

BUILDING CODE ANALYSIS	
FOR OCCUPANCY AND BUILDING USE: SEE PROJECT DATA FOR EA. BLDG.	
TYPE OF CONSTRUCTION: SEE PROJECT DATE FOR EA. BLDG.	
NUMBER OF STORIES: 2 ALLOWED / 1 SHOWN	
BUILDING HEIGHT: 29'-0"	
BUILDING HEIGHT ALLOWED (PER 12-13.09): 70 FT	
BUILDING AREA: 5,946 SF	
BUILDING AREA ALLOWED (PER CBC SEC. 507.4 SPRINKLERED) GROUP M TYPE VB: 36,000 SF GROUP B TYPE VB: 36,000 SF	
FIRE RATING: OHR (PER TABLE 601 & 602) FSD ≥ 30	
FIRE SPRINKLERS: C-STORE - YES CAR WASH - NO PER CA FIRE CODE SECTION 903.2.7 FIRE SPRINKLERS REQ. IF BLDG GROSS AREA > 12,000 SF	
FIRE ALARM: THE CONVENIENCE STORE/TENANT REQUIRE A FIRE ALARM OCCUPANT LOAD FOR EGRESS: MERCANTILE C-STORE: 118 OCC, TENANT: 151 OCC SEE SHEET A201A FOR OCCUPANCY ANALYSIS	
HIGH FIRE HAZARD SEVERITY ZONE: NO SEISMIC JOINTS: NO EMERG. RESPONDER RADIO COVERAGE: NO	

GENERAL NOTES
1. Scope: Provide all items, articles, materials and operations including labor, materials, equipment and incidentals necessary for a complete job.
2. Materials and equipment shall be installed, applied, or erected in accordance with manufactures recommendations or requirements, unless the drawings exceed those requirements or recommendations.
3. By executing the contract, the General Contractor affirms he has visited the site and is familiar with the conditions under which the work is to be performed.
4. Responsible supervision shall be at the site during all phases of construction.
5. Contractor to verify all conditions and dimensions at the site. All inconsistencies shall be brought to the attention of the Architect before proceeding with the work.
6. Conform to the current edition of all adopted building codes and ordinances.
7. DO NOT SCALE DRAWINGS, VERIFY AT SITE.
8. Details not specifically shown shall be similar to adjacent details.
9. The Contractor shall coordinate the work of all trades and verify all dimensions.
10. No structural work shall be cut, notched or otherwise penetrated, unless approved in writing by the Architect in advance, unless detailed on the drawings.
11. The Contractor shall be responsible for the safety of the building and the occupants during construction, and shall provide adequate protection. Shoring and bridging shall be adequate for the construction. The Contractor shall comply with applicable safety requirements and codes.
12. Contractor shall provide debris box and keep premises clean daily.
13. Provide construction dust barriers as required by governing authority.
14. Provide adequate blocking for all fixtures.
15. Prior to excavation, determine and verify location of utility services in all areas to be excavated.
16. Contractor shall comply with all pertinent laws, codes, regulations, C.B.C., governing agencies and manufactures specifications, unless greater requirements are indicated, and/or are necessary for the safety of the project.
17. The owner shall pay for all standard permits required for the construction documents.
18. The General Contractor shall provide owner with a construction schedule prior to starting the work, and shall provide a qualified superintendent throughout the work.
19. Unless stated otherwise in the scope of work summary, the General Contractor shall install all other procedures, testing and materials.
20. Local jurisdiction business licenses are/may be required for all Contractors and Subcontractors providing work on the building or site.
21. The General Contractor shall provide barricades and safety signs per O.S.H.A. requirements, and provide testing of the petroleum system and controls (including a systems Petrolite test), and of all new and modified air, water and electrical systems.
22. Construction activities shall be limited to the following hours of operations (failure to comply with following hours of operations would result in withholding of inspection):  6:00 a.m. to 7:00 p.m. Monday thru Friday 9:00 a.m. to 6:00 p.m. Saturday No construction on Sunday
23. Mitigate impacts that could be triggered from construction. The Contractor will shield unwanted glare from machines or temporary use of equipment.
24. The prime Contractor awarded the construction work will be required to have State Hazardous Substance Removal Certification in addition to their State Contractor's license.
25. Any excavated material that is of a suspicious nature will be stockpiled on-site; samples will be taken by the consultant and tested for the presence of contaminants. Any excavated material that does not meet the requirements of the responsible regulatory agencies will be hauled off-site to an approved landfill. Any material that meets the requirements of the regulatory agencies will be placed back in the work area and/or disposed off-site to a normal disposal/recycling facility.
26. Any stockpiled material will be placed on plastic sheeting and covered with plastic sheeting to prevent spreading and mixing of the material.
27. Utility companies responsible for the relocation of facilities as part of the construction work in accordance with franchise agreements with the local jurisdiction will be required to provide their own monitoring program for the presence of hazardous materials during construction in accordance with all regulatory agencies.
28. If necessary, a technical report will be prepared by the local jurisdiction approved environmental consultant documenting conditions witnessed during the excavation work and any other tasks performed.
29. Particularly loud noises shall not occur before 8:00 a.m., on weekdays and not at all on weekends. The Assistant local jurisdiction Manager upon a determination that unusually loud construction activities are significantly impacting the neighbors may modify the hours of construction. Failure to comply with the above-described hours of operation may result in withholding inspections and possible construction prohibitions, subject to the review and approval of the Engineer.
30. Sidewalks, parking lots and other paved areas must be swept regularly to prevent the accumulation of litter and debris. If pressure washed, debris must be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged to the storm drain.
31. Landscaping shall be properly maintained and shall be designed with efficient irrigation practices to reduce runoff, promote surface filtration and minimize the use of fertilizers and pesticides, which can contribute to runoff pollution. Dead and dying plants shall be replaced.
32. All new building, canopy and site signage requires separate sign permits. Contact the planning department for submittal requirements.
33. Provide a continuous 6" high, 6" wide concrete curbing shall be provided around all planter areas within or adjacent to the parking lot and driveways.

CONSULTANTS
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<b>STRUCTURAL:</b>  SKW & Associates 2237 Scenic Drive Modesto, CA 95355 P: (209) 523-8323 Contact: Allan Stevenson
<b>MECHANICAL, PLUMBING, &amp; ELECTRICAL:</b>  SACRAMENTO ENGINEERING CONSULTANTS 1055 Old Placerville Road Sacramento, CA 95827 P: (916) 368-4468 Contact: Elias Hermosillo: Plumbing/Mechanical Chris Gilland: Electrical
<b>LANDSCAPING:</b>  Perry Design Landscape Architecture Irrigation Design 2421 Cascade Trail Cool, CA 95614 P: (530) 823-2621 Contact: Carol Brown

SCOPE OF WORK
THE CONSTRUCTION OF A CONVENIENCE STORE AND QUICK SERVE RESTAURANT (QSR) (ONE STRUCTURE AND A FUEL CANOPY WITH 10MPOB. SITE WORK FOR THE C-STORE AND RETAIL, FUEL CANOPY AND TRASH ENCLOSURE SHALL BE ON THIS PERMIT. THIS SITE SHARES A LOCATION FOR AN EXPRESS CAR WASH WHICH IS UNDER SEPARATED PERMIT.
THIS PROJECT SHALL COMPLY WITH TITLE 24, PARTS 1-12 INCLUDING THE 2022 EDITION CALIFORNIA CODES.  2022 EDITION OF THE CALIFORNIA BUILDING CODE, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA FIRE CODE, 2022 CALIFORNIA ELECTRICAL CODE, 2022 CALIFORNIA ENERGY CODE, 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2022 CALIFORNIA REFERENCED STANDARD CODE
<b>DEFERRED SUBMITTALS</b>
<b>SEPARATE PERMITS</b>

