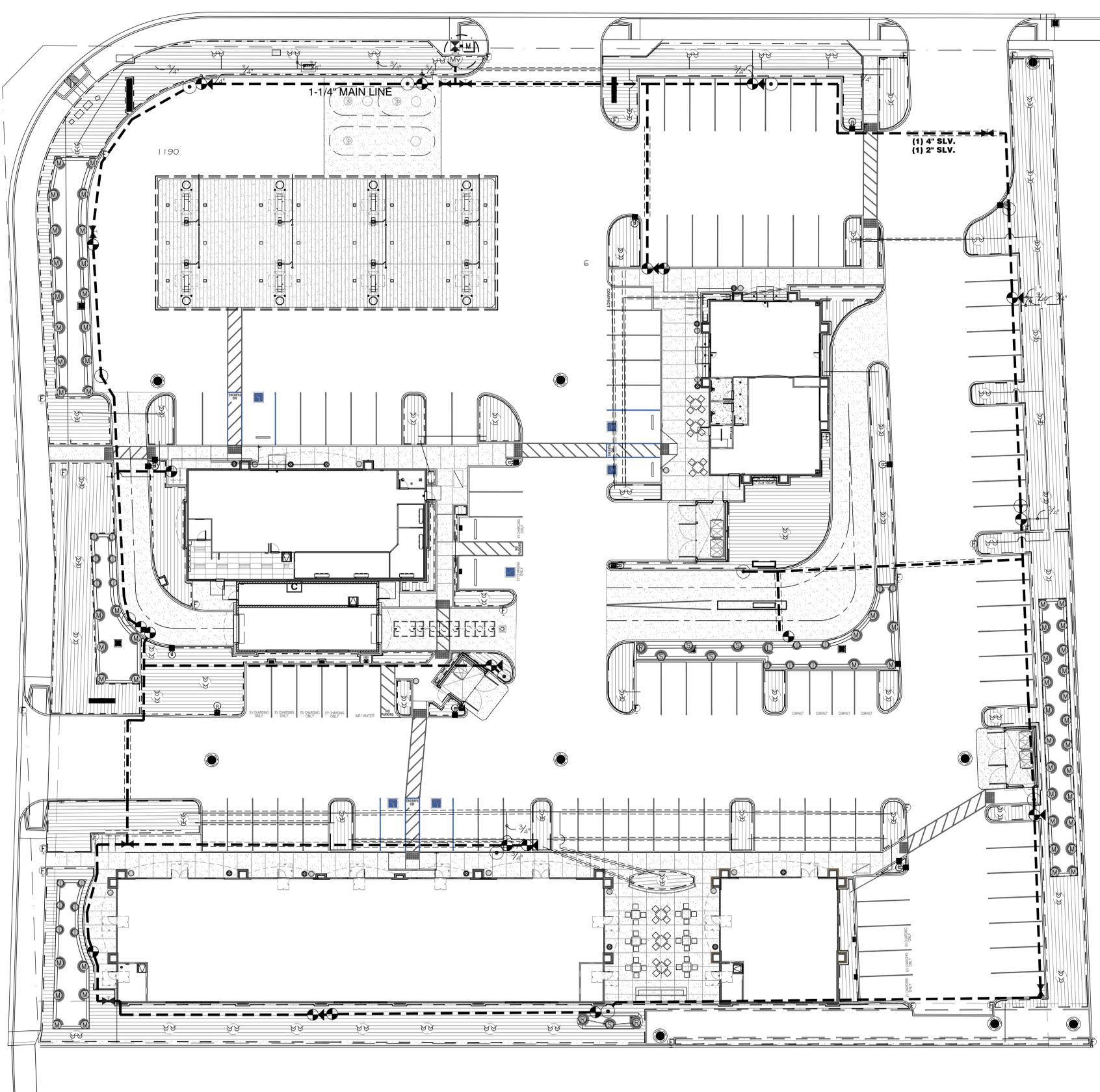
PERRY DESIGN
CID
530 823 2621
perrydesign@aol.net
RLA 3941 CID 002624

LANDSCAPE ARCHITECT
CAROL PERRY BROWN
No. 344
REN 11-35-21
STATE OF CALIFORNIA

AIRPORT PLAZA- ENTIRE SITE
2060 West Lathrop Road
Manteca, CA.
TWO GUYS FOOD AND FUEL

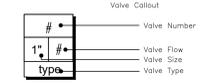
PRELIMINARY PLANTING
PLAN

Date July 1, 2021
Scale 1" = 20'-0"
Drawn Carol B.
Job
Sheet
LP-1
Of Sheets



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
(L) (S) (R)	Hunter MP 5trp PRO5-12-PR540-CV Shrub Rotator, 1/2in. pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle. LST=Ivory left snrp, SST=Brown side snrp, RST=Copper right snrp, on PR540 body.	10	35
(M) (L) (O)	Hunter MP 1000 PRO5-12-PR540-CV Shrub Rotator, 1/2in. pop-up with check valve, pressure regulated to 40 psi, MP Rotator nozzle. M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc on PR540 body.	56	35
(A) (B) (F)	Hunter MP800SR PRO5-12-PR540-CV Shrub Rotator, 1/2in. pop-up with check valve, pressure regulated to 40 psi, MP Rotator nozzle on PR540 body. ADJ=Orange and Gray (arc 90-210), 360=Lime Green and Gray (arc 360)	19	35
(B) 1401	Rain Bird 1800-1400 Flood Fixed flow rate 0.25 GPM - 2.0 GPM, full circle bubbler, 1/2in. FIPT.	12	30
(R) 1401	Rain Bird RWS-B-C Root Watering System with 4.0' diameter x 36.0' long with locking grate, semi-rigid mesh tube, and check valve, Rain Bird bubbler option as indicated: 1401 0.25 gpm.	118	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
(K)	Rain Bird XCZ-100-PRB-COM Wide Flow Drip Control Kit for Commercial Applications. 1" Ball Valve with 1" PESB Valve and 1" Pressure Regulating 40psi Quick-Check Basket Filter. 0.3 GPM-20 GPM	8	
(P)	Rain Bird MDCFCAP/ OPERIND Dripline Flush Valve cap in compression fitting coupler and install Drip System Operation Indicator at each flush valve location.	24	
(Area)	Area to Receive Dripline Rain Bird XFCV-06-18 XFCV On-Surface Landscape Dripline with a Heavy-Duty 3.5 psi Check Valve, 0.6 GPM emitters at 18" O.C. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern. Great for elevation change. Specify XF insert fittings.	13,121 l.f.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
(PESB)	Rain Bird PESB 1" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications. Install pvc shut-off valve for each valve.	12	
(44-LRC)	Rain Bird 44-LRC 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body.	12	
(T-113)	Nibco T-113 Class 125 bronze gate shut off valve with wheel handle, same size as mainline pipe diameter at valve location. Size Range - 1/4" - 3"	7	
(ICV)	Hunter ICV101-GFSI-T10-001 1" 1" 1" Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet combined with Creative Sensor Technology 1" Flow Sensor.	1	
(FB)	Febco 625YA- 1" sized Reduced Pressure Backflow Preventer	1	
(IC)	Hunter IC-1800-PL w/ W55-5EN Modular Controller, 18 stations, Outdoor Model, Plastic Cabinet. Commercial Use. With two ICM-600 modules included. Install Wireless Solar, rain freeze sensor with outdoor interface, connects to Controller, install as noted. Includes gutter mount bracket.	1	
(M)	Water Meter 1" By others.	1	
(Line)	Irrigation Lateral Line: PVC Class 200 5DR 21	1,904 l.f.	
(Line)	Irrigation Mainline: PVC Schedule 40	1,922 l.f.	
(Line)	Pipe Sleeve: PVC Schedule 40 All sleeves shall be twice the diameter of line being sleeved. Controller conduit not shown.	1,077 l.f.	



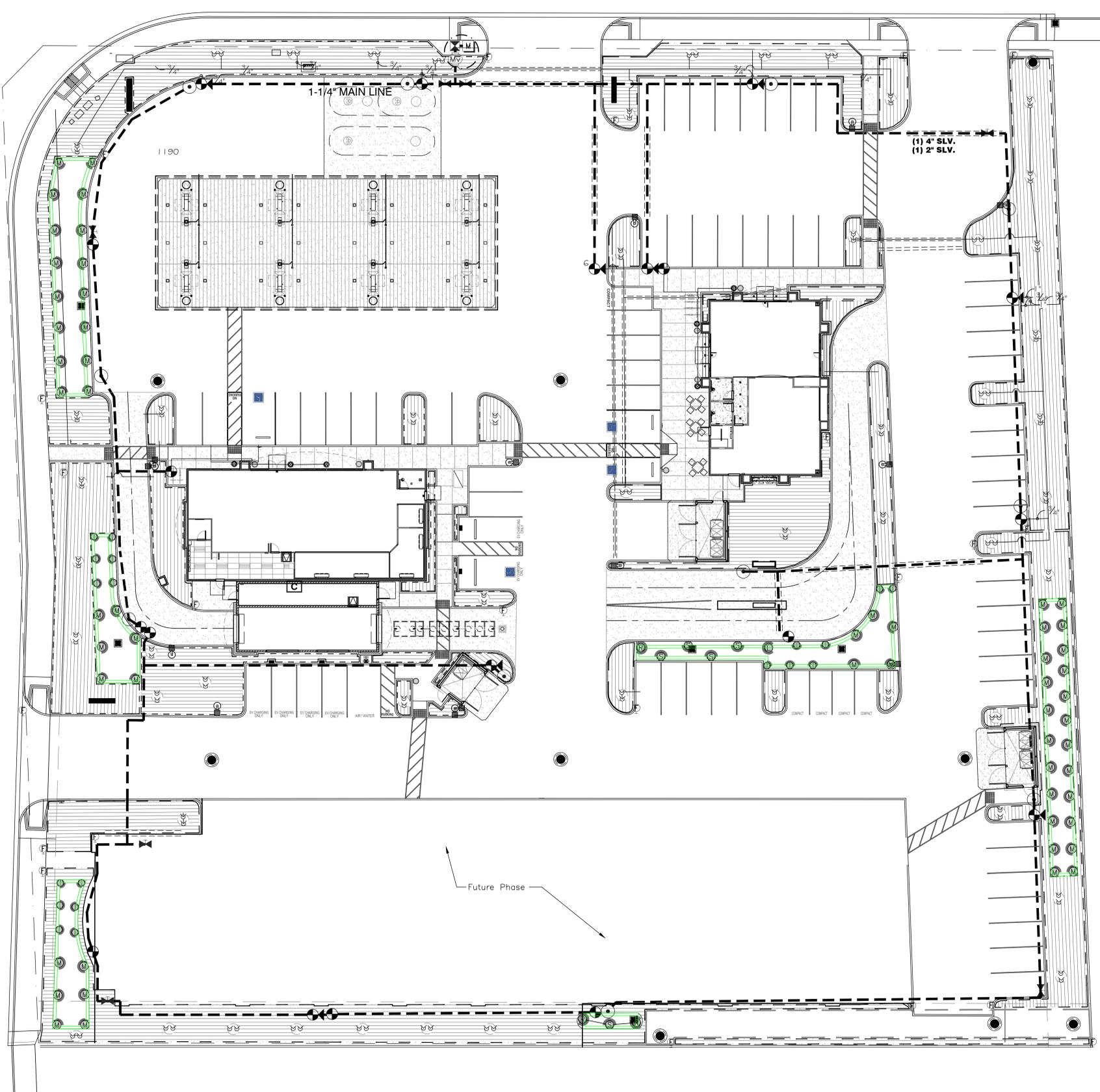
PIPE SIZING GUIDE
CLASS 200 PVC LATERALS

GPM	SIZE	GPM	SIZE
0-6	3/4"	24-33	1-1/2"
7-12	1"	34-55	2"
13-23	1-1/4"	56-70	2-1/2"

NOTES:
THIS PROJECT SHALL COMPLY WITH THE MORE RESTRICTIVE OUTDOOR POTABLE WATER REDUCTION REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE 4.304 AND THE MANTECA WATER EFFICIENT LANDSCAPE ORDINANCE.

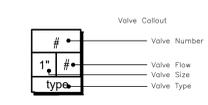


SCALE: 1" = 20'-0"



IRRIGATION SCHEDULE

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SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
⊙	Rain Bird PESB 1" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications. Install pvc shut-off valve for each valve.	11	
⊙	Rain Bird 44-LRC 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body.	11	
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⊗	Febco 625YA- 1" sized Reduced Pressure Backflow Preventer	1	
C	Hunter IC-1800-PL w/ W55-5EN Modular Controller, 18 stations, Outdoor Model, Plastic Cabinet. Commercial Use. With two ICM-600 modules included. Install Wireless Solar, rain freeze sensor with outdoor interface, connects to Controller, install as noted. Includes gutter mount bracket.	1	
M	Water Meter 1" By others.	1	
---	Irrigation Lateral Line: PVC Class 200 5DR 21	1,249 l.f.	
---	Irrigation Mainline: PVC Schedule 40	1,871 l.f.	
---	Pipe Sleeve: PVC Schedule 40 All sleeves shall be twice the diameter of line being sleeved. Controller conduit not shown.	576.3 l.f.	



PIPE SIZING GUIDE

CLASS 200 PVC LATERALS

GPM	SIZE	GPM	SIZE
0-6	3/4"	24-33	1-1/2"
7-12	1"	34-55	2"
13-23	1-1/4"	56-70	2-1/2"

NOTES:
THIS PROJECT SHALL COMPLY WITH THE MORE RESTRICTIVE OUTDOOR POTABLE WATER REDUCTION REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE 4.304 AND THE MANTECA WATER EFFICIENT LANDSCAPE ORDINANCE.



SCALE: 1" = 20'-0"



**City of Manteca
Development Services Department**

**Conditions of Approval
Airport Plaza
Site Plan Review SPC 21-99 & Minor Use Permit UPN 21-100
December 6, 2023**

Project File Numbers: SPC 21-99 & UPN 21-100

Project Name: Airport Plaza

Project Address: 2060 West Lathrop Road, Manteca, CA 95336

APN: 202-020-14

Project Applicant: Jarnail Kamboj, 1017 Marigold Ln., Manteca, CA 95336

Property Owners: Jarnail & Parmjit Kamboj, 1017 Marigold Ln., Manteca, CA 95336

NOTE: This list of conditions is not intended to be all-inclusive or a comprehensive list of City regulations. All conditions are referenced to the Airport Plaza Project Plan Set (dated 07/12/21) on file with the City of Manteca, Development Services Department, Planning Division.

City of Manteca Development Services Department: Planning Division

1. **Acceptance of Conditions.** Unless the applicant formally objects to these conditions prior to approval by the Planning Commission, the applicant is bound by, must comply with, and must do all things required of or by the applicant pursuant to all of the terms, provisions, and conditions of these Conditions of Approval. All costs associated with compliance with the conditions shall be at the owner/developer's expense.
2. **Expiration of Approval.** This approval for a Site Plan and Design Review Application and Minor Use Permit shall automatically expire on **January 15, 2026, or 24 months from and after the date of issuance.** The date of issuance is the date these entitlements are approved by the Planning Commission. Prior to the expiration date, the applicant may apply for an extension not to exceed one year.
3. **Vested Rights.** This approval does not vest applicant's rights regarding future development. All ordinances, resolutions, rules, regulations and official policies

governing design, improvement and construction standards and specifications applicable to the project and public improvements to be constructed by the applicant shall be those in force and effect at the time the applicable plan or permit approval is granted.

4. **Vesting Fees.** This approval does not vest applicant's rights regarding the payment of any development impact fees, exactions and dedications, processing fees, inspection fees, plan checking fees or charges, or any other fee or charge that could have been legally imposed by the City when the original application was deemed complete. All fees and charges shall be paid at the rate in effect at the time such fees are customarily due.
5. **Fees.** The applicant shall pay all applicable processing fees, permit fees, City development fees, fire fees, school fees, drainage fees, habitat conservation fees and other public entity fees in effect at the time of the issuance of the applicable permit.
6. **Outside Agency Fees.** It is the responsibility of the owner/developer to contact all outside agencies and pay applicable fees associated with this project.
7. **Conformance to Plans.** This approval is dependent upon and limited to the proposals and plans contained, supporting documents submitted, presentations made to staff, Planning Commission and/or City Council as affirmed to by the applicant. Any variation from these plans, proposals, supporting documents or presentations is subject to review and approval prior to implementation.
8. **Subsequent Development.** All activities undertaken in accordance with this approval shall comply with the City's General Plan and Municipal Code. In cases of conflict between the City's Municipal Code or map-specific conditions of approval, the governing priority shall be, to the extent legally permitted, as follows: 1) Municipal Code regulations; 2) project-specific conditions; 3) standard conditions. The applicant shall comply with all regulations and code requirements of the Development Services Director, City Engineer, Building Official, Fire Chief, the Police Chief and any other agencies requiring review of the project. If required, these agencies shall be supplied copies of the final maps, site plans, public improvement plans, grading plans and building plans.
9. **Structure Conformance.** Applicant shall ensure all structures will be built in compliance with the City's Zoning Ordinance.
10. **Utility Companies.** The applicant is responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.
11. **Other Requirements.** The applicant shall secure and comply with all applicable federal, state and local licenses, permits, authorizations, conditions, agreements, and orders prior to or during construction and operation, as appropriate.
12. **Failure to Comply.** Should the project be found, at any time, not to comply with any of the Conditions of Approval, or should the applicant construct or operate this development in any way other than specified in the Application or Supporting documents or presentations to staff, Planning Commission or City Council, as

modified by the Conditions of this Approval, then the terms of this Approval shall be considered violated.

13. **Indemnification.** The applicant shall indemnify and hold harmless the City, its council members and commissioners, officers, agents, employees, and representatives from liability for any award, damages, costs and fees, including without limitation attorneys' fees, incurred by the City and/or awarded to any plaintiff in any action related to or arising out of the City's approval of this project or subdivision Map or any environmental or other documentation related to this project or subdivision Map. The applicant further agrees to provide a defense for the City in any such action.
14. **Limits of Approval.** Approval of this application does not constitute approval of any other entitlement or any other necessary permit, license, or approval.
15. **Compliance with Local and State Laws.** The subject use shall be conducted in full compliance with all local and state laws. No part of this approval shall be construed to permit a violation of any part of the Manteca Municipal Code. This Site Plan & Design Review and Minor Use Permit shall be subject to revocation if the subject use is conducted in such a manner as to cause a nuisance.
16. **Erosion Prevention.** The applicant shall take all necessary measures to ensure that his activities or those of his agents do not result in measurable erosion of soils on the site, either wind or water, during the construction and operation of the project covered by this approval.
17. **Location of Conditions.** All conditions of approval for this project shall be written by the project developer on all building permit plan check sets submitted for review and approval. These conditions of approval shall be on, at all times, all grading and construction plans kept on the project site. It is the responsibility of the building developer to ensure that the project contractor is aware of, and abides by, all conditions of approval. Prior approval from the Planning Manager must be received before any changes are constituted in site design, grading, building design, building colors or materials, etc.
18. **Roof mounted screening.** Applicant/developer shall ensure all roof mounted equipment shall remain screened from public street view.
19. **Signage.** All signage shall be submitted as a separate building permit from the Building Division and shall comply with Chapter 17.54 of the Zoning Ordinance. No signage has been approved with this Site Plan & Design Review.
20. **Master Sign Program.** This project will require a Master Sign Program, as the project includes three or more tenant spaces that share the same parcel and use common access and parking facilities. Refer to Code Section 17.10.090.
21. **On-site Lighting.** All on-site lighting for parking areas, pedestrian areas and vehicular or pedestrian paths of travel shall be LED lighting. Any new lighting is required to submit a photometric plan for review showing it complies with the following standards (17.50.060.D.):

- b. Parking lots, driveways, trash enclosures/areas, public phones, and group mailboxes shall be illuminated with a minimum maintained 1 foot-candle of light and an average not to exceed 4 foot-candles of light. The illumination shall not exceed 10 foot-candles in any one location.
- c. Pedestrian walkways shall be illuminated with a minimum maintained 0.5 foot-candle of light and an average not to exceed 2 foot-candles of light.
- d. Entryways and exterior doors of nonresidential structures shall be illuminated during the hours of darkness with a minimum maintained 1 foot-candle of light, measured within a 5-foot radius on each side of the door at ground level.

22. Site Conditions. The site shall be maintained in a neat and clean manner free of weeds, trash and debris.

23. Landscaping. Required planting areas shall be permanently maintained by water, clearing debris and litter, weeding, pruning, insect control, and replacement of plant materials and irrigation equipment as needed to preserve the health and appearance of plant materials. All landscaping shall be maintained in such a manner as to not restrict designated pedestrian access. All trees, shrubs, and plants which, due to accident, damage, disease, or other cause, fail to show a healthy growth shall be replaced, in kind, pursuant to the approved landscape plans within 30 days from the identified damage date. (MMC 17.48.060.A)

24. Design Requirements Prior to Building Permit Issuance:

- a) Prior to issuance of a Certificate of Occupancy, the applicant shall ensure that the site is developed in accordance with the plans dated 7/12/21. Development of the site shall not be modified by the applicant/developer or by any City Department or Division without prior express written approval by the designated approving authority as stipulated in Section 17.10.060 (C) of the City of Manteca Municipal Code. If any structure(s) landscaping, parking, signage or other features of the approved plans are installed, constructed or removed or site improvements otherwise deviate from what was shown or illustrated on these approved plans, that shall render this entitlement modified. All modifications shall be brought into conformance with the approved site plan at the sole expense of the applicant/developer. When modifications have taken place, a Certificate of Occupancy shall not be granted until either: a) the site has been brought into conformance with these approved plans; or, b) the applicant/developer files an application for the appropriate amendment and that application has been approved.
- b) All conditions of approval for this project shall be written by the project developer on all building permit plan check sets submitted for review and approval. These conditions of approval shall be on, at all times, all grading and construction plans kept on the project site. It is the responsibility of the building developer to ensure that the project contractor is aware of, and abides by, all conditions of approval. Prior approval from the Deputy Director - Planning must be received

before any changes are constituted in site design, grading, building design, building colors or materials, etc.

25. **Signage.** Signage is not approved as part of this application. A separate sign plan shall be reviewed by the Planning Department prior to issuance of a Building Permit. This site shall require a Master Sign Program.
26. **Drive-Thru Landscaping.** Prior to building permit issuance, landscape plans must show a 5-foot wide planter with a minimum 3-foot-tall landscape barrier to screen glare for both drive-thrus on site, planted with trees and other landscaping consistent with those in the parking area. At no time shall this landscape barrier be pruned in a manner that allows the vehicle headlights from the drive-through lane to be visible from abutting street rights-of-way. The 3-foot-tall landscape barrier must be in place at time of building permit inspection.
27. **Outdoor Seating.** Prior to building permit issuance and final Planning inspection, outdoor seating area must comply with all Outdoor Seating Standards, found in Code Section 17.80.
28. **Site Lighting.** Prior to building permit issuance, the final illumination photometric must show there is zero light spillover (level of 0.0) at the property lines to the east and south.
29. **Fuel Canopy Design.** Prior to building permit issuance and to the satisfaction of the Development Services Director, the fuel canopy shall incorporate architectural details to match the architectural style of the buildings on site.
30. **Landscape.** Prior to building permit issuance, the final landscape plan must show compliance with all standards and regulations of the landscape ordinance.
 - a. A climbing vine shall be planted along the CMU block wall to soften its appearance.
31. **Masonry wall.** A masonry wall is a requirement when a commercial use is adjacent to a residential use. The masonry wall has already been constructed, but is required to remain in an orderly and good condition at all times.
32. **Mitigated Negative Declaration – Mitigation Monitoring Reporting Program.** This project shall comply with the following mitigations found in the project's Mitigation Monitoring Reporting Program and Mitigated Negative Declaration:
 - a. **Air Quality MM AQ-1:** Between June 1 and November 30, when Valley Fever rates of infection are the highest, additional dust suppression measures (such as additional water or the application of additional soil stabilizer) will be implemented prior to and immediately following ground-disturbing activities if wind speeds exceed 15 mph or temperatures

exceed 95°F for 3 consecutive days. The additional dust suppression will continue until winds are 10 mph or lower and outdoor air temperatures are below 90°F for at least 2 consecutive days. The additional dust suppression measures will be incorporated into the dust control plan.

- b. **Air Quality MM AQ-2:** Prior to any project grading activity, the primary project construction contractor will prepare and implement a worker training program that describes potential health hazards associated with Valley Fever, common symptoms, proper safety procedures to minimize health hazards, and notification procedures if suspected work-related symptoms are identified during construction. The worker training program will identify safety measures to be implemented by construction contractors during construction. Safety measures will include the following:
 - i. Provide HEPA-filtered air-conditioned enclosed cabs on heavy equipment. Train workers on proper use of cabs, such as turning on air conditioning prior to using the equipment.
 - ii. Provide communication methods, such as two-way radios, for use by workers in enclosed cabs.
 - iii. Provide personal protective equipment, such as half-mask and/or full-mask respirators equipped with particulate filtration, to workers active in dusty work areas.
 - iv. Provide separate, clean eating areas with hand-washing facilities for construction workers.
 - v. Clean equipment, vehicles, and other items before they are moved off site to other work locations.
 - vi. Provide training for construction workers so they can recognize the symptoms of Valley Fever and promptly report suspected symptoms of work-related Valley Fever to a supervisor.
 - vii. Direct workers that exhibit Valley Fever symptoms to immediately seek a medical evaluation.
 - viii. Prior to initiating any grading, the construction contractor will provide the County program manager with copies of all educational training material.
- c. **Biological Resources MM BIO-1:** To the extent feasible, the City of Manteca shall schedule vegetation removal activities during the non-breeding season for birds in the region (August 16 through February 14). If vegetation removal must be carried out during the breeding season, a qualified biologist shall conduct a nesting bird survey within 1 week prior to said activities to determine if any birds are nesting on or near the project site (including a 500-foot buffer for raptors). If any active nests are observed during surveys, a suitable avoidance buffer from the nests shall be determined and flagged by a qualified biologist based on species, location, and planned construction activities. Consultation with the California Department of Fish and Wildlife may be required to

determine appropriate buffer distances. These nests shall be avoided until the chicks have fledged and the nests are no longer active, as determined by the qualified biologist.

- d. **Cultural Resources MM CUL-1:** All employees should be alerted to the potential to encounter archaeological material. In the event that cultural resources (sites, features, or artifacts) are exposed during work activities for the proposed Project, all ground disturbing work occurring within 100 feet of the find shall immediately stop until a qualified specialist, meeting the Secretary of the Interior's Professional Qualification Standards, can evaluate the significance of the find and determine whether additional study is warranted. Prehistoric archaeological deposits may be indicated by the presence of discolored or dark soil, fire-affected material, concentrations of fragmented or whole freshwater bivalves shell, burned or complete bone, non-local lithic materials, or the characteristic observed to be atypical of the surrounding area. Common prehistoric artifacts may include modified or battered lithic materials; lithic or bone tools that appeared to have been used for chopping, drilling, or grinding; projectile points; fired clay ceramics or non-functional items; and other items. Historic-age deposits are often indicated by the presence of glass bottles and shards, ceramic material, building or domestic refuse, ferrous metal, or old features such as concrete foundations or privies. Depending upon the significance of the find under CEQA (14 CCR 15064.5(f); PRC Section 21082), the archaeologist may simply record the find and allow work to continue. If the discovery proves significant under CEQA, additional work, such as preparation of an archaeological treatment plan, testing, or data recovery may be warranted.
- e. **Cultural Resources MM CUL-2:** In accordance with Section 7050.5 of the California Health and Safety Code, if human remains are found, the County Coroner shall be immediately notified of the discovery. No further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains shall occur until the County Coroner has determined, within 2 working days of notification of the discovery, the appropriate treatment and disposition of the human remains. If the County Coroner determines that the remains are, or are believed to be, Native American, he or she shall notify the NAHC in Sacramento within 24 hours. In accordance with California Public Resources Code, Section 5097.98, the NAHC must immediately notify those persons it believes to be the most likely descendant from the deceased Native American. The designated Native American representative would then determine, in consultation with the property owner, the disposition of the human remains.
- f. **Geology & Soils MM GEO-1:** Prior to commencement of any grading activity on site, the applicant shall retain a qualified paleontologist per the Society of Vertebrate Paleontology (SVP) (2010) guidelines. The paleontologist shall prepare a Paleontological Resources Impact

Mitigation Program (PRIMP) for the project. The PRIMP shall be consistent with the SVP guidelines and should outline requirements for pre-construction meeting attendance and worker environmental awareness training; where monitoring is required within the proposed project site based on construction plans and/or geotechnical reports; procedures for adequate paleontological monitoring and discoveries treatment; and paleontological methods (including sediment sampling for microvertebrate fossils), reporting, and collections management. The PRIMP shall also include a statement that any fossil lab or curation costs (if necessary due to fossil recovery) are the responsibility of the project proponent. The qualified paleontologist shall attend the pre-construction meeting, and a qualified paleontological monitor shall be on site during all rough grading and other significant ground-disturbing activities (including augering) in previously undisturbed, fine-grained Pleistocene alluvial deposits. In the event that paleontological resources (e.g., fossils) are unearthed during grading, the paleontological monitor will temporarily halt and/or divert grading activity to allow recovery of paleontological resources. The area of discovery will be roped off with a 50-foot radius buffer. Once documentation and collection of the find is completed, the monitor will remove the rope and allow grading to recommence in the area of the find.