CODES
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PROJECT DATA
ASSESSOR'S PARCEL NUMBER(S): 241-310-86
ZONING: GC- GENERAL COMMERCIAL
PROJECT SITE AREA (GROSS): (1.75 ACRES) 76,230 S.F.
LANDSCAPING AREA (GROSS): 21,729 S.F.
LANDSCAPING PERCENTAGE: 29%
BUILDING DATA:
STRUCTURE C.B.C. OCCUP. TYPE OF CONST. AREA
C-STORE M V B 3,514 S.F.
QSR M V B 2,432 S.F.
FUEL CANOPY M II B 7,268 S.F.
PARKING DATA: PER SEC. 17.52.050-1
BUILDING AREA PARKING RATIO/REQ. REQ'D.
C-STORE/FUELING: 3,514 SF (4:1,000 SF) = 14
QSR: 2,432 SF (1:100 SF) = 24
CAR WASH (3 SPACES + 2/BAY) = 5
TOTAL REQ'D PARKING = 43
PARKING PROVIDED
REGULAR SPACES = 30
COMPACT SPACES = 2
VAN ACCESSIBLE = 1
REGULAR ADA SPACES = 1
ELECTRIC VEHICLE CHARGING = 3
VACUUM = 1
AIR / WATER = 1
TOTAL = 37
OCCUPANT LOAD PER TABLE 1004.5 2022 CBC
MERCHANTILE 2106/60= 35.1 OR 36
ACCESSORY 384/200= 1.94 OR 2 (FREEZER, COOLER, CAVE )
KITCHEN/PREP 360/200= 1.8 OR 2
TOTAL OCCUPANT LOAD 40
PLUMBING FIXTURE COUNT
TOTAL OCCUPANT LOAD 40 (20 MALES, 20 FEMALES)
PER 2022 CBC TABLE 422.1 AND CPC 422.1
ONE TOILET, ONE LAVATORY PER 1-100 MALES
ONE TOILET, ONE LAVATORY PER 1-100 FEMALES


COVER SHEET
A001 PROJECT COVER SHEET
A002 CAL-GREEN MANDATORY MEASURES, SHEET 1
A003 CAL-GREEN MANDATORY MEASURES, SHEET 2
A004 CAL-GREEN MANDATORY MEASURES, SHEET 3
A005 CONDITION OF APPROVAL
A006 CONDITION OF APPROVAL
<b>CIVIL</b>
C1 TITLE SHEET
C2 TOPOGRAPHIC SURVEY & DEMOLITION PLAN
C3 GRADING AND DRAINAGE SHEET
C4 UTILITY PLAN
C5 EROSION AND SEDIMENT CONTROL PLAN
C6 DETAILS SHEET
C7 DETAILS SHEET
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A101A DIMENSION SITE PLAN
A102 SITE DETAILS
A103 TRASH ENCLOSURE PLAN, ELEVATION, DETAILS
A104 SITE DETAILS
A105 SITE LIGHTING DETAILS
A106 CORNER SIGN
A107 CORNER SIGN DETAILS
A201 C-STORE & QSR FLOOR PLAN
A201A C-STORE & QSR EXITING PLAN
A202 DOOR, AND INTERIOR FINISH SCHEDULES
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A204 C-STORE EQUIPMENT PLANS
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A401 C-STORE & QSR BUILDING SECTIONS
A402 C-STORE & QSR BUILDING SECTIONS
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A404 C-STORE & QSR WALL SECTIONS
A405 C-STORE & QSR WALL SECTIONS
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A601 C-STORE & QSR REFLECTED CEILING PLAN
A602 C-STORE REFLECTED CEILING DETAILS
A801 C-STORE ARCHITECTURAL DETAILS
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S1.4 STANDARD NOTES : FASTENING SCHEDULE
S2.0 FOUNDATION PLAN
S3.0 ROOF FRAMING PLAN
S4.0 FOUNDATION DETAILS
S5.0 BUILDING SECTIONS
S5.1 BUILDING SECTIONS
S6.0 ROOF DETAILS
S6.1 ROOF DETAILS
S6.2 ROOF DETAILS



VICINITY MAP

MANTECA, CALIFORNIA

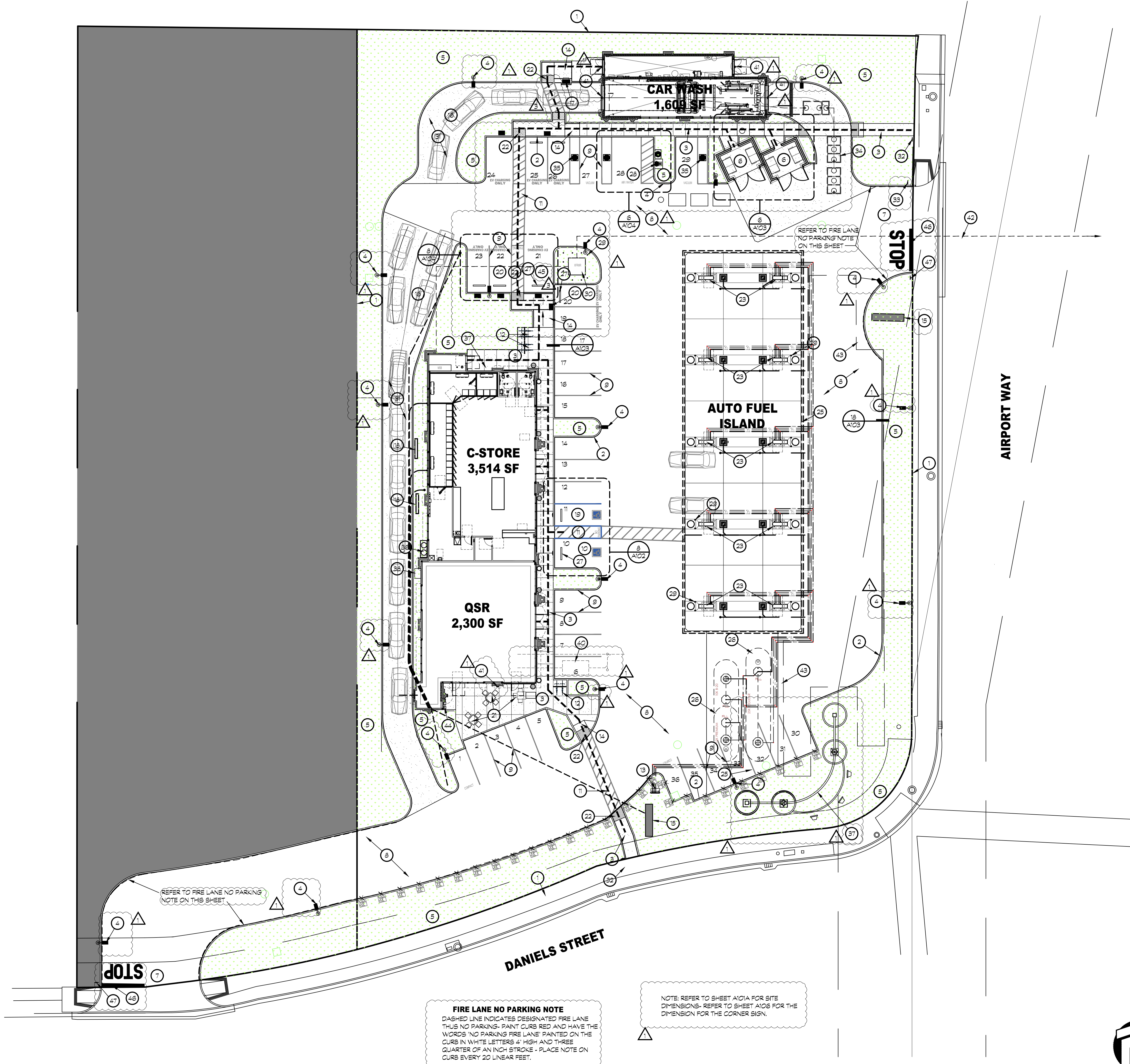
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M2.0 MECHANICAL FLOOR PLAN
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<b>FIRE SPRINKLERS</b>
FP.1 HYDRANT LAYOUT
FP.2 SITE PLAN & DETAILS

COVER SHEET
<b>REVISIONS:</b>
△ BUILDING DEPT JANUARY 21, 2024
△ HAZMAT JULY 24, 2024
△ BUILDING DEPT DECEMBER 16, 2024
△ LANDLORD/TENANT FEBRUARY 3, 2025
<b>PROFESSIONAL SEALS:</b>