- g. **Transportation MM TR-1:** Prior to receipt of the Certificate of Occupancy, the project applicant shall modify, at their expense, the medians of Airport Way and Lathrop Road along the project frontages to enable all movements to be permitted at Driveways 1 and 3; and movements at Driveway 2 to be restricted to right-turn in/out movements only. To accommodate southbound left-turns into Driveway 1, it is recommended that the northbound left-turn lane length be reduced to 200 feet, with the 135 feet of distance that is modified becoming a southbound left-turn lane into Driveway 1 (i.e., back-to-back left turn lanes). The median modifications shall be designed per City standards and approved by the City's Engineering Department prior to modifications.
- h. **Transportation MM TR-2:** Prior to site plan approval by the City, the project applicant shall incorporate the following modification at Driveway 3 for the final design of the project site:
 - i. *Driveway 3.* Install stop signs on the northbound and eastbound approaches to the first internal intersection near this driveway (with inbound movements provided priority right-of-way). This will ensure that if a queue of four vehicles arrives, the fourth vehicle will be waiting at the stop sign versus blocking the intersection.

City of Manteca Development Services Department: Building Safety Division

1. Accessible parking spaces complying with CBC § 11B-502 shall be provided in accordance with CBC Table 11B-208.2. CBC § 11B-208.2 and § 11B-208.2.4.

2. All entrances and exterior ground-floor exits to buildings and facilities shall be accessible and shall comply with CBC § 11B-404. CBC § 11B-206.4.1.
3. Developer shall obtain separate building permits for each structure, signage, trash enclosure, monument sign, pole light fixture, etc. per CBC Admin 104 prior to construction of said structure.
4. Adequate sanitary facilities shall be provided per the requirements of Chapter 4 of the California Plumbing Code and CPC Table 422.1.
5. Designated parking for clean air vehicles shall comply with 2019 CGBSC §5.106.5.2 and Table 5.106.5.2 and Electric Vehicle Charging spaces shall comply with 2016 CGBSC §5.106.5.3 and Table 5.106.5.3.3.
 - a. With 110 parking spaces, fourteen (14) clean air vehicle parking spaces are required.
 - b. With 110 parking spaces, eleven (11) EVCS parking spaces are required.
 - c. With 7 EVCS, 1 Van Accessible and 1 Standard accessible EVCS are required.
6. The Developer shall submit a pad elevation certification prepared by a licensed land surveyor or registered civil engineer to the Chief Building Official, certifying that the building location (setbacks) are pursuant to the approved plans prior to receiving a foundation inspection.
7. The project shall comply with the more restrictive of the outdoor potable water reduction requirements of the California Green Building Standards Code 4.304 and the Manteca Water Efficient Landscape Ordinance. Please note this on the plans.
8. At time of building permit, submittal the developer shall incorporate all Conditions of Approvals from all departments and imprint into the submittal set of construction documents/plans.

City of Manteca Public Works Department, Engineering Division

General

1. All improvements shall comply with the City of Manteca Standard Plans and Specifications. Improvement plans shall be submitted to the City Engineer for approval. An encroachment permit is required for all work within the public right-of-way.
2. Developer shall provide easements, requested by the respective utility companies, within the project. Any existing facilities within or adjacent to the project that are affected by this project shall be relocated and placed underground at the Developer's expense.

3. Developer shall dedicate ten-foot (10') wide public utility easements on all street frontages for underground facilities and appurtenances.
4. Developer shall indicate on the improvement plans topographical information which shall include one-foot (1') contour intervals and benchmark data based on City datum.
5. During all construction phases, Developer shall comply with City Laws regarding dust control. Developer shall also comply with San Joaquin Valley Unified Air Pollution Control District Regulation VIII (Fugitive Dust Prohibitions) in an effort to reduce the amount of fine particulate matter (PM10) entrained into the ambient air from man-made sources.
6. Prior to the start of construction, all survey monuments that have the possibility of being damaged, destroyed or covered over during the course of construction for this project, shall be located and referenced by a licensed land surveyor and a corner record or record of survey shall be filed with the county surveyor. Survey monuments which are damaged, destroyed or covered over during the course of construction must be re-set at the original location with a new monument and monument box and another corner record or record of survey shall be filed with the county surveyor. All work in this condition shall be done by a licensed land surveyor.
7. Prior to or with the Building Permit plan set the following shall be submitted. Review and approval of these items by the Engineering Department must occur prior to or with the issuance of the first building permit associated with this project.
 - a. On-site grading and drainage plan,
 - b. On-site utility (sanitary sewer, water and storm drain) plan,
 - c. Off-site improvement plan,
 - d. Erosion control plan,
 - e. Stormwater Pollution Prevention Plan (SWPPP),
 - f. Documentation, as required in the Post-Construction Stormwater Standards Manual, showing compliance with WQO NPDES 2013-0001-DWQ,
 - g. Joint Trench Intent plan, and
 - h. Dedication of required rights-of-way and easements to the City.

The plans specified in (a), (b) and (c) above shall be prepared by a Registered Civil Engineer.

The items in (d), (e) and (f) above shall be prepared by a Qualified SWPPP Developer (QSD).

8. Joint trench utility installation shall be in accordance with Manteca Municipal Code Chapter 13.34 and City Standards.

9. All address numbers shall be plainly visible from the street fronting the property. Said numbers/letters shall contrast with background.
10. Developer shall enter into an Improvement Agreement for construction of the roadway and utility improvements which will be dedicated to the City. The agreement will require posting a Performance Bond in the amount of one-hundred percent (100%), posting a Labor-Material Bond in the amount of fifty percent (50%), and payment of all required plan check, testing and inspection fees.
11. Developer shall install a benchmark on the North American Vertical Datum of 1988 vertical control system with this project. Final location shall be approved by the City Engineer and shown on the Improvement Plans. Developer shall obtain a benchmark from the City of Manteca and it shall be punched with the elevation, datum reference and benchmark number, which will be assigned by the City. A corner record shall be filed with the San Joaquin County Surveyor's Office and shall include the language that the benchmark is being added to the City of Manteca Vertical Control Network.
12. This project is a beneficiary of the Chadwick Square Unit No. 2 Storm Drain Area of Benefit. Prior to issuance of a permit which results in a connection to the system, the Developer shall pay the required assessment.
13. Improvements which will be dedicated to the City must use a benchmark on the City of Manteca Vertical Control Network to establish the elevations of the improvements. The benchmark used shall be noted on the Improvement Plans.
14. The Engineering elements for this project shall be reviewed and finalized during the Building Permit review process. Designs/layouts of utilities and roadway elements presented with the proposed Site Plan are preliminary to support its approval and are not being approved with the approval of the project.

Site

15. On-site parking area pavement surface drainage slope shall be as follows: Minimum cross-slope on asphalt concrete is 2% or concrete is 1% with a maximum of 5%. Concrete valley or curb gutters shall have a minimum slope of 0.25%. The pavement slope in ADA areas shall be in accordance with the California Building Code, Chapter 11B.
16. Provide City Standard Refuse/Recycling Enclosures on-site at the locations shown on the site plan. Sizing shall be in accordance with City Standards.
17. The refuse enclosure shall be graded so there is no storm drain or other flow run-on or run-off from the enclosure area. The enclosure area shall have a connection to the storm system, in compliance with the City's Post-Construction Manual.
18. On-site curbing shall conform to City of Manteca Standard ST-35, "Parking Area Curbs".
19. Developer shall ensure no buildings are constructed across property lines.

20. Developer shall dedicate an emergency vehicle access easement, to the City of Manteca, over the project site.
21. The fueling area design shall meet the *Design Considerations* section of Source Control Measure S-13: Fuel Dispensing Areas in Appendix E of the City's Post-Construction Manual.
22. The area under the gas pump canopy shall drain to itself. Any storm drain inlet in this area must be equipped with a SafeDrain or similar storm drain system protection device, as approved by the City Engineer.
23. A grease interceptor, in accordance with City Standard M-1, shall be installed as part of the private sanitary sewer system.
24. A sand-oil separator, in accordance with City Standard M-2, shall be installed as part of the site's storm drain system.
25. Landscape planting at driveway entrances/exits shall be maintained to a maximum height of three and one-half feet (3.5').
26. Developer shall sign and stripe both sides of the drive aisles as No Parking.
27. Egress points from this project to public right-of-way shall be stop controlled. Developer shall install signage and striping at egress points on the project's property to meet this condition.
28. The Developer shall install decomposed granite (DG) within the landscape planter along the southern property line from the eastern property line to twenty feet (20') west of the City's sanitary sewer manhole in the planter. No plantings shall be installed in this area between the building/ outdoor seating area to the wall/fence along the southern property line.

The DG installation shall either be DG with 10% cement or DG compacted to 95% installed over aggregate base, with minimum two-inch (2") post-compaction thickness.
29. The installation of a gate in the DG area will be reviewed for approval during the Building Permit review process for the project. If the gate installation is approved, the final location will be as approved by the City.
30. The Developer shall grant a Utility Maintenance Access Easement over the project site to the City. The grant document shall specify that the easement is being granted for maintenance of the existing City storm drain and sanitary sewer systems which exist on the project site prior to installation of the project. The remainder of the onsite utility systems shall be maintained by the Developer/Property Owner.

Streets

31. Cross sections for roadways that are included in the City's adopted Public Facilities Implementation Plan (PFIP), Transportation Element shall be in accordance with that document. Unless otherwise detailed in these conditions, cross sections for roadways that are not included in the PFIP shall be in

accordance with the City of Manteca Standard Plans. An encroachment permit is required for all work within the public right-of-way.

32. Soils R-value tests shall be performed from representative soils within the future right-of-way widening areas for the below named streets. A geotechnical report shall be submitted to the City Engineer with calculations determining the street pavement structural design. Design shall conform to City of Manteca Resolution R-5633, "Street Structural Design Policy". The minimum traffic indices shall be as follows:

- a. N. Airport Way: 11.0
- b. W. Lathrop Road: 11.0

33. N. Airport Way

- a. Developer shall dedicate right-of-way along the east side of N. Airport Way to accommodate a sixty-seven-foot (67') half-width street section, at the intersection with the correctly designed tapers to widen the roadway from the existing improvements south of the project site to the intersection right-of-way, as shown on the PFIP.
- b. Developer shall remove and replace the existing pavement with a new street structural section along the project's N. Airport Way frontage.
- c. Developer shall construct full width street improvements along N. Airport Way, including new street structural section, curb, gutter, a ten-foot (10') wide sidewalk, street lights, signage and striping. The full width street improvements do not include any improvements beyond the curb and gutter on the west side of N. Airport Way, opposite of the project.
- d. Developer may, in accordance with Title 16 of the Manteca Municipal Code, request City Council's approval to construct a part-width street for N. Airport Way consisting of completion of one twelve foot (12') wide travel lane and a two foot (2') wide pave shoulder on the side opposite of the project, including transitions and striping needed to connect with existing roadway improvements. City Council must approve the request by a four-fifths (4/5ths) vote.
- e. If City Council does not approve the part-width street request, the Developer shall, on behalf of the City, obtain right-of-way along the west side of N. Airport Way to accommodate full width street improvements.

34. W. Lathrop Road

- a. Developer shall dedicate right-of-way along the south side of W. Lathrop Road to accommodate a fifty-four foot (54') half-width street section.
- b. Developer shall construct full width street improvements along W. Lathrop Road, including curb, gutter, eight-foot wide sidewalk, street lights, signage and striping. The full width street improvements do not include any improvements beyond the curb and gutter on the north side of W. Lathrop Road, opposite of the project.

- c. Developer may, in accordance with Title 16 of the Manteca Municipal Code, request City Council's approval to construct a part-width street for W. Lathrop Road consisting of one twelve foot (12') wide travel lane and a two foot (2') wide paved shoulder on the side opposite of the project, including transitions and striping needed to connect with existing roadway improvements. City Council must approve the request by a four-fifths (4/5ths) vote.
 - d. If City Council does not approve the part-width street request, the Developer shall, on behalf of the City, obtain right-of-way along the north side of W. Lathrop Road to accommodate full width street improvements.
35. Developer shall relocate/replace the existing traffic signal infrastructure as needed to accommodate the installation of street improvements.
36. Developer shall ensure N. Airport Way, west of its centerline, and W. Lathrop Road, north of its centerline, are in like-new surface condition. At the time of Building Permit submittal, the City Engineer will determine the necessary roadway rehabilitation method for these portions of the roadway. The rehabilitation shall be shown on the plans for the project, prior to Building Permit issuance.
37. Developer shall install and/or modify the roadway signage and striping as necessary to update the lane configurations and allowed movements to account for the pavement widening and roadway improvements done with this project, including signage and striping modifications or updates outside the frontages of this project on N. Airport Way and W. Lathrop Road.
38. Where offsite property acquisition is required by these conditions, if the developer has made good faith efforts to obtain the ROW, which can be shown to the City in writing, and is unable to come to an agreement with the property owner, the City will make a determination to remove this condition or begin its own negotiations with the property owner.
39. Right-of-way and easement dedications to the City shall be completed as a condition of the issuance of the first building permit for the project. Street improvements shall be completed as a condition of the first final inspection of a building permit for this development. This shall be noted on the cover of the building permit submittal.
40. The street light locations shall be finalized during the Improvement Plan review process. Electroliers shall maintain an average foot candle coverage of 0.40, with a minimum allowable foot candle at any location of 0.07, within the City's right-of-way along the frontages of the project. A street light photometric plan, showing the foot candle coverage, shall be submitted with the Improvement Plans.
41. The thickness of all sidewalks installed with the project which will be dedicated to the City shall be six inches (6").
42. Driveway(s) and accessibility ramps installed with this project shall be in compliance with the latest revision of the California Building Code, Chapter 11B and Caltrans Standard Plans, detail A88A.

43. Drive-thru/Use Permit Approval

Stacking or queueing outside the project's property onto City right-of-way, at any time, is not allowed. Developer shall ensure that the drive-thru aisles are adequately designed for the business and function such that the stacking or queueing does not negatively affect or cause traffic congestion within the public right-of-way.

If it is determined by the City Engineer that any drive-thru stacking and queueing is affecting the public right-of-way, Developer shall make modifications to the site to remedy the problem. The City may require the submittal of a traffic study from a licensed Traffic Engineer specifically addressing drive-thru stacking and queueing. Modifications to the site may require a Minor Plan Modification be submitted to Development Services.

Costs associated with complying with this condition shall be paid for entirely by the Developer.

44. Developer shall design the westernmost driveway on W. Lathrop Road and install signage and striping at the driveway to show that it is restricted to right-in/right-out turn movements only.
45. Developer acknowledges that until the west side of N. Airport Way and the north side of W. Lathrop Road are developed, the project's driveway on N. Airport Way and the easternmost driveway on W. Lathrop Road can operate as full access driveways (left-in/left-out and right-in/right-out). Once the west side of N. Airport Way and the north side of W. Lathrop Road, opposite of the project, develop a median will be installed in both roadways, which will restrict all driveways to right-in/right-out only. The median installation, or other driveway restrictions, may occur earlier if at the City Engineer's discretion traffic characteristics make the full access driveways unsafe.

Water

46. Improvements shall be designed and constructed in conformance with the latest version of the City Water Master Plan.
47. The City's Water Master Plan and User Rate Charges are currently being analyzed and updated by HydroScience. The update of the Master Plan is anticipated to be completed in late 2023. The Water Master Plan will identify improvement projects that need to be engineered and constructed for both the distribution system and the treatment systems. As the needed projects, both distribution and treatment, are identified, and associated costs estimated, user rates, connection charges, and Public Facilities Implementation Plan (PFIP) fees will likely increase. New development projects will have to pay the following fees, as adopted by the City Council, that are in place at the time of development/permit issuance: (1) User Rate Charges, (2) Connection Charges, and (3) PFIP fees.
48. Existing wells within the boundary of the proposed development which are not approved for use by the City, shall be abandoned in accordance with San Joaquin County Public Health Services requirements.

49. Fire hydrant locations shall be as approved by the Fire Department and finalized during the Building Permit review process. Developer shall provide and install fire hydrant “blue dot” reflective markers prior to issuance of the first building permit.
50. The onsite water line shall be maintained by the Property Owner.
51. The onsite fire system shall be maintained by the Property Owner in perpetuity, in accordance with National Fire Protection Association (NFPA) 25 Fire Code, as amended.
52. Developer shall install double check detector check valves (DCDCV) where the fire hydrant/fire service line enters the site from the public water system. The DCDCV shall be installed on private property immediately adjacent to the City right-of-way or a dedicated City access easement and shall be maintained by the property owner.
53. Developer shall install one meter for the domestic water system for this project. The meter shall be installed at an accessible location within the public utility easement, adjacent to the City’s ROW. Piping and appurtenances downstream of the water meter are private and will be maintained by the property owner.
54. Developer shall install a backflow prevention device immediately downstream of the water meter. The backflow prevention device shall be maintained by the Property Owner.
55. Developer may install a separate water meter for the landscape irrigation system. The meter shall be installed at an accessible location within the public utility easement, adjacent to the City’s ROW or waterline maintenance and access easement. Piping and appurtenances downstream of the water meter are private and will be maintained by the Property Owner. Irrigation water from the potable system shall be protected with a reduced pressure backflow device.
56. Developer shall pay fees associated with the Reclaimed Water Master Plan for all buildings for which a building permit is issued after adoption of said Reclaimed Water Master Plan and fees by the City Council of Manteca.
57. Existing service connections to the City’s water mains which will not be used by this project shall be abandoned, as directed by the City of Manteca.

Storm Drainage

58. Improvements shall be designed and constructed in conformance with the latest edition of the Storm Drain Master Plan, the City’s Post-Construction Manual and City Standards.
59. A preliminary storm drainage plan shall be submitted to the City Engineer for approval concurrently with the first plan submittal. The plan shall be accompanied by calculations for peak flows, total runoff, pipe sizes, detention basin volume and evidence of historical groundwater depth.

The plan shall include topography shots taken in the Chadwick Square Park Storm Drain Basin to show the bottom elevation of the basin is as shown on the original Improvement Plans and can therefore accommodate the flows from this

project. If based on the topography shots, the basin does not have the capacity to accommodate this project's flows, the Developer shall provide an alternate solution to comply with the attenuation requirements of the City's Storm Drain Master Plan.

60. All drain inlets shall be marked "No Dumping - Drains to River". Drain markers shall be purchased from the City of Manteca at cost plus 15% administrative charge, and installed by the Developer prior to acceptance of the improvements.
61. Developer shall construct the storm drain attenuation system in accordance with the current Storm Drain Master Plan.
62. Developer shall incorporate appropriate site design measure(s) and submit the results of the Post-Construction Runoff Standards Manual. The City of Manteca approval of the proposed measures is precedent to issuance of any building, grading or construction permits.
63. Developer shall develop and submit a Project Stormwater Plan that identifies the methods to be employed to reduce or eliminate stormwater pollutant discharges through the construction, operation and maintenance of source control measures, low impact development design, site design measures, stormwater treatment control measures, and hydromodification control measures. Design and sizing requirements shall comply with the 2015 Post-Construction Stormwater Standards Manual. City of Manteca approval of the Project Stormwater Plan is precedent to issuance of any building, grading, or construction permits. An electronic copy of the Project Stormwater Plan shall be provided to the City of Manteca
64. Developer shall develop a hydromodification management plan to ensure the post-project stormwater runoff flow rate shall not exceed estimated pre-project flow rate for the 2-year, 24-hour storm. The hydromodification management plan shall be incorporated into the Project Stormwater Plan.
65. Developer shall develop and submit an Operations and Maintenance Plan that identifies the operations, maintenance, and inspection requirements of all stormwater treatment and baseline hydromodification control measures identified in the approved Project Stormwater Plan. City of Manteca approval of the preliminary Operations and Maintenance Plan is precedent to issuance of any building, grading, or construction permits. An electronic copy of the Maintenance Plan shall be provided to the City of Manteca.
66. City of Manteca approval of the final Operations and Maintenance Plan and recordation of the Maintenance Access Agreement is precedent to first building final inspection for this project. Two paper copies and an electronic copy of the final Operations and Maintenance Plan shall be provided to the City of Manteca.
67. Post-Construction Management Practices shall conform to the City's adopted Multi-Agency Post Construction Stormwater Standards Manual.
68. Where conflict between standards arises, the standard most-protective to water quality, to public health and safety, and against flooding shall be utilized.

69. Prior to any land disturbing construction activities occurring on a project, Developer shall meet the requirements of NPDES. For sites exceeding 1 acre of disturbance area that are deemed non-exempt, contractor shall prepare and submit a Storm Water Pollution Prevention Plan (SWPPP) and apply for a permit under the California General Construction NPDES permit. SWPPP shall be prepared and signed by a Qualified SWPPP Developer (QSD) certified by the State Water Resources Control Board. All modifications to SWPPP shall be implemented by a QSD in responsible charge for the project. The SWPPP shall be implemented under the supervision of a Qualified SWPPP Practitioner (QSP). For permit information, contact the State Water Resources Control Board (SWRCB) at:

State Water Resources Control Board
PO Box 1977, Sacramento, CA 95812-1977
Attn: Storm Water Permitting Section
Telephone: (916) 341-5537

To log in to the SWRCB Storm Water Multiple Application and Report Tracking System (SMARTS) to enter site information and apply for permit, please contact the City of Manteca Engineering Department to establish a project and authorize data entry access.

All other sites shall conform to the City of Manteca Standards, the California Green Building Standards, and Section E.10 of the NPDES permit 2013-0001-DWQ. All construction involving land disturbing activities shall submit for approval an Erosion Control and Sedimentation Plan (ESCP) prepared and signed by a QSD. All ESCP treatment measures and BMPs must be maintained at all times until construction is completed and the site is stabilized as defined under the Construction General NPDES permit.

Prior to issuance of the first grading or building permit for a project, a copy of the SWPPP or ESCP shall be submitted by the developer and approved by Authorized Signatory or Legally Responsible Person (LRP) for the City's NPDES program. Contact the City of Manteca Engineering Department to identify appropriate person for review and approval of plans and documents.

70. Developer recognizes that the design and calculations which have been submitted thus far to demonstrate this project's compliance with the City's Post-Construction Stormwater Standards Manual are approved for project entitlements but may require further refinement for final approval, which is precedent to issuance of any building, grading, or construction permits.
71. Bioretention areas which are adjacent to the City sidewalk shall include a one-foot (1') wide flat area behind the sidewalk prior to the start of the bioretention area side slope.
72. Developer shall pay fair-share costs for storm drainage improvements, including improvements downstream to improve capacity or water quality treatments needed to conform to current Storm Drain Master Plan, City standards and support the development.

73. Developer shall complete the CDD development memorandum, required by Storm Drainage Agreement Amendment No. 1, and submit it to SSJID for review.

Sanitary Sewer

74. Improvements shall be designed and constructed in conformance with the latest version of the City Wastewater Collection System Master Plan and City Standards.
75. The City's Sewer Master Plan and User Rate Charges are currently being analyzed and updated by Stantec. The update of the Master Plan is anticipated to be completed in late 2023. The Sewer Master Plan will identify improvement projects that need to be engineered and constructed for both the collection system and the Wastewater Quality Control Facility (WQCF). As the needed projects, both collection and at the WQCF are identified, and associated costs estimated, user rates, connection charges, and Public Facilities Implementation Plan (PFIP) fees will likely increase. New development projects will have to pay the following fees, as adopted by the City Council, that are in place at the time of development/permit issuance: (1) User Rate Charges, (2) Connection Charges, and (3) PFIP fees.
76. Developer shall remove the existing cleanout on the stub to the City's sanitary sewer system, north of 2053 Masterpiece Court. The cleanout shall be replaced with a manhole. This manhole shall be the end of the City's maintenance responsibility for the sanitary sewer system. The sanitary sewer system on this project's property, upstream of the manhole shall be maintained by the Developer and/or Property Owner.
77. Any existing septic tank(s) on the property that will not be approved by the City shall be abandoned in accordance with the permitting requirements of the San Joaquin County Environmental Health Department prior to issuance of the first building permit.
78. A preliminary sewer plan shall be submitted to the City Engineer for approval concurrently with the first improvement plan submittal. The plan shall be accompanied by calculations for peak wet weather flows showing pipe sizes and slopes for the entire development.

Public Facilities Implementation Plan

79. Reimbursement shall be based on actual quantities installed. Developer is required to have a minimum of three (3) public sealed bids opened by the City Clerk for all reimbursable improvements. Bids for reimbursable items shall be included in the total subdivision bids, however, the unit bids received for reimbursable items will be considered as a bid separate from the rest of the subdivision contract items and reimbursement will be made based on the lowest responsible bid received for reimbursable items.
80. The City shall approve the bid sheet form, prior to bidding, and proof shall be provided that bids were solicited from a minimum of three qualified contractors.

81. Reimbursement shall be in the form of credit against applicable PFIP Sanitary Sewer, Water System, Storm Drain and Transportation fees. The credit will be given when building permits are issued for construction of buildings for the project. The amount of the reimbursements shall be based upon the low bid received from a minimum of three (3) sealed bids opened by the City Clerk. If the cost to construct said improvements exceeds the value of PFIP credits, the remainder shall be reimbursed in accordance with the City Council adopted Public Facilities Implementation Plan in place on the effective date of the Improvement Agreement.

82. In the event Developer desires to exchange credits for cash reimbursement, the exchange must be approved by City Council.

City of Manteca Fire Department

1. Deferred Fire Alarm submittals for buildings 1,4, & 5.
2. Deferred Fire Sprinkler submittals for building 4 & 5.
3. Fire Lane needed on parking lot west of building 1.
4. Fire Lane needed on parking lot east of building 3.
5. Fire Lane needed between building 1 and 3.
6. Fire Department Access:
 - a. A diagram showing proposed "Fire Lane" shall be submitted for approval to the Office of the Fire Marshal. Fire Lanes shall be marked in accordance with California Fire Code (Appendix D103.6 SIGNS and Manteca Fire Code 15.24.
7. Fire Hydrants: Plans and specifications for fire hydrant systems shall be submitted for review and approval prior to construction.
 - a. Fire hydrants shall be installed around all buildings at a maximum spacing of 300 feet in accordance with the City of Manteca Standards and California Fire Code. Corners should be utilized for hydrant locations when possible.
 - b. Hydrants subject to vehicular damage shall be protected in an approved manner and not be obstructed by vehicles or other obstructions.
 - c. Provide 15 feet of clearance on either side of fire hydrant from stopped or parked vehicles.
 - d. Additional fire hydrants may be required to meet the minimum spacing requirement of hydrants within 90 feet of Fire Department Connections, (FDC) for Fire Sprinkler Systems.
 - e. The on-site fire protection system (fire hydrants and associated water mains) shall be installed prior to the issuance of building permits.
 - f. Total Fire Flow (appendix B of CFC) shall be calculated and submitted as part of the permit submittal.

8. Underground piping for the fire sprinkler shall be approved by the Fire Department prior to permit issuance.
9. Fire Suppression Systems: All buildings must be protected by an approved monitored automatic sprinkler system in accordance to NFPA 13, CFC, CBC, and Manteca Municipal Code Section 15.24.
 - a. Fire Alarm/Sprinkler monitoring shall be point ID.
10. Fire Suppression Approval. Plans and specifications for fire suppression systems shall be submitted for review and approval prior to construction. If work differs from approved plans, a set of "as built" shall be submitted to the Fire Department prior to final inspection.
11. Plans proposed to be listed as deferred submittals shall be clearly labeled on the cover building permit plan submittal cover sheet.
12. Inspections. Fire protection systems (fire hydrants, water mains, etc.) shall be installed, tested and approved by the City prior to the issuance of any building permits. The Fire Department shall witness all system and acceptance tests. Please provide 24-hour notice prior to any system or acceptance tests. 209-456-8340
13. A Fire Department approved "key lock box" shall be properly installed near the main entrance. A 3200 series lock box(s) can be order online directly from KNOXBOX.COM. Contact the Office of the Fire Marshal at FireMarshal@mantecafire.org for additional information.
14. All above ground gas meters, regulators, and piping exposed to vehicular damage shall be protected in an approved manner.
15. Trash enclosures/dumpsters shall not be allowed within 5 feet of any combustible walls, openings, or combustible roof eaves, unless protected by an automatic fire sprinklers.
16. Operations that require operational permits (High Piled Storage, Hot Work, Compressed Gas, Battery Storage and all others listed in CFC 105) shall be identified on the plan submittal.
17. All above comments shall be listed in the Building Permit Plan Submittal in a section designated for Fire Comments. Additionally, the Authority Having Jurisdiction should be listed as:

Authority having Jurisdiction:

City of Manteca Fire Department,
Office of the Fire Marshal

Fire Inspector II Luis "Art" Salas
1154 S. Union Road, Manteca CA 95337
Firemarshal@Mantecafire.org

**City of Manteca Public Works – Park Planning & Projects
General Comments:**

1. Current City of Manteca Standards and Specifications for Landscape Development shall be followed.
2. Developer shall prepare construction plans and specifications for any streetscape and basin improvements for Public Works Department – Parks Division approval, at developer's expense.
3. Streetscape phasing shall be agreed upon by both the Public Works – Park Planning and Projects Division and Engineering Division.
4. Trees along Airport Way and Lathrop Road shall be planted outside of the City right-of way.