<b>PROJECT NUMBER:</b> 20-036 <b>PROJECT DATE:</b> 08-12-2023
<b>SHEET CONTENTS:</b>
<b>COVER SHEET</b>
<b>SHEET NUMBER:</b> A001


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CONSULTANTS:
CONTRACTOR:
PROJECT:
<b>DANIELS CENTER C STORE AND FUEL CANOPY</b>
2125 DANIELS ST. MANTECA, CA 95336
DEVELOPER:
<b>TWO GUYS FOOD AND FUEL</b>
<b>147 LATHROP RD MANTECA, CA 95330</b>
<b>REVISIONS:</b>
△ BUILDING DEPT JANUARY 21, 2024
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SITE PLAN KEYNOTES

- 1 PROPERTY LINE
- 2 CONCRETE CURB- 6" HIGH.
- 3 CONCRETE WALK, SEE DETAIL 19/A103
- 4 SITE YARD LIGHT, 20' HIGH MAX FROM GRADE, WITH CONCRETE BASE SHALL HAVE A DRY BACK FINISH. TYPICAL. SEE DETAIL 10/A102 & 8, 14, & 20/A105
- 5 LANDSCAPING, SEE LANDSCAPING DRAWINGS.
- 6 TRASH ENCLOSURE AND CONC. APPROACH SLAB.
- 7 NEW DRIVEWAY - SEE CIVIL DWGS
- 8 A/C PAVING
- 9 4" WIDE PAINT STRIPING, WHITE, UNLESS NOTED OTHERWISE.
- 10 ACCESSIBLE VAN PARKING STALL, SEE DETAIL AS INDICATED
- 11 4" WIDE PAINT STRIPING, WHITE, AT 3'-0" O.C. TYP.
- 12 CLASS II BIKE RACK, INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE DETAIL 10/A104
- 13 FUEL VENT STACK WITH CARBON CANISTER
- 14 ACCESSIBLE CURB RAMP
- 15 FEDERALLY REQUIRED MONUMENT SIGN, BY OWNER
- 16 VEHICLE STACKING
- 17 PAY STATION
- 18 DRIVE THROUGH MENU SIGNS
- 19 ACCESSIBLE PARKING STALL
- 20 ACCESSIBLE ELECTRIC VEHICLE CHARGING STATION
- 21 EXTERIOR FURNITURE BY OWNER
- 22 DETECTABLE WARNING SURFACE, SEE DETAIL 12 & 16/A102
- 23 MULTI-PRODUCT FUEL DISPENSER
- 24 BIOSWALE AREA
- 25 DASHED LINE OF CANOPY ABOVE
- 26 UNDERGROUND FUEL STORAGE TANKS
- 27 CONCRETE WHEEL STOP, SEE DETAIL 9/A104
- 28 AIR & WATER SERVICE (20/A102)
- 29 TS 6" Ø BOLLARD, SEE DETAIL 2/A102
- 30 ELECTRICAL TRANSFORMER
- 31 CONCRETE PAVING.
- 32 PATH OF ACCESSIBLE TRAVEL SIGNAGE, SEE DETAIL 14/A102
- 33 ACCESSIBILITY SITE SIGNAGE, SEE DETAIL 5 ON SHEET A102
- 34 CAR WASH CLARIFIER TANKS - 1,500 GALLONS.
- 35 CAR WASH VACUUM STATION, SEE DETAIL 17/A102
- 36 32'X82' METAL CABINET W/ CO2 TANK W/ ACCESS DOOR - PROVIDED BY TENANT. PROVIDE 4" THICK X 36'X84" CONCRETE SLAB UNDER CABINET
- 37 GAS METER LOCATION
- 38 MSB
- 39 CORNER SIGN - WELCOME TO MANTECA-REFER TO SHEET A106 FOR DETAILS
- 40 GREASE INTERCEPTOR- 1500 GAL. JENSEN PRECAST MODEL # JP-1500-BE-G
- 41 WALL MOUNTED SCONCE FOR AREA LIGHTING - REFER TO PHOTOMETRICS SHEET PT1
- 42 SEE ELECTRICAL AND CIVIL DWGS CONNECT TO CROSS STREET
- 43 UNDERGROUND WATER STORAGE TANKS, SEE CIVIL DWGS
- 44 2 - 3" GAS METER FOR QSR
- 45 VAN ACCESSIBLE ELECTRIC VEHICLE CHARGING STATION
- 46 PAINTED STOP LINE AND PAINTED "STOP" MARKING ON THE PAVEMENT
- 47 REFER TO DETAIL 11/A104
- 48 R-1 STOP SIGN MOUNTED ON 80" LONG GALVANIZED STEEL POLE EMBEDDED IN CONCRETE 18" BELOW GRADE.

SITE LEGEND

- AC PAVING/ PUBLIC RIGHT AWAY
- NEW CONCRETE-IMPERVIOUS. SEE CIVIL DRAWINGS
- NEW LANDSCAPE. SEE LANDSCAPE DRAWINGS
- 6" CURB CUT FOR DRAIN, SEE CIVIL DWGS
- PATH OF TRAVEL

ALL WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL (1) ARE CONTINUOUSLY ACCESSIBLE, (2) HAVE A MAXIMUM 1/2" CHANGE IN ELEVATION, (3) ARE MINIMUM 48" IN WIDTH, (4) HAVE A MAXIMUM 2% CROSS SLOPE, AND (5) WHERE NECESSARY TO CHANGE ELEVATION AT A CROSSING EXCEEDING 5% (I.E., 1:20) SHALL HAVE RAMPS COMPLYING WITH 2022 CBC, SECTION 11B-705.6 AS APPROPRIATE. WHERE A WALK CROSSES OR ADJOINS A VEHICULAR WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING WHICH IS 36" WIDE, COMPLYING 2022 CBC, SECTION 11B-705.1.2.5.



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CONSULTANTS:

CONTRACTOR:

PROJECT:

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2125 DANIELS ST.  
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DEVELOPER:

**TWO GUYS FOOD  
AND FUEL**  
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MANTECA, CA 95330**

REVISIONS:

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△ HAZMAT	JULY 24, 2024
△ BUILDING DEPT	DECEMBER 16, 2024
△ LANDLORD/TENANT	FEBRUARY 3, 2025

PROFESSIONAL SEALS:



PROJECT NUMBER: 20-036 PROJECT DATE: 08-12-2023

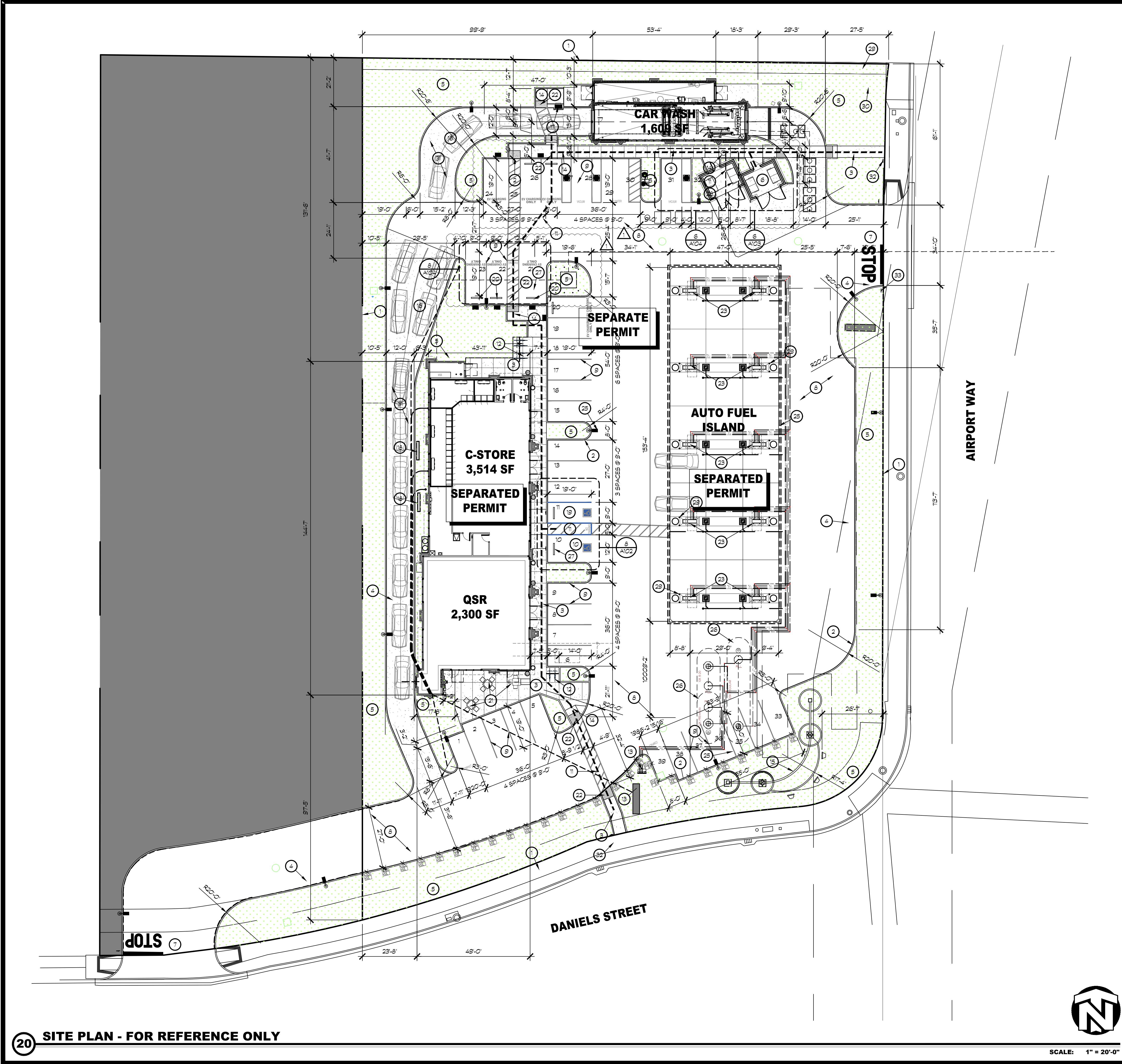
SHEET CONTENTS:

SITE PLAN

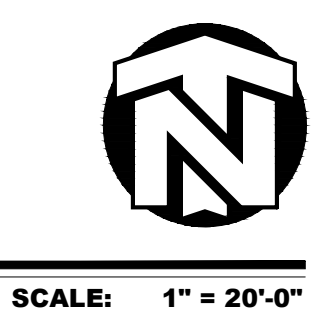
SHEET NUMBER:

A101





20 SITE PLAN - FOR REFERENCE ONLY



SCALE: 1" = 20'-0"

SITE PLAN KEYNOTES

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- 20 ACCESSIBLE ELECTRIC VEHICLE CHARGING STATION
- 21 EXTERIOR FURNITURE BY OWNER
- 22 DETECTABLE WARNING SURFACE, SEE DETAIL 12 & 16/A102
- 23 MULTI-PRODUCT FUEL DISPENSER
- 24 BIOSWALE AREA
- 25 DASHED LINE OF CANOPY ABOVE
- 26 UNDERGROUND FUEL STORAGE TANKS
- 27 CONCRETE WHEEL STOP. SEE DETAIL 9/A104
- 28 AIR & WATER SERVICE 20/A102
- 29 TS 6" Ø BOLLARD, SEE DETAIL 2/A102
- 30 ELECTRICAL TRANSFORMER
- 31 CONCRETE PAVING.
- 32 PATH OF ACCESSIBLE TRAVEL SIGNAGE, SEE DETAIL 14/A102
- 33 ACCESSIBILITY SITE SIGNAGE, SEE DETAIL 5 ON SHEET A102

SITE LEGEND

- AC PAVING/ PUBLIC RIGHT AWAY
- NEW CONCRETE-IMPERVIOUS. SEE CIVIL DRAWINGS
- NEW LANDSCAPE. SEE LANDSCAPE DRAWINGS
- BIO-RETENTION POND . SEE CIVIL AND LANDSCAPE DRAWINGS
- PATH OF TRAVEL

ALL WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL (1) ARE CONTINUOUSLY ACCESSIBLE, (2) HAVE A MAXIMUM 1/2" CHANGE IN ELEVATION, (3) ARE MINIMUM 48" IN WIDTH, (4) HAVE A MAXIMUM 2% CROSS SLOPE, AND (5) WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5% (I.E., 120) SHALL HAVE RAMPS COMPLYING WITH 2022 CBC, SECTION 11B-405 OR 11B-406 AS APPROPRIATE. WHERE A WALK CROSSES OR ADJOINS A VEHICULAR WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING WHICH IS 36" WIDE, COMPLYING 2022 CBC, SECTION 11B-705.1.2.5.

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DEVELOPER:

**TWO GUYS FOOD  
AND FUEL**

**147 LATHROP RD  
MANTECA, CA 95330**

REVISIONS:

△ BUILDING DEPT JANUARY 21, 2024



PROJECT NUMBER: 20-036 PROJECT DATE: 09-20-2023

SHEET CONTENTS:

**SITE PLAN - FOR  
REFERENCE ONLY**

SHEET NUMBER:

**A101**





CONSULTANTE

CONTRACTOR

PROJECT

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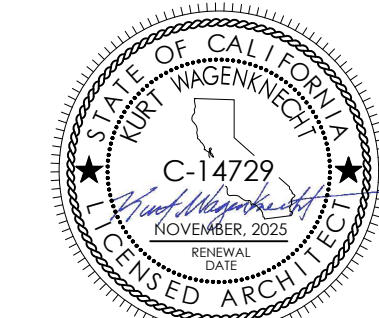
## TWO GUYS FOOD AND FUEL

**147 LATHROP RD  
MANTECA, CA 95330**

REVISIONS:

1 BUILDING DEPT JANUARY 21, 2024

PROFESSIONAL SEALS



PROJECT NUMBER: **20-036** PROJECT DATE: **09-20-2021**

SHEET CONTENTS

**TRASH ENCLOSURE  
DETAILS - FOR  
REFERENCE ONLY**

SHEET NUMBER

# A103



**SCALE: 1 1/2"=1'-0"**



**SCALE: 1 1/2"=1'-0"**



**SCALE: 1 1/2"=1'-0"**



**SCALE: 3"=1'-0"**



**SCALE:** 1/4"=1'-0"



**SCALE:** 1" = 1'-0"



**SCALE: 3/4" = 1'-0"**



**SCALE:** 3"=1'-0"

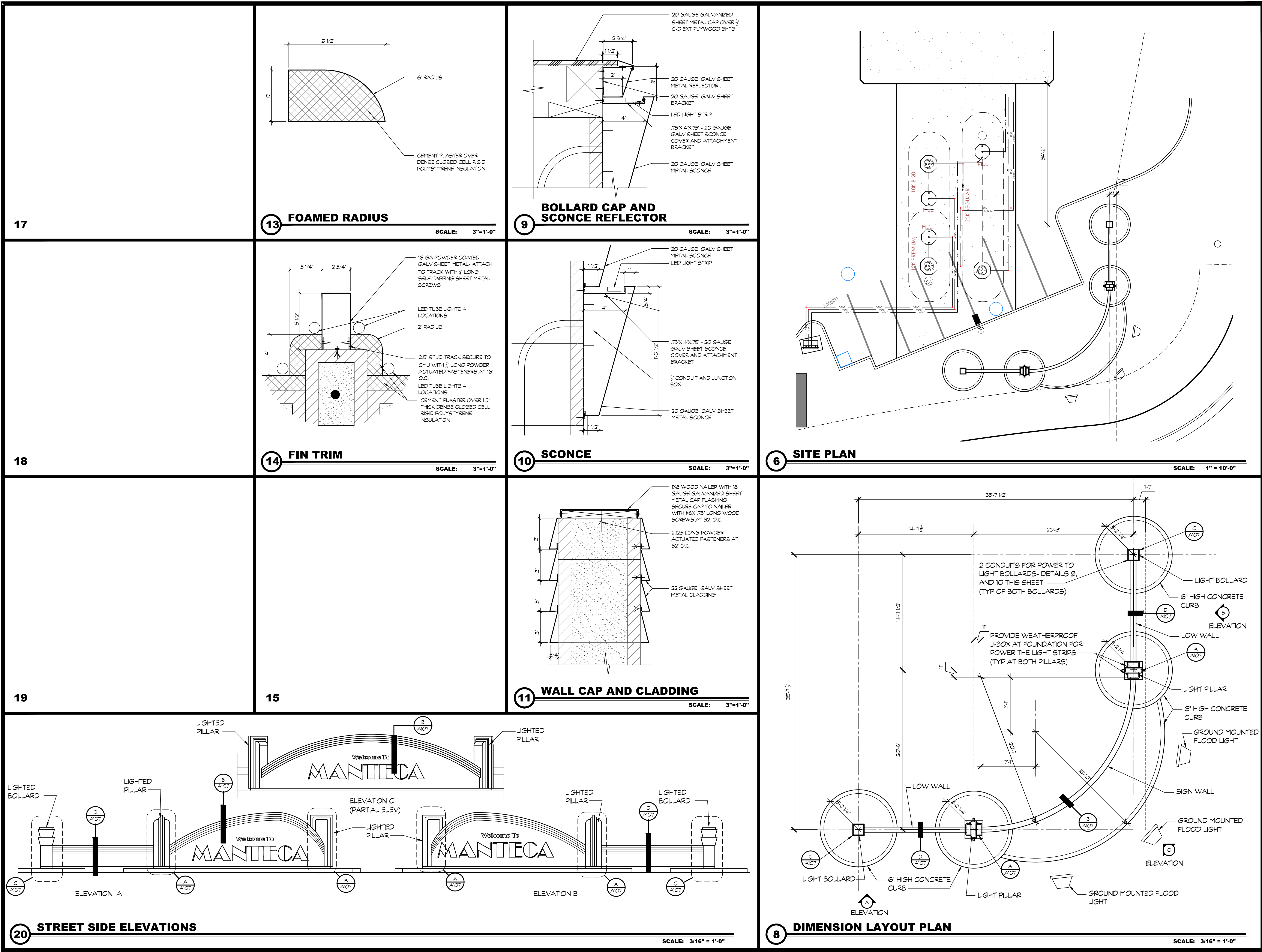


**SCALE:** 3/4" = 1'-0"



8'x8'x16" CMU WALL WITH  
STUCCO STONE VENEER, SEE  
A301 AND A302 FOR EXTERIOR  
FINISHES.





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REVISIONS:  
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△ HAZMAT JULY 24, 2024

PROFESSIONAL SEALS:



PROJECT NUMBER: **20-036** PROJECT DATE: **08-12-2023**

SHEET CONTENTS:

**CORNER SIGN  
SITE PLAN,  
DIMENSION PLAN,  
DETAILS,  
ELEVATIONS**

SHEET NUMBER:

**A106**





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DEVELOPER:

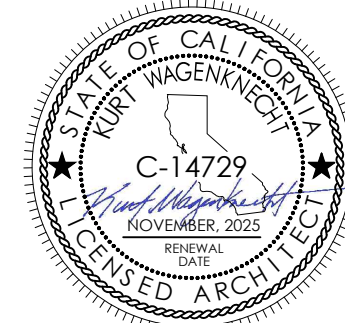
**TWO GUYS FOOD  
AND FUEL**

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REVISIONS:

△ BUILDING DEPT	JANUARY 21, 2024
△ HAZMAT	JULY 24, 2024

PROFESSIONAL SEALS:



PROJECT NUMBER:	PROJECT DATE:
<b>20-036</b>	<b>08-12-2023</b>

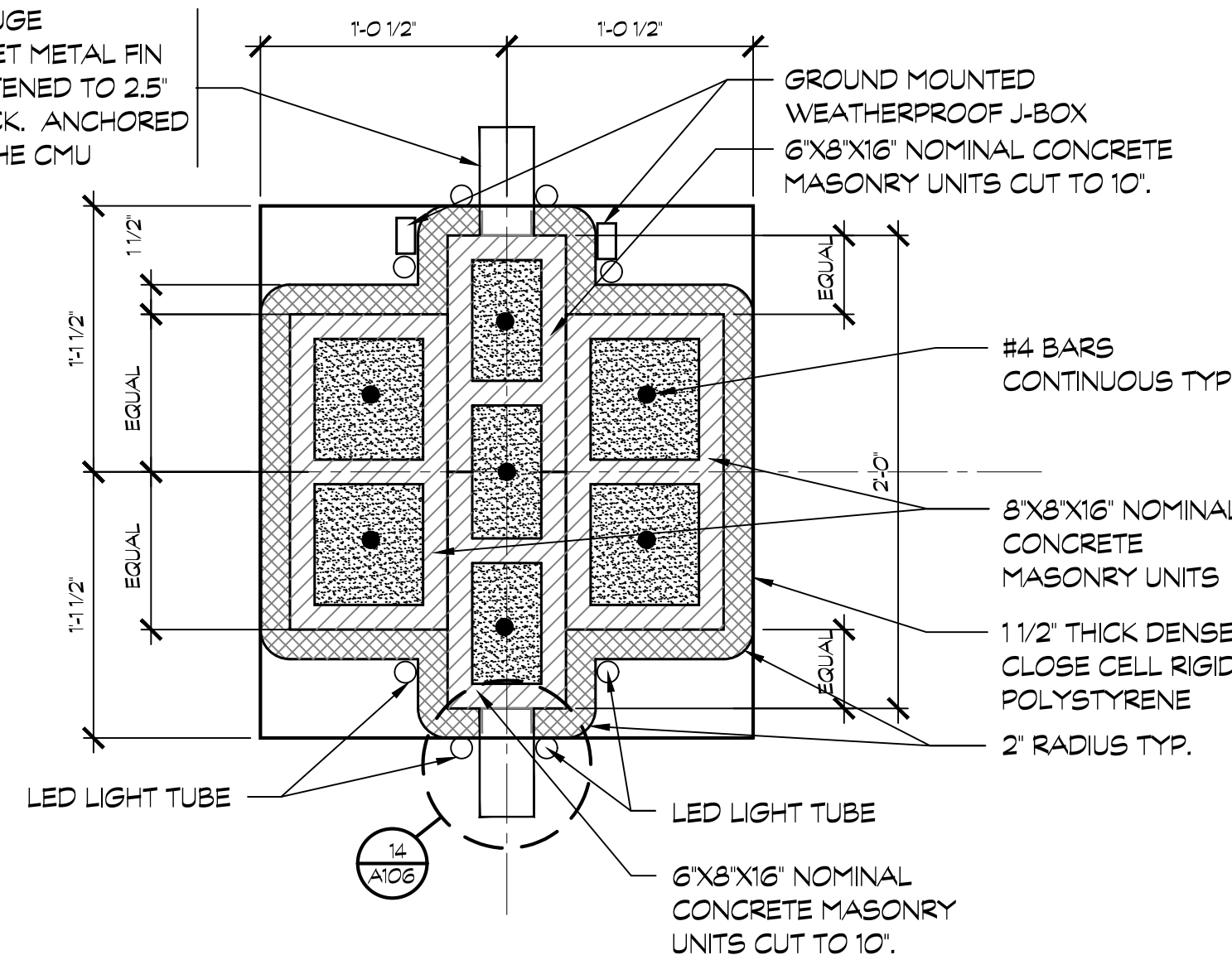
SHEET CONTENTS:

**CORNER SIGN  
SECTIONS**

SHEET NUMBER:

**A107** △

2.75" X 5.5" 20 GAUGE  
GALVANIZED SHEET METAL FIN  
TRIM SCREW FASTENED TO 2.5"  
METAL STUD TRACK, ANCHORED  
STUD TRACK TO THE CMU



GROUND MOUNTED  
WEATHERPROOF J-BOX  
6'X8'X16" NOMINAL CONCRETE  
MASONRY UNITS CUT TO 10".

#4 BARS  
CONTINUOUS TYP.

8'X8'X16" NOMINAL  
CONCRETE  
MASONRY UNITS

1 1/2" THICK DENSE  
CLOSE CELL RIGID  
POLYSTYRENE  
2" RADIUS TYP.