Streetscapes/Medians/Landscape areas:

5. Streetscape/medians/landscape improvements shall be included in the Community Facilities District (CFD), or other funding mechanism, to provide resources for landscape maintenance costs as per the requirements listed under the formation/annexation requirements. Developer shall be responsible for maintenance of improvements until sufficient funding is available/collected for City to maintain.
6. In areas where South San Joaquin Irrigation District (SSJID) pipeline easements are located within the boundaries of streetscape, medians or landscape areas, SSJID and the City of Manteca Public Works Department – Parks Division shall both approve landscape plans including tree variety, setbacks, root protection methods, etc. The landscape plans shall not be considered approved until they are signed by the Public Works Department – Parks Division.
7. No turf grass is permitted in any streetscapes, unless approved by the Public Works Department – Parks Division.
8. Minimum of 25% of landscape areas shall be provided in non-irrigated landscape (examples: cobble, decomposed granite, boulders, artificial turf, etc.).

**Community Facilities District (CFD) (Or other funding source)
Formation/Annexation Requirements:**

9. CFD or other approved funding source shall be formed/annexed, at the developer's expense, to provide for the maintenance of the streetlights and all

streetscape/median/landscape improvements and the negative fiscal impacts associated with the provision of police protection, fire suppression and road maintenance services for new development. Said CFD, or other funding source, shall be in place prior to the issuance of the first building permit and as further defined in the City of Manteca Parkland Construction Policy.

10. Developer shall be responsible for maintenance of improvements until sufficient funding through the collection of full special tax revenue is available/collected for City to maintain. This may be accomplished through a maintenance agreement, direct payment to City or other means.

City of Manteca Information Technology Department, GIS Division

1. The addresses for the Airport Plaza development will be as follows:

2060 W. Lathrop Rd. (Parcel address)

2038 W. Lathrop Rd.

2042 W. Lathrop Rd.

2066 W. Lathrop Rd.

2084 W. Lathrop Rd.

If suites are created for 2038 or 2066, they should use 101, 102, etc. and increase from east to west.

San Joaquin County Environmental Health Department

1. This project shall comply with all applicable requirements from the San Joaquin County Environmental Health Department.

San Joaquin Valley Air Pollution Control District

1. This project shall comply with all applicable requirements from the San Joaquin Valley Air Pollution Control District.

San Joaquin County Multi-Species Habitat Conservation (Laurel Boyd, Habitat Planner)

1. This project is subject to the SJMSCP. If you have any questions, please call (209) 235-0600.

South San Joaquin Irrigation District

1. This project shall comply with all applicable requirements from the South San Joaquin Irrigation District.

MEMORANDUM

To: Mallorie Fenrich, City of Manteca
From: Adam Poll
Subject: Responses to Comments on the Airport Plaza IS/MND
Date: November 9, 2023
cc: Angelica Chiu

The Initial Study/Mitigated Negative Declaration (IS/MND) for the Morse Recreation Center project was circulated for public review and comment from September 19, 2023, to October 19, 2023 (SCH No. 2023090415). One comment letter was received from the Central Valley Regional Water Quality Control Board (Water Board) on October 19, 2023. No comment letters were received from any organizations or the public.

The Water Board comment letter is acknowledged by the City of Manteca (City) and has been considered as part of the project planning and its implementation. No revisions to the IS/MND are necessary to address the Water Board comment letter. The comment does not identify any new, avoidable significant effects. There are no revisions to the IS/MND considered “substantial revisions” under CEQA Guidelines Section 15073.5(b) as no new significant impacts have been identified and no new mitigation measures or revisions are required to reduce project impacts. Therefore, recirculation of the document is not required (CEQA Guidelines Section 15073.5). The comment letter and response to the comment letter are included below.



Central Valley Regional Water Quality Control Board

19 October 2023

Mallorie Fenrich
City of Manteca
1215 West Center Street, Suite 201
Manteca, CA 95337
mfenrich@manteca.gov

COMMENTS TO REQUEST FOR REVIEW FOR THE MITIGATED NEGATIVE DECLARATION, AIRPORT PLAZA PROJECT, SCH#2023090415, SAN JOAQUIN COUNTY

Pursuant to the State Clearinghouse's 19 September 2023 request, the Central Valley Regional Water Quality Control Board (Central Valley Water Board) has reviewed the *Request for Review for the Mitigated Negative Declaration* for the Airport Plaza Project, located in San Joaquin County.

Our agency is delegated with the responsibility of protecting the quality of surface and groundwaters of the state; therefore, our comments will address concerns surrounding those issues.

I. Regulatory Setting

Basin Plan

The Central Valley Water Board is required to formulate and adopt Basin Plans for all areas within the Central Valley region under Section 13240 of the Porter-Cologne Water Quality Control Act. Each Basin Plan must contain water quality objectives to ensure the reasonable protection of beneficial uses, as well as a program of implementation for achieving water quality objectives with the Basin Plans. Federal regulations require each state to adopt water quality standards to protect the public health or welfare, enhance the quality of water and serve the purposes of the Clean Water Act. In California, the beneficial uses, water quality objectives, and the Antidegradation Policy are the State's water quality standards. Water quality standards are also contained in the National Toxics Rule, 40 CFR Section 131.36, and the California Toxics Rule, 40 CFR Section 131.38.

The Basin Plan is subject to modification as necessary, considering applicable laws, policies, technologies, water quality conditions and priorities. The original Basin Plans were adopted in 1975, and have been updated and revised periodically as required, using Basin Plan amendments. Once the Central Valley Water Board has adopted a Basin Plan amendment in noticed public hearings, it must be approved by the State Water Resources Control Board (State Water Board), Office of

MARK BRADFORD, CHAIR | PATRICK PULUPA, ESQ., EXECUTIVE OFFICER

11020 Sun Center Drive #200, Rancho Cordova, CA 95670 | www.waterboards.ca.gov/centralvalley

Airport Plaza Project
San Joaquin County

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19 October 2023

Administrative Law (OAL) and in some cases, the United States Environmental Protection Agency (USEPA). Basin Plan amendments only become effective after they have been approved by the OAL and in some cases, the USEPA. Every three (3) years, a review of the Basin Plan is completed that assesses the appropriateness of existing standards and evaluates and prioritizes Basin Planning issues. For more information on the *Water Quality Control Plan for the Sacramento and San Joaquin River Basins*, please visit our website:

http://www.waterboards.ca.gov/centralvalley/water_issues/basin_plans/

Antidegradation Considerations

All wastewater discharges must comply with the Antidegradation Policy (State Water Board Resolution 68-16) and the Antidegradation Implementation Policy contained in the Basin Plan. The Antidegradation Implementation Policy is available on page 74 at:

https://www.waterboards.ca.gov/centralvalley/water_issues/basin_plans/sacsir_2018_05.pdf

In part it states:

Any discharge of waste to high quality waters must apply best practicable treatment or control not only to prevent a condition of pollution or nuisance from occurring, but also to maintain the highest water quality possible consistent with the maximum benefit to the people of the State.

This information must be presented as an analysis of the impacts and potential impacts of the discharge on water quality, as measured by background concentrations and applicable water quality objectives.

The antidegradation analysis is a mandatory element in the National Pollutant Discharge Elimination System and land discharge Waste Discharge Requirements (WDRs) permitting processes. The environmental review document should evaluate potential impacts to both surface and groundwater quality.

II. Permitting Requirements

Construction Storm Water General Permit

Dischargers whose project disturb one or more acres of soil or where projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Storm Water Discharges Associated with Construction and Land Disturbance Activities (Construction General Permit), Construction General Permit Order No. 2009-0009-DWQ. Construction activity subject to this permit includes clearing, grading, grubbing, disturbances to the ground, such as stockpiling, or excavation, but does not include regular maintenance activities performed to restore the original line, grade, or capacity of the facility. The Construction General Permit requires the development and implementation of a Storm Water Pollution Prevention Plan (SWPPP). For more information on the Construction General Permit, visit the State Water Resources Control Board website at:

http://www.waterboards.ca.gov/water_issues/programs/stormwater/constpermits.shtml

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San Joaquin County

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Clean Water Act Section 404 Permit

If the project will involve the discharge of dredged or fill material in navigable waters or wetlands, a permit pursuant to Section 404 of the Clean Water Act may be needed from the United States Army Corps of Engineers (USACE). If a Section 404 permit is required by the USACE, the Central Valley Water Board will review the permit application to ensure that discharge will not violate water quality standards. If the project requires surface water drainage realignment, the applicant is advised to contact the Department of Fish and Game for information on Streambed Alteration Permit requirements. If you have any questions regarding the Clean Water Act Section 404 permits, please contact the Regulatory Division of the Sacramento District of USACE at (916) 557-5250.

Clean Water Act Section 401 Permit – Water Quality Certification

If an USACE permit (e.g., Non-Reporting Nationwide Permit, Nationwide Permit, Letter of Permission, Individual Permit, Regional General Permit, Programmatic General Permit), or any other federal permit (e.g., Section 10 of the Rivers and Harbors Act or Section 9 from the United States Coast Guard), is required for this project due to the disturbance of waters of the United States (such as streams and wetlands), then a Water Quality Certification must be obtained from the Central Valley Water Board prior to initiation of project activities. There are no waivers for 401 Water Quality Certifications. For more information on the Water Quality Certification, visit the Central Valley Water Board website at:

[https://www.waterboards.ca.gov/centralvalley/water issues/water quality certification/](https://www.waterboards.ca.gov/centralvalley/water%20issues/water%20quality%20certification/)

Waste Discharge Requirements – Discharges to Waters of the State

If USACE determines that only non-jurisdictional waters of the State (i.e., "non-federal" waters of the State) are present in the proposed project area, the proposed project may require a Waste Discharge Requirement (WDR) permit to be issued by Central Valley Water Board. Under the California Porter-Cologne Water Quality Control Act, discharges to all waters of the State, including all wetlands and other waters of the State including, but not limited to, isolated wetlands, are subject to State regulation. For more information on the Waste Discharges to Surface Water NPDES Program and WDR processes, visit the Central Valley Water Board website at: [https://www.waterboards.ca.gov/centralvalley/water issues/waste to surface water/](https://www.waterboards.ca.gov/centralvalley/water%20issues/waste%20to%20surface%20water/)

Projects involving excavation or fill activities impacting less than 0.2 acre or 400 linear feet of non-jurisdictional waters of the state and projects involving dredging activities impacting less than 50 cubic yards of non-jurisdictional waters of the state may be eligible for coverage under the State Water Resources Control Board Water Quality Order No. 2004-0004-DWQ (General Order 2004-0004). For more information on the General Order 2004-0004, visit the State Water Resources Control Board website at:

[https://www.waterboards.ca.gov/board decisions/adopted orders/water quality/2004/wqo/wqo2004-0004.pdf](https://www.waterboards.ca.gov/board%20decisions/adopted%20orders/water%20quality/2004/wqo/wqo2004-0004.pdf)

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Dewatering Permit

If the proposed project includes construction or groundwater dewatering to be discharged to land, the proponent may apply for coverage under State Water Board General Water Quality Order (Low Threat General Order) 2003-0003 or the Central Valley Water Board's Waiver of Report of Waste Discharge and Waste Discharge Requirements (Low Threat Waiver) R5-2018-0085. Small temporary construction dewatering projects are projects that discharge groundwater to land from excavation activities or dewatering of underground utility vaults. Dischargers seeking coverage under the General Order or Waiver must file a Notice of Intent with the Central Valley Water Board prior to beginning discharge.

For more information regarding the Low Threat General Order and the application process, visit the Central Valley Water Board website at:
http://www.waterboards.ca.gov/board_decisions/adopted_orders/water_quality/2003/wqo/wqo2003-0003.pdf

For more information regarding the Low Threat Waiver and the application process, visit the Central Valley Water Board website at:
https://www.waterboards.ca.gov/centralvalley/board_decisions/adopted_orders/waivers/r5-2018-0085.pdf

Limited Threat General NPDES Permit

If the proposed project includes construction dewatering and it is necessary to discharge the groundwater to waters of the United States, the proposed project will require coverage under a National Pollutant Discharge Elimination System (NPDES) permit. Dewatering discharges are typically considered a low or limited threat to water quality and may be covered under the General Order for *Limited Threat Discharges to Surface Water* (Limited Threat General Order). A complete Notice of Intent must be submitted to the Central Valley Water Board to obtain coverage under the Limited Threat General Order. For more information regarding the Limited Threat General Order and the application process, visit the Central Valley Water Board website at:

https://www.waterboards.ca.gov/centralvalley/board_decisions/adopted_orders/general_orders/r5-2016-0076-01.pdf

NPDES Permit

If the proposed project discharges waste that could affect the quality of surface waters of the State, other than into a community sewer system, the proposed project will require coverage under a National Pollutant Discharge Elimination System (NPDES) permit. A complete Report of Waste Discharge must be submitted with the Central Valley Water Board to obtain a NPDES Permit. For more information regarding the NPDES Permit and the application process, visit the Central Valley Water Board website at: <https://www.waterboards.ca.gov/centralvalley/help/permit/>

Airport Plaza Project
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19 October 2023

If you have questions regarding these comments, please contact me at (916) 464-4684 or Peter.Minkel2@waterboards.ca.gov.

Peter Minkel

Peter Minkel
Engineering Geologist

cc: State Clearinghouse unit, Governor's Office of Planning and Research,
Sacramento

Response to Comment Letter 1

**Central Valley Regional Water Quality Control Board
Peter Minkel
October 19, 2023**

The comment letter provided by the Water Board includes information on regulatory and permitting requirements. As discussed in the Initial Study/Mitigated Negative Declaration (IS/MND), project construction would be required to adhere to the National Pollution Discharge Elimination System (NPDES) General Construction Permit (Order No. 2009-0009-DWQ, as amended by Order No. 2010-0014-DWQ, NPDES No. CAS000002) requirements that include preparation and implementation of a Stormwater Pollution Prevention Plan (SWPPP) and identified best management practices (BMPs). The project operations would be completed in accordance with the Central Valley Region-wide Municipal Separate Storm Sewer System (MS4) Permit (State Water Resources Control Board Order R5-2016-0040 NPDES No. CAS0085324, adopted June 23, 2016). Implementation of these requirements would ensure that the project would not conflict with the Central Valley Regional Water Quality Control Plan (Basin Plan).

The project site does not contain any state- or federally-protected waters and would not involve activities requiring a Clean Water Act Section 404 or Section 401 Permit, or a Waste Discharge Requirement permit. The project would not involve dewatering and would not require dewatering permits.



Airport Plaza

2060 West Lathrop Road

Mitigated Negative Declaration &
Site Plan & Design Review and Minor Use Permit

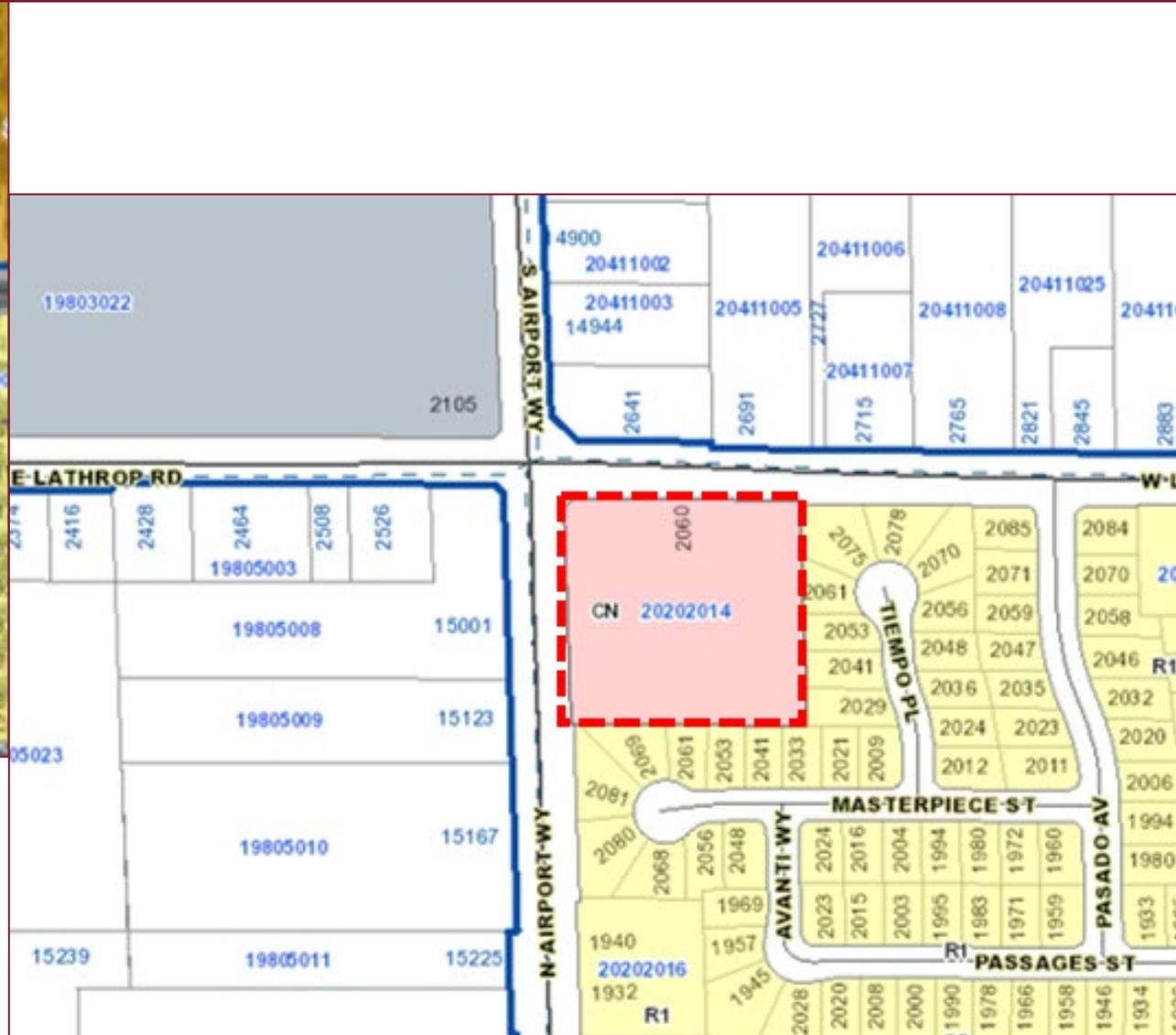
December 6, 2023

City of Manteca Planning Commission Public Hearing

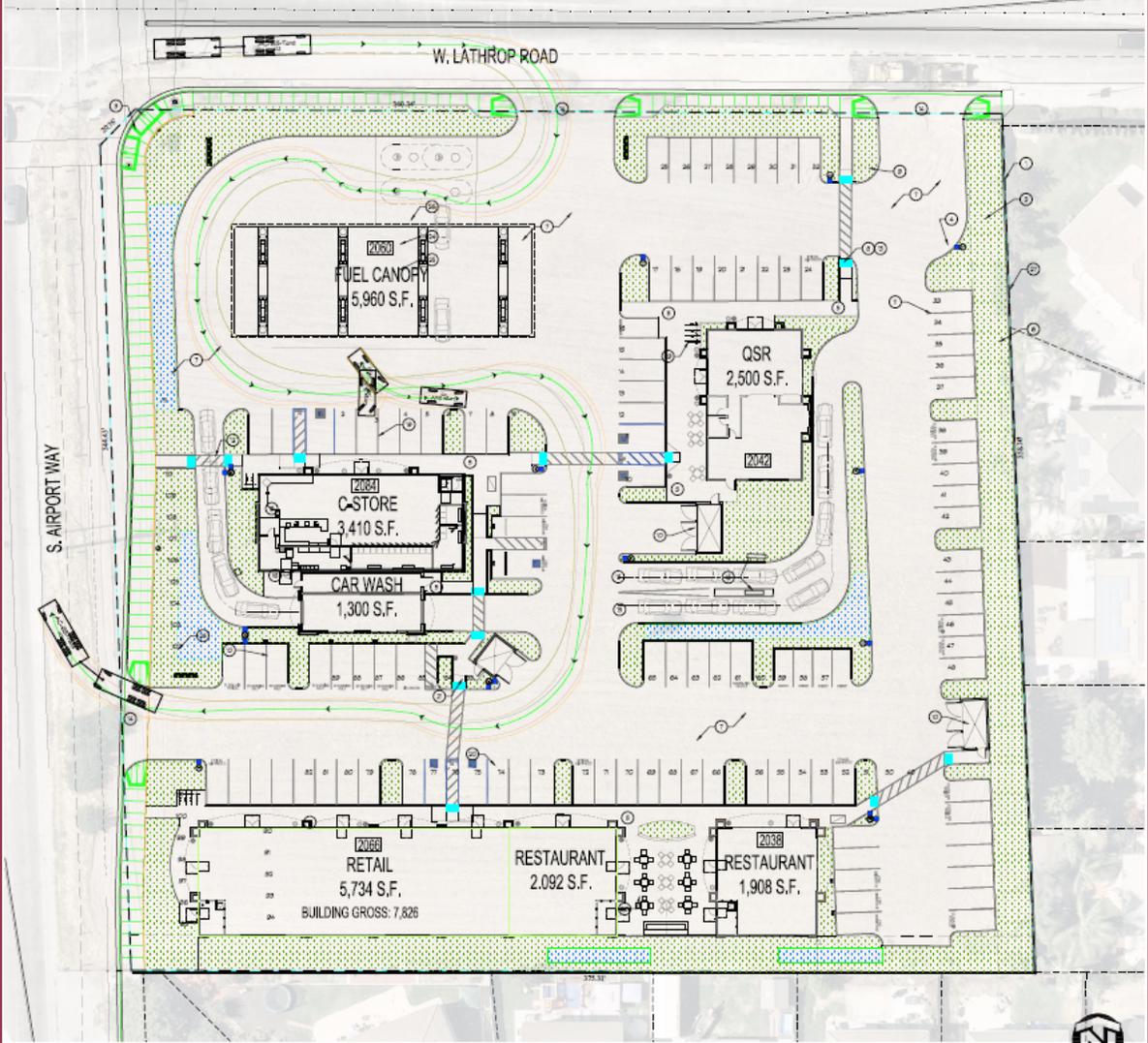
Site Location



ZONING & GENERAL PLAN LAND USE

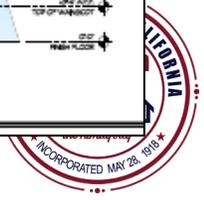
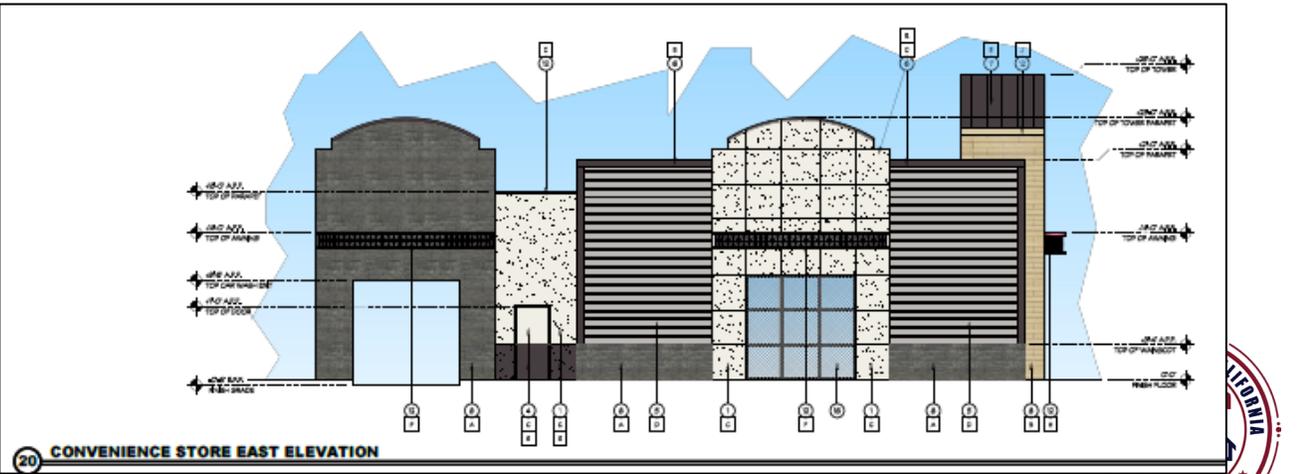
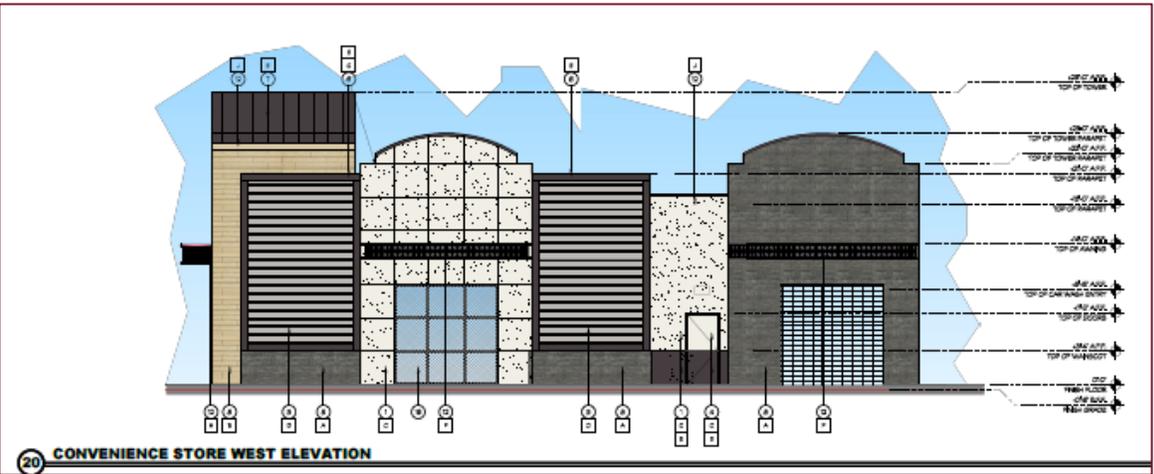
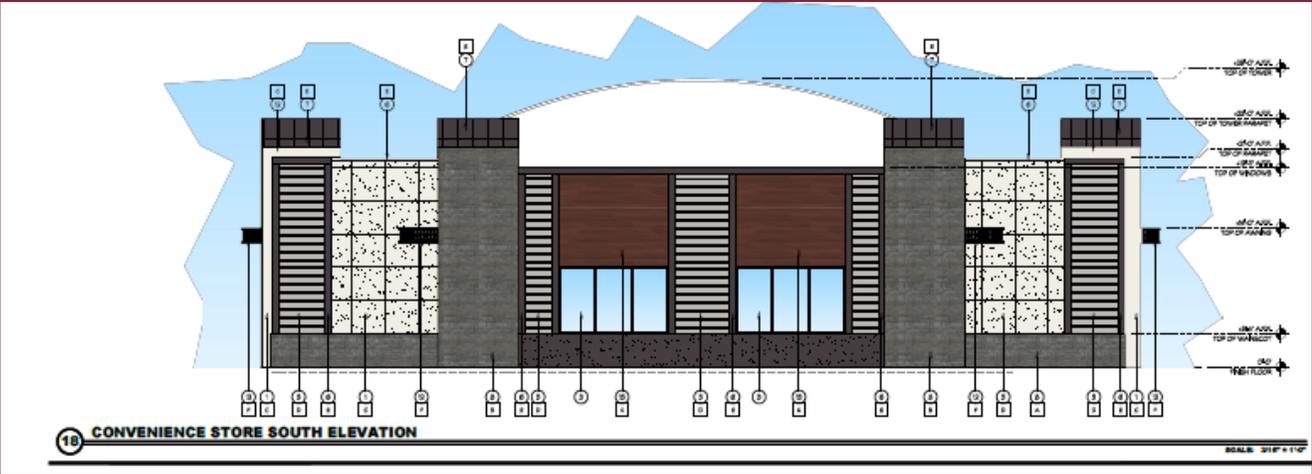