LED LIGHT TUBE

LED LIGHT TUBE

6'X8'X16" NOMINAL  
CONCRETE MASONRY  
UNITS CUT TO 10".

HEIGHT VARIES  
BETWEEN 2'-8" AND 7'-0"

22 GA GALV SHEET  
METAL BENT TO  
FORM SHOWN

8" WIDE CMU

ALUMINUM LETTERS  
MOUNTED TO WALL

MOUNT LETTERS TO THE  
WALL WITH SOLID ALUMINUM  
RODS ATTACHED TO LETTERS  
AND SET INTO EPOXY FILLED  
PRE-DRILLED HOLE IN THE  
CMU WALL

ALUMINUM LETTERS  
MOUNTED TO WALL

THIN COAT CEMENT  
PLASTER OVER CMU.

#4 BARS AT 24" VERT -  
#3 HORIZ AT 16" O.C.

24.00'

LED LIGHT TUBE

1 1/2" THICK DENSE CLOSE  
CELL RIGID POLYSTYRENE

2" RADIUS

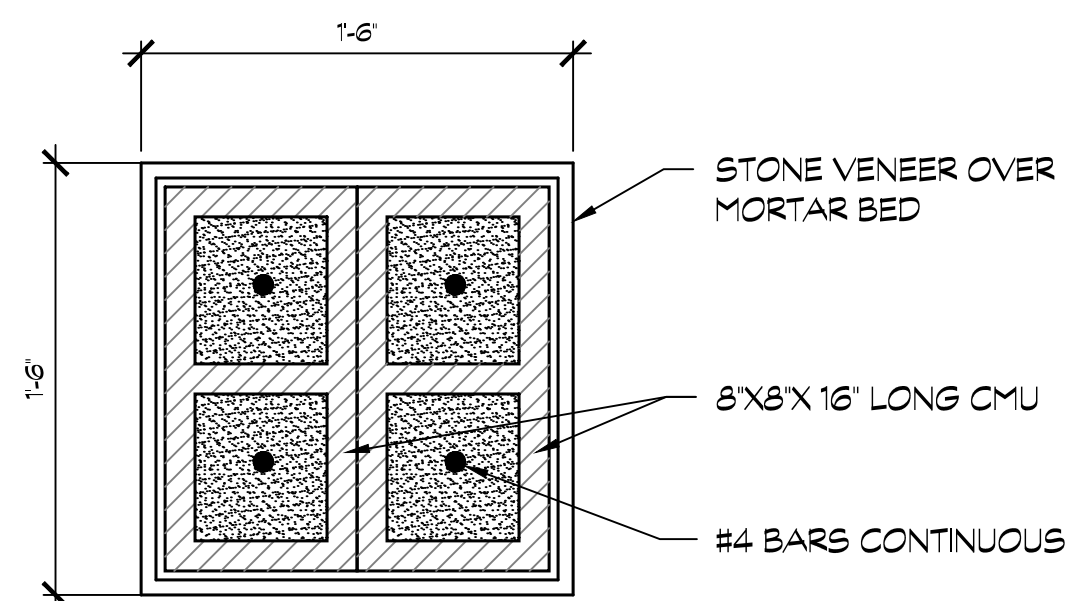
CEMENT PLASTER OVER  
DENSE CLOSED CELL RIGID  
POLYSTYRENE

1 1/2" THICK DENSE CLOSE  
CELL RIGID POLYSTYRENE

8'X8'X16" NOMINAL CONCRETE  
MASONRY UNITS

6'X8'X16" NOMINAL CONCRETE  
MASONRY UNITS CUT TO 10".

24.00'



STONE VENEER OVER  
MORTAR BED

8'X8'X16" LONG CMU

#4 BARS CONTINUOUS

PLAN VIEW

1/2" PLYWOOD SHTG

4X4 SPACER

20 GAUGE GALV SHEET CAP  
OVER TOP LIGHT BOLLARD

20 GAUGE GALV SHEET METAL  
REFLECTOR TRIM

LED LIGHT STRIP

2X6 PT PLATE - FASTEN TO  
MASONRY WITH 3 1/2" LONG  
POWDER ACTUATED  
FASTENERS 3 PER BOARD.

20 GAUGE GALV. SHEET  
METAL SCOTCH

STONE VENEER OVER  
MORTAR BED

8'X8'X16" LONG CMU

#4 BARS CONTINUOUS

1/2" DIA RIGID CONDUIT  
EXTENDED TO EXTERIOR  
FACE - AT FACE CMU PALCE  
4X4 SHALLOW J-BOX  
FUTURE POWER

24.00'

REFER TO STRUCTURAL DRWGS FOR REBAR AND  
CONCRETE MATERIAL SPECIFICATIONS.

**D LOW DECORATIVE WALL**

1 1/2" = 1'-0"

**C LIGHT BOLLARD**

1 1/2" = 1'-0"

**B SIGN WALL**

1 1/2" = 1'-0"

**A LIGHTED PILLAR**

1 1/2" = 1'-0"



KEY NOTES

- 1

ELECT M88
- 2

(1) 2A10BG FIRE EXTINGUISHER- MOUNT IN RECESSED CABINET ON WALL. CABINET TO BE LOCKABLE.
- 3

1/2 DALE TILE WAINSCOT STONE VENEER - SEE SHEETS A301 AND A302 FOR TYPE AND COLOR
- 4

ELECTRICAL PANELS- SEE ELECTRICAL DRAWINGS
- 5

INTERNATIONAL SIGN OF ACCESSABILITY DECAL, MOUNTED TO GLAZING
- 6

INSTALL TACTILE EXIT SIGN TO GLAZING AT INTERIOR OF DOOR. ALIGN EXIT SIGN WITH INTERNATIONAL ACCESSIBILITY DECAL.
- 7

FLOOR SINK
- 8

FLOOR DRAIN
- 9

MOP SINK
- 10

TELEPHONE TERMINAL BACKBOARD
- 11

WALL HUNG HAND SINK, SOAP & TOWEL DISP.
- 12

COUNTER MOUNTED HAND SINK, W/ SOAP & TOWEL DISP.
- 13

TLS-450 FUEL PANEL, W/ REMOTE ALARM AT CASHIER
- 14

WATER FILTER AT +7'-6" AFF
- 15

REFER TO SHEET A204 FOR EQUIPMENT FLOOR PLAN
- 16

FIRE RISER FOR SPRINKLERS - BRACE TO WALL- INSTALL MIN. 12" CLEAR TO THE WALL
- 17

CO2 TANK
- 18

60'X60' LEVEL LANDING AT EXTERIOR DOOR- 24" CLEAR TO SWING SIDE OF DOOR, SLOPED NO MORE THAN 2% IN EITHER DIRECTION.
- 19

ROOF LADDER
- 20

FIRE ALARM CONTROL PANEL (FACP)
- 21

DASHED LINE INDICATES THE REQUIRED INTERIOR APPROACH DISTANCE
- 22

ELECTRIC WATER HEATER ON PLATFORM OVER MOP SINK REFER TO DETAIL 1/A204.
- 23

SOFFIT LINE ABOVE
- 24

CO2 LEAK DETECTOR WITH ALARM AND STROBE, AT 60" AFF SEE SHEET A304
- 25

CABINETS BY OWNER, TO BE +34" ABOVE FINISHED FLOOR
- 26

72'X60' LEVEL LANDING AT EXTERIOR DOOR- 24" CLEAR TO SWING SIDE OF DOOR, SLOPED NO MORE THAN 2% IN EITHER DIRECTION.
- 27

A KNOX BOX WILL BE PROVIDED AT THE EQUIPMENT ROOM (FIRE CONTROL ROOM) DOOR. A KEY TO THE EQUIPMENT ROOM, FIRE ALARM PANEL, THE MANUAL PULL STATION, AND THE POST INDICATOR VALVE SHALL BE PROVIDED IN THE KNOX BOX. \*A KEY TO THE FIRE CONTROL ROOM SHALL BE LOCATED WITHIN AN APPROVED FIRE DEPARTMENT KNOX COMPANY MODEL NO. 4400 OR LARGER KEY BOX LOCATED ADJACENT TO THE ACCESS DOOR ON THE EXTERIOR OF THE BUILDING. CONTACT THE KNOX COMPANY DIRECTLY AT [(866) 623-4563] FOR CUSTOMER SERVICE AND COST.
- 28