SITE PLAN



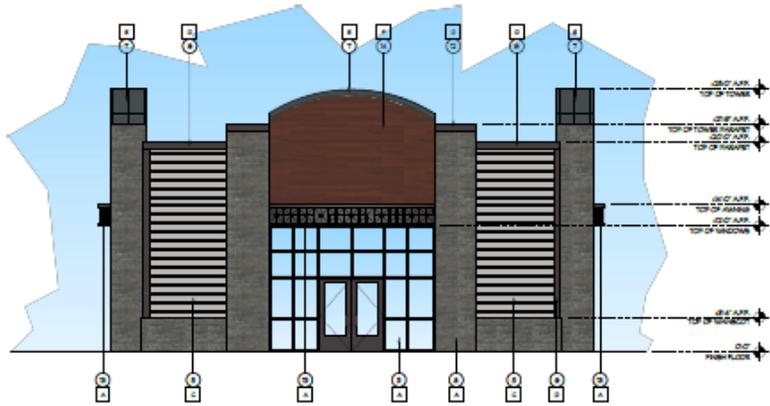
ARCHITECTURAL ELEVATIONS

EXTRA MILE CONVENIENCE STORE & DRIVE-THRU CAR WASH

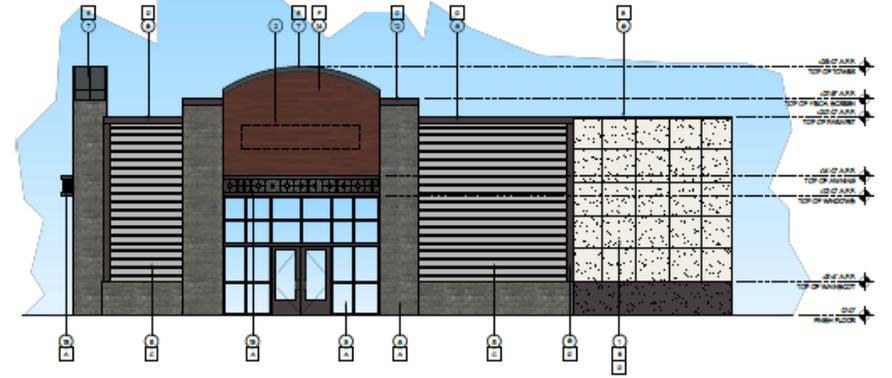


ARCHITECTURAL ELEVATIONS

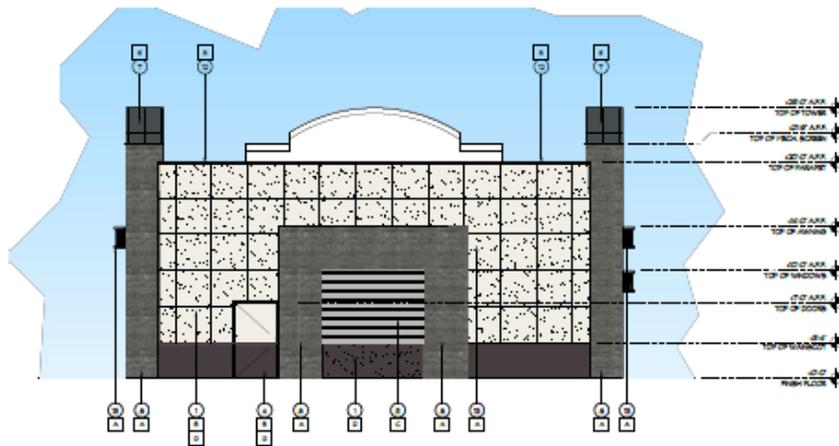
DRIVE-THRU QUICK-SERVICE RESTAURANT



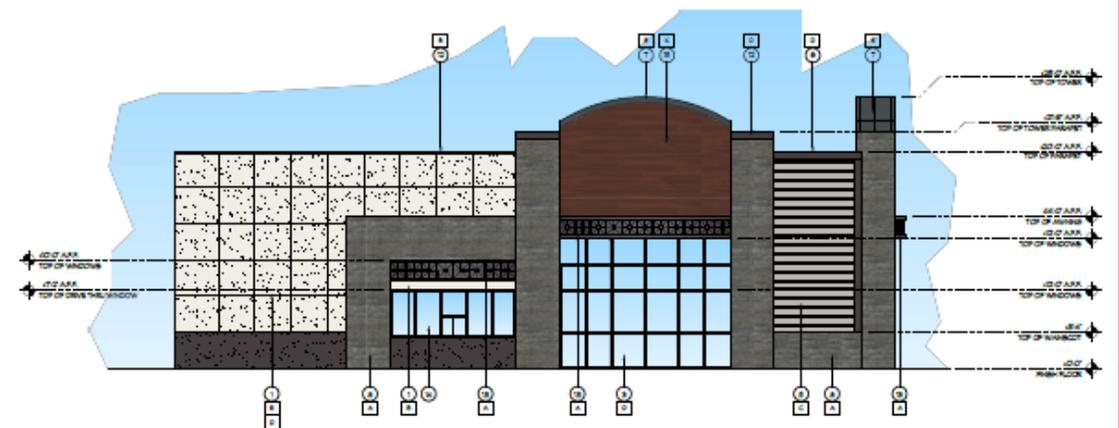
19 QSR BUILDING NORTH ELEVATION



20 QSR BUILDING WEST ELEVATION



18 QSR BUILDING SOUTH ELEVATION



20 QSR BUILDING EAST ELEVATION



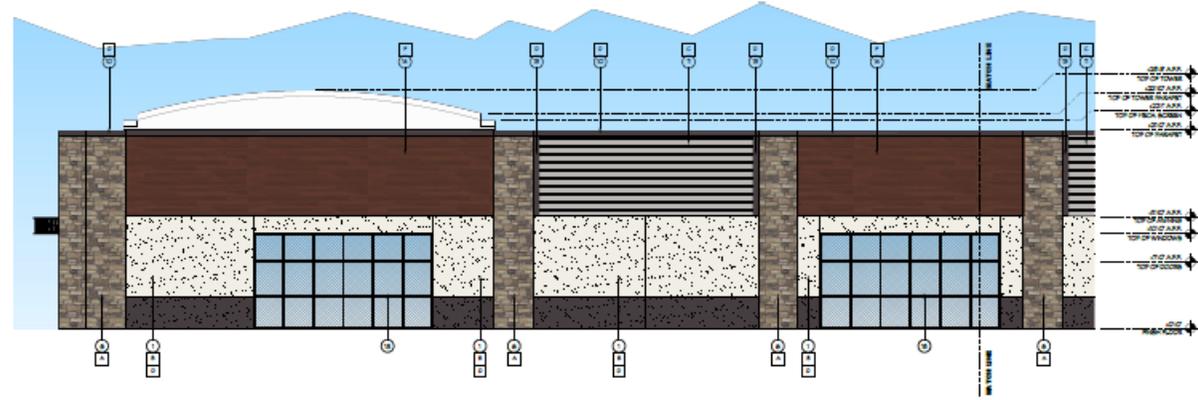
ARCHITECTURAL ELEVATIONS

RETAIL/RESTAURANT BUILDING



18 RETAIL BUILDING NORTH ELEVATION PART 1

SCALE: 3/16" = 1'-0"



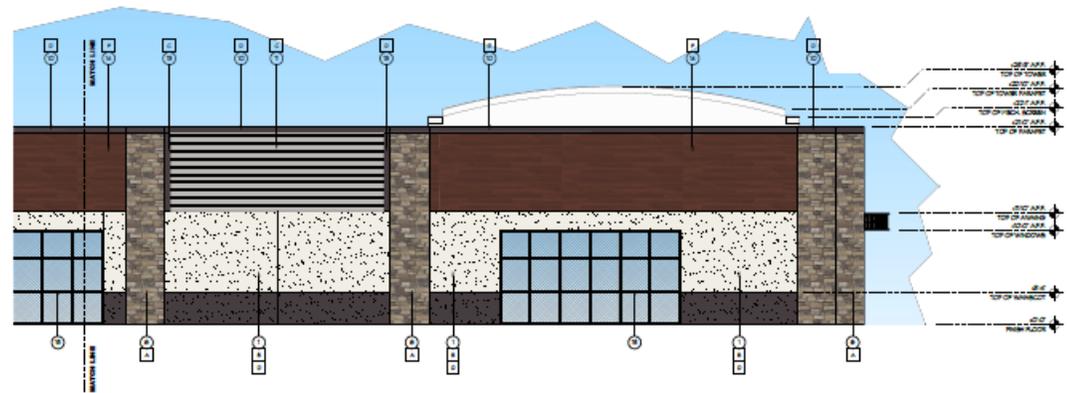
18 RETAIL BUILDING SOUTH ELEVATION PART 01

SCALE: 3/16" = 1'-0"



20 RETAIL BUILDING NORTH ELEVATION PART 2

SCALE: 3/16" = 1'-0"

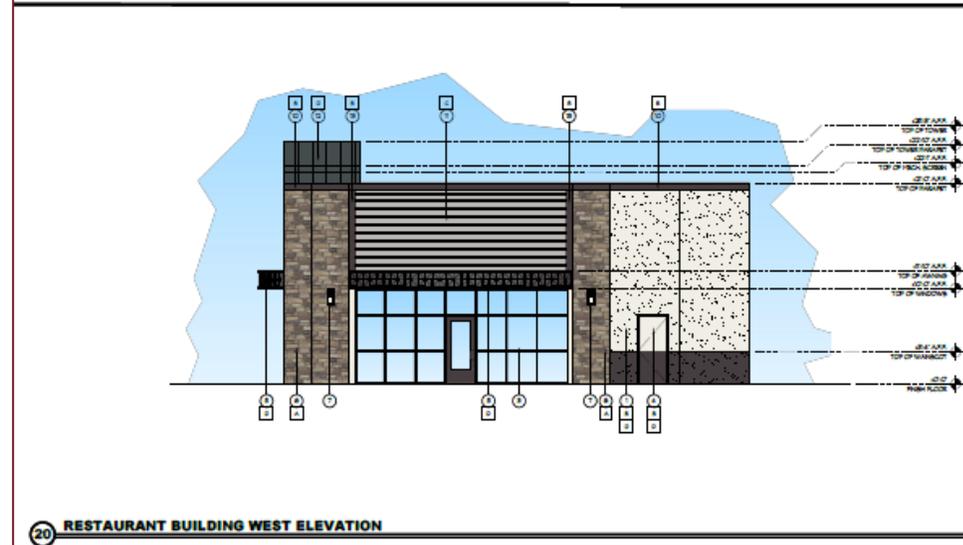
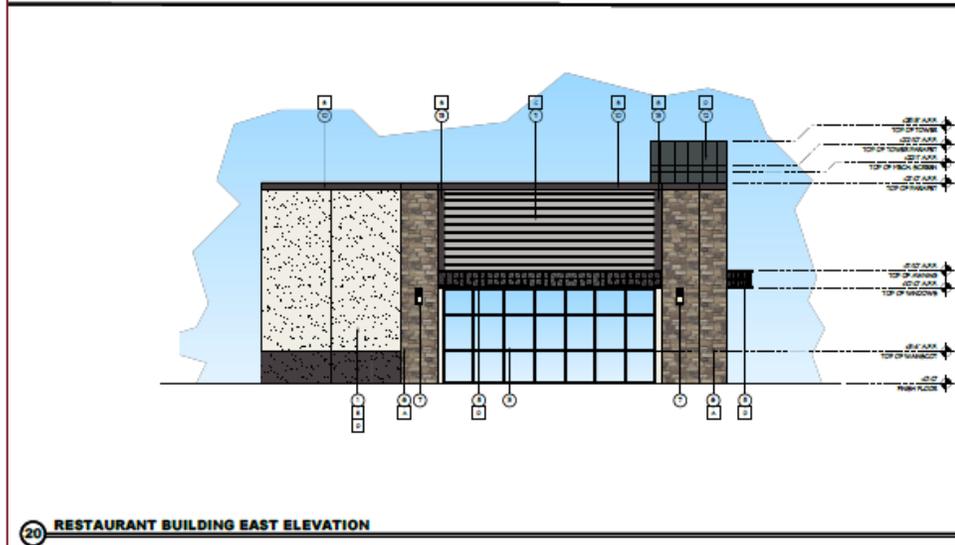
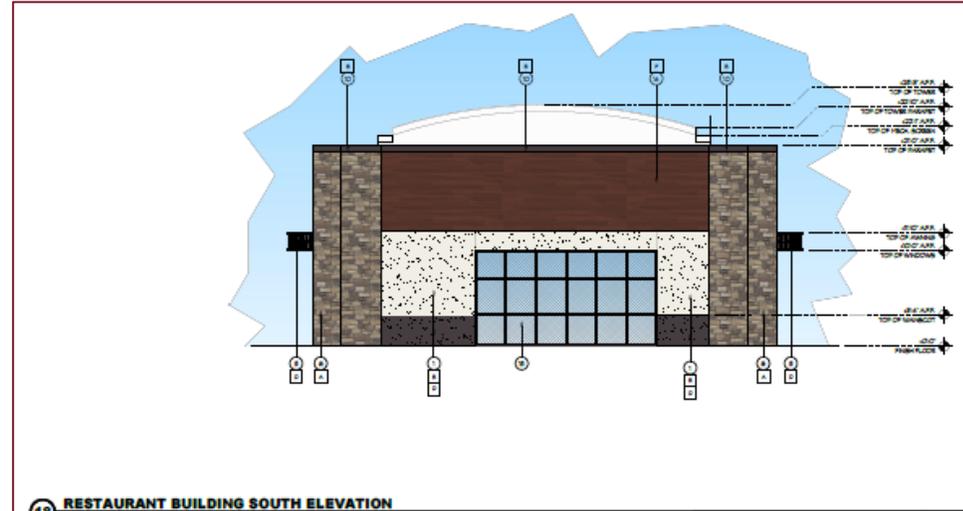
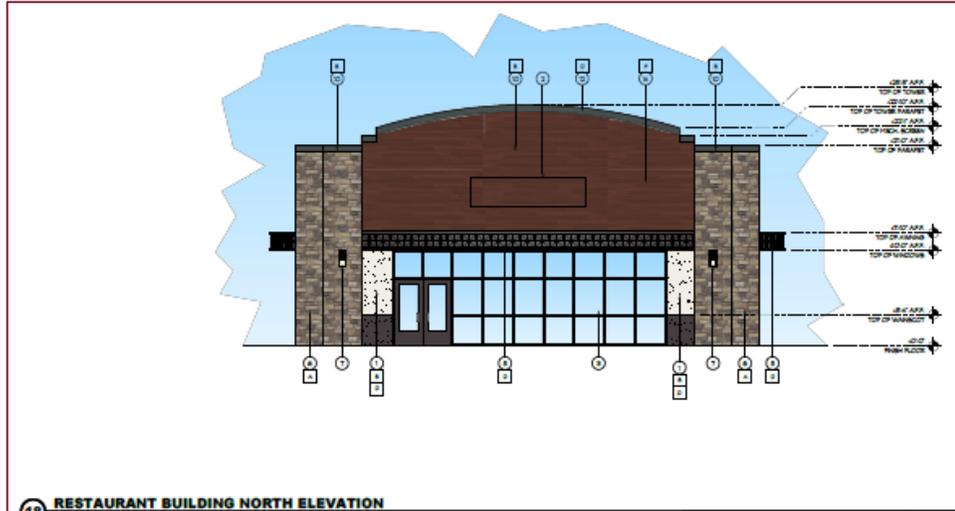


20 RETAIL BUILDING SOUTH ELEVATION PART 02

SCALE: 3/16" = 1'-0"

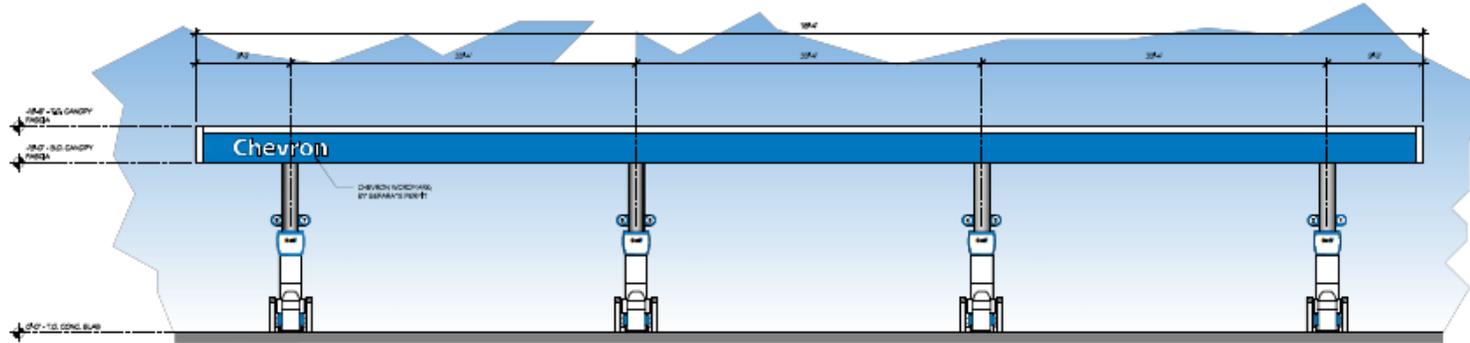
ARCHITECTURAL ELEVATIONS

Restaurant Building



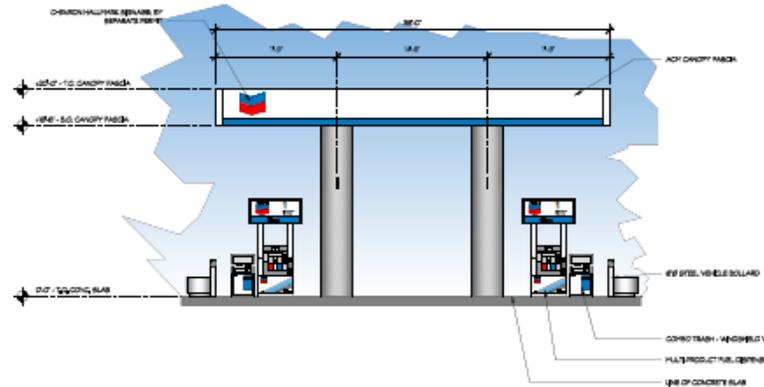
ARCHITECTURAL ELEVATIONS

CHEVRON FUEL CANOPY



18 AUTO FUELING CANOPY - SOUTH ELEVATION
NORTH ELEVATION SIMILAR

19



12 AUTO FUELING CANOPY - WEST ELEVATION
EAST ELEVATION SIMILAR

20



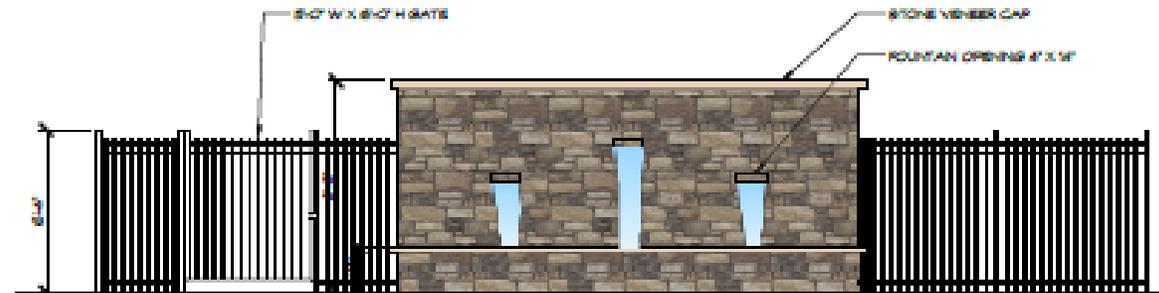
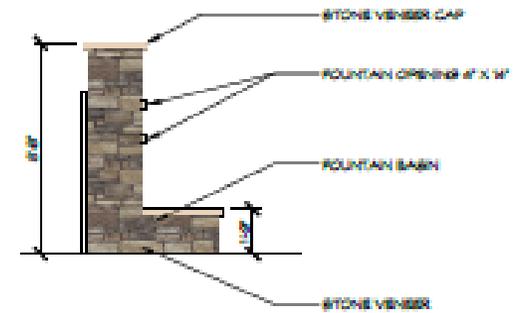
Courtyard



FOUNTAIN OPENING 4" X 1"

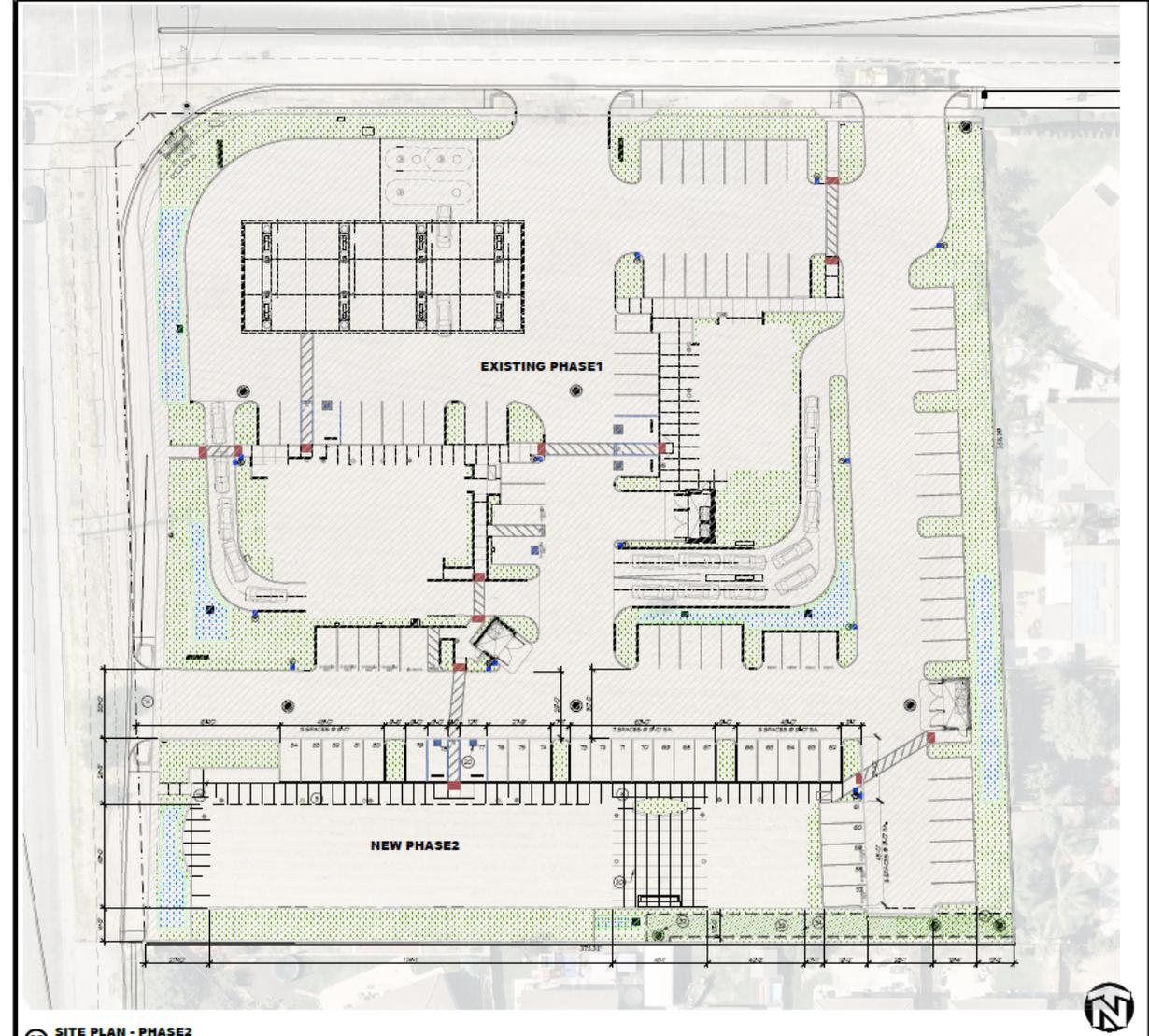
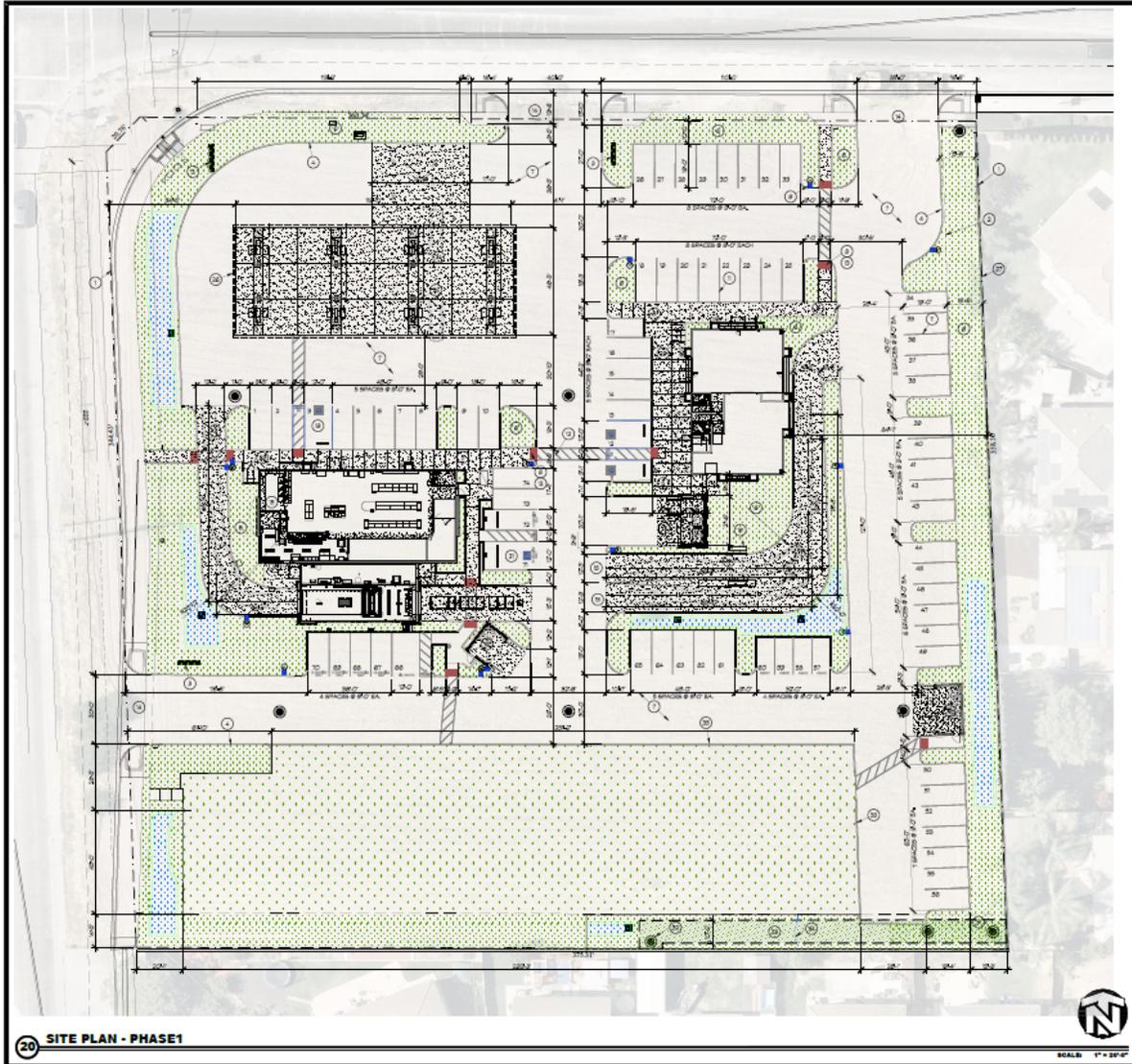
FOUNTAIN BASIN

STONE VENEER CAP



6 FOUNTAIN ELEVATIONS

Phasing Plan



SUMMARY

- Consistent with General Plan and Zoning
- Meets required Site Plan & Design Review, Minor Use Permit, Drive-Thru findings, and Outdoor Seating findings
- Consistent with the Climate Action Plan
- Initial Study & Mitigated Negative Declaration - determined to have less than significant impacts with mitigations



RECOMMENDATION

Adopt the following for Airport Plaza:

- Resolution No. 1640 certifying the MND for the project
- Resolution No. 1641 approving the Site Plan & Design Review Application and Minor Use Permit





Thank you

December 6, 2023

City of Manteca Planning Commission Public Hearing