2x4 WOOD STUD WALL
- 29

ALUMINUM TUBE AWNING ABOVE, SEE EXTERIOR ELEVATIONS, SHEET A301 AND A302
- 30

THE FOLLOWING ITEMS SHALL BE IN THE FIRE CONTROL/ELECTRIC ROOM:  
-A PERMANENTLY POSTED "No Storage" SIGNS OF DURABLE MATERIAL  
-EMERGENCY LIGHTING AS WELL AS SWITCHING  
-FIRE ALARM CONTROL PANEL OR REMOTE ANNUNCIATOR WITH SILENCE AND RESET CAPABILITY  
-FLOOR DRAIN  
-CO2 REMOTE FILL
- 31

CO2 REMOTE FILL
- 32

HAZARD IDENTIFICATION - NOT TO BE LESS THAN 6" HIGH AND 6" WIDE.
- 33

2 - GAS METERS
- 34

SEPARATE CABINET W/ CO2 TANK W/ ACCESS DOOR

GENERAL NOTES

1. ALL GRIDLINES ARE TO FACE OF SHEATHING UNLESS OTHERWISE NOTED.
2. CABINET MANUFACTURER IS TO PROVIDE SHOP DRAWING FOR REVIEW.
3. ALL SALES AND SERVICE COUNTERS SHALL BE +34" MAX. ABOVE FINISHED FLOOR.

LEGEND

- 1

2

3

4

INDICATES INTERIOR ELEVATIONS, PLEASE REFER TO A301 & A302 SHEET.
- 05

DOOR SYMBOL, SEE A202
- 6

WINDOW SYMBOL, SEE A203

WALL LEGEND

- 2x6 WOOD FRAMED WALLS, UNLESS OTHERWISE NOTED.

2x6 WOOD FRAMED WALLS, TYP 'X' GYP. BD, BOTH SIDES OTHER, DEMISING WALL UNLESS OTHERWISE NOTED.
- NOTE:**  
ALL DIMENSIONS ARE FACE OF STUD, UNLESS OTHERWISE NOTED.
- 
- 20 C STORE & QSR FLOOR PLAN
- SCALE: 3/16" = 1'-0"
- 
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- 2125 DANIELS ST.  
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- DEVELOPER:
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AND FUEL**  
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MANTECA, CA 95330**
- REVISIONS:
- BUILDING DEPT

JANUARY 21, 2024

HAZMAT

JULY 24, 2024

BUILDING DEPT

DECEMBER 16, 2024

LANDLORD/TENANT

FEBRUARY 3, 2025

PROFESSIONAL SEALS:

PROJECT NUMBER: **20-036** PROJECT DATE: **08-12-2023**

SHEET CONTENTS:

**C STORE AND QSR  
FLOOR PLAN**

SHEET NUMBER:

**A201**





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△ BUILDING DEPT	DECEMBER 16, 2024
△ LANDLORD/TENANT	FEBRUARY 3, 2025

PROFESSIONAL SEALS:



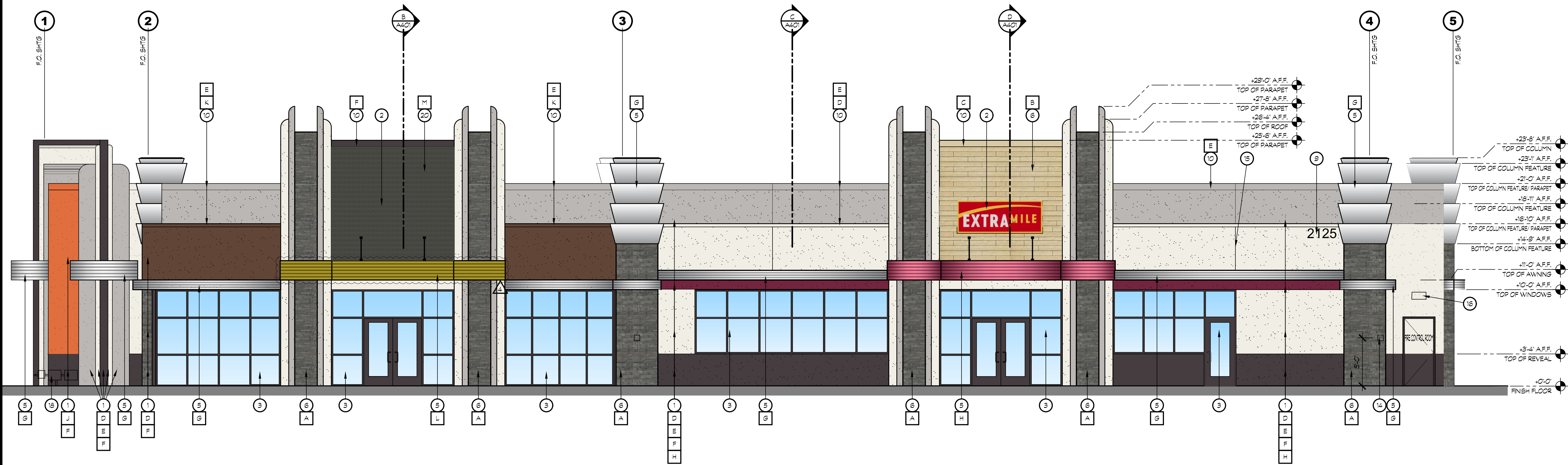
PROJECT NUMBER:	PROJECT DATE:
<b>20-036</b>	<b>08-12-2023</b>

SHEET CONTENTS:

**C STORE EXTERIOR  
ELEVATIONS**

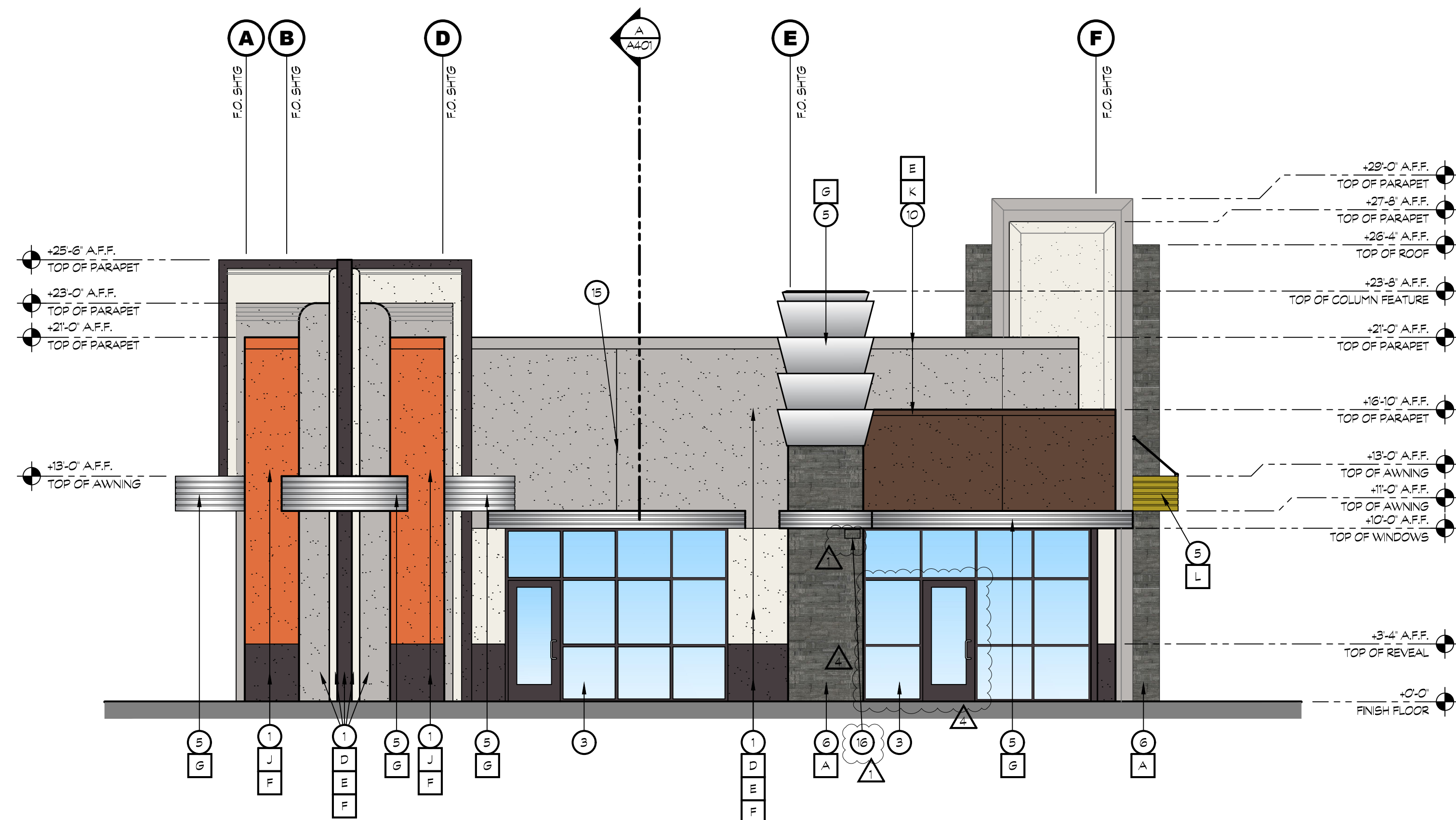
SHEET NUMBER:

**A301**



**18 C STORE AND RETAIL EAST EXTERIOR ELEVATION**

SCALE: 3/16"= 1'-0"



**20 C STORE AND RETAIL SOUTH EXTERIOR ELEVATIONS**

SCALE: 3/16"= 1'-0"

### KEY NOTES

- 7/8" THREE COAT STUCCO SYSTEM OVER DUPONT TYVEK DRAINWRAP
- SIGNAGE, BY OWNER
- STOREFRONT WINDOW SYSTEM; DARK BRONZE ANODIZED, 2"x4.5" CENTER GLAZING SYSTEM; WITH 1" CLEAR DUAL GLAZING
- HOLLOW CORE METAL DOOR
- DECORATIVE METAL AWNING
- STONE TILE OVER EXTERIOR CEMENT PLASTER OVER METAL LATH OVER DUPONT TYVEK DRAINWRAP
- WALL LIGHT BY OWNER
- ROOF LINE AND WALL BEYOND
- STREET ADDRESS, 12" HIGH LETTERS, 1 1/2" STROKE, BLACK, BACKGROUND COLOR TO MATCH TRIM COLOR, WALL WASH ILLUMINATION
- METAL FLASHING - PAINT TO MATCH DAL TILE OR CEMENT PLASTER
- METAL AWNING
- DRIVE THRU WINDOW
- FAUX STOREFRONT WINDOW SYSTEM; DARK BRONZE ANODIZED, 2"x4.5" CENTER GLAZING SYSTEM; WITH 1" CLEAR DUAL GLAZING PAINTED BLACK ON REAR
- A KNOX BOX WILL BE PROVIDED AT THE EQUIPMENT ROOM (FIRE CONTROL ROOM) DOOR. A KEY TO THE EQUIPMENT ROOM, FIRE ALARM PANEL, THE MANUAL PULL STATION, AND THE POST INDICATOR VALVE SHALL BE PROVIDED IN THE KNOX BOX. A KEY TO THE FIRE CONTROL ROOM SHALL BE LOCATED WITHIN AN APPROVED FIRE DEPARTMENT KNOX COMPANY MODEL NO. 4400 OR LARGER KEY BOX LOCATED ADJACENT TO THE ACCESS DOOR ON THE EXTERIOR OF THE BUILDING. CONTACT THE KNOX COMPANY DIRECTLY AT ((866) 623-4563) FOR CUSTOMER SERVICE AND COST.
- EXTERIOR PLASTER EXPANSION JOINT; SEE DETAIL 3/A802
- WALL MOUNTED LIGHT FIXTURE- SEE DETAIL 19/A802 & 20/A802
- SEPARATE CABINET W/ CO2 TANK W/ ACCESS DOOR
- 2 - 3" GAS METER- FOR QSR
- MAIN SWITCH BOARD #2
- FINISH CEMENT ARCHITECTURAL PANELING, VINTAGE WOOD SERIES

### COLOR LEGEND

- |   |   |  |
|---|---|--|
| A | DAL TILE STACKED STONE- 'MACAU BLACK'                                     |  |
| B | DAL TILE ACACIA VALLEY STONE- 'AM3 ASH'                                   |  |
| C | DUNN EDWARDS PAINT DE6185- 'LIGHT ASPIRATION'                             |  |
| D | SHERWIN WILLIAMS SW7005- 'PURE WHITE'                                     |  |
| E | SHERWIN WILLIAMS SW6002- 'ESSENTIAL GRAY'                                 |  |
| F | SHERWIN WILLIAMS SW7083- 'DARK ROOM'                                      |  |
| G | AEP SPAN METAL - 'METALLIC SILVER'  |  |
| H | CHEVRON BURGANDY  |  |
| J | SHERWIN WILLIAMS SW6885- 'KNOCKOUT ORANGE EGGSHELL'                       |  |
| K | SHERWIN WILLIAMS SW2856- 'FAIRFAX BROWN'                                  |  |
| L | SHERWIN WILLIAMS SW6705- 'HIGH STRING'                                    |  |
| M | NICHHA, FINISH CEMENT ARCHITECTURAL PANELING, VINTAGE WOOD SERIES- 'BARK' |  |





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PROFESSIONAL SEALS:



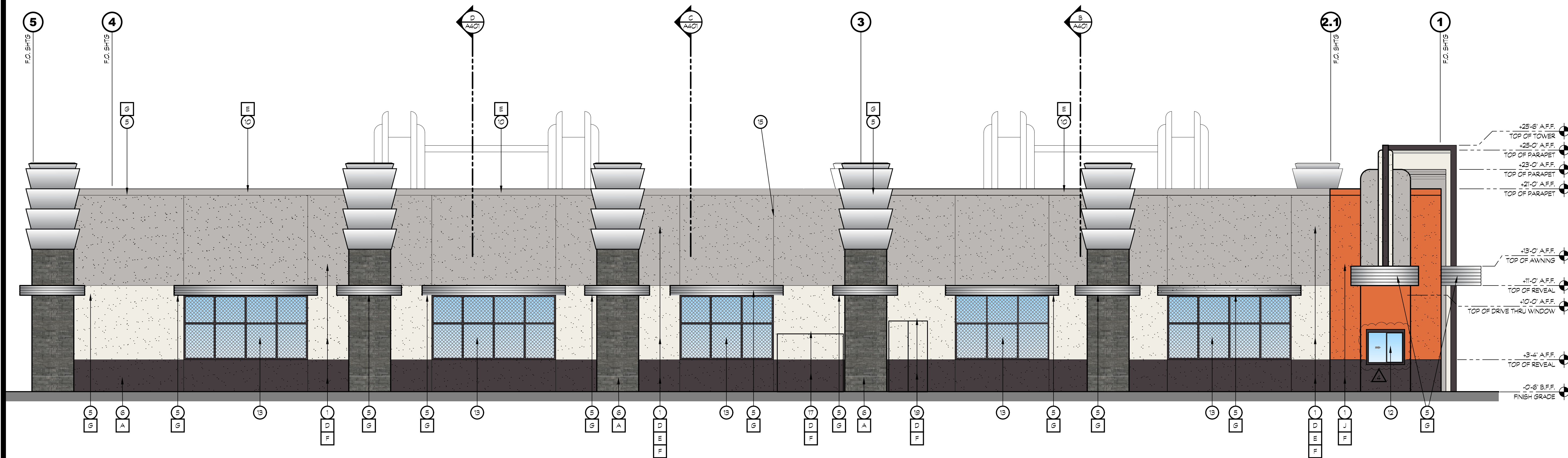
PROJECT NUMBER: **20-036** PROJECT DATE: **08-12-2023**

SHEET CONTENTS:

**C STORE EXTERIOR  
ELEVATIONS**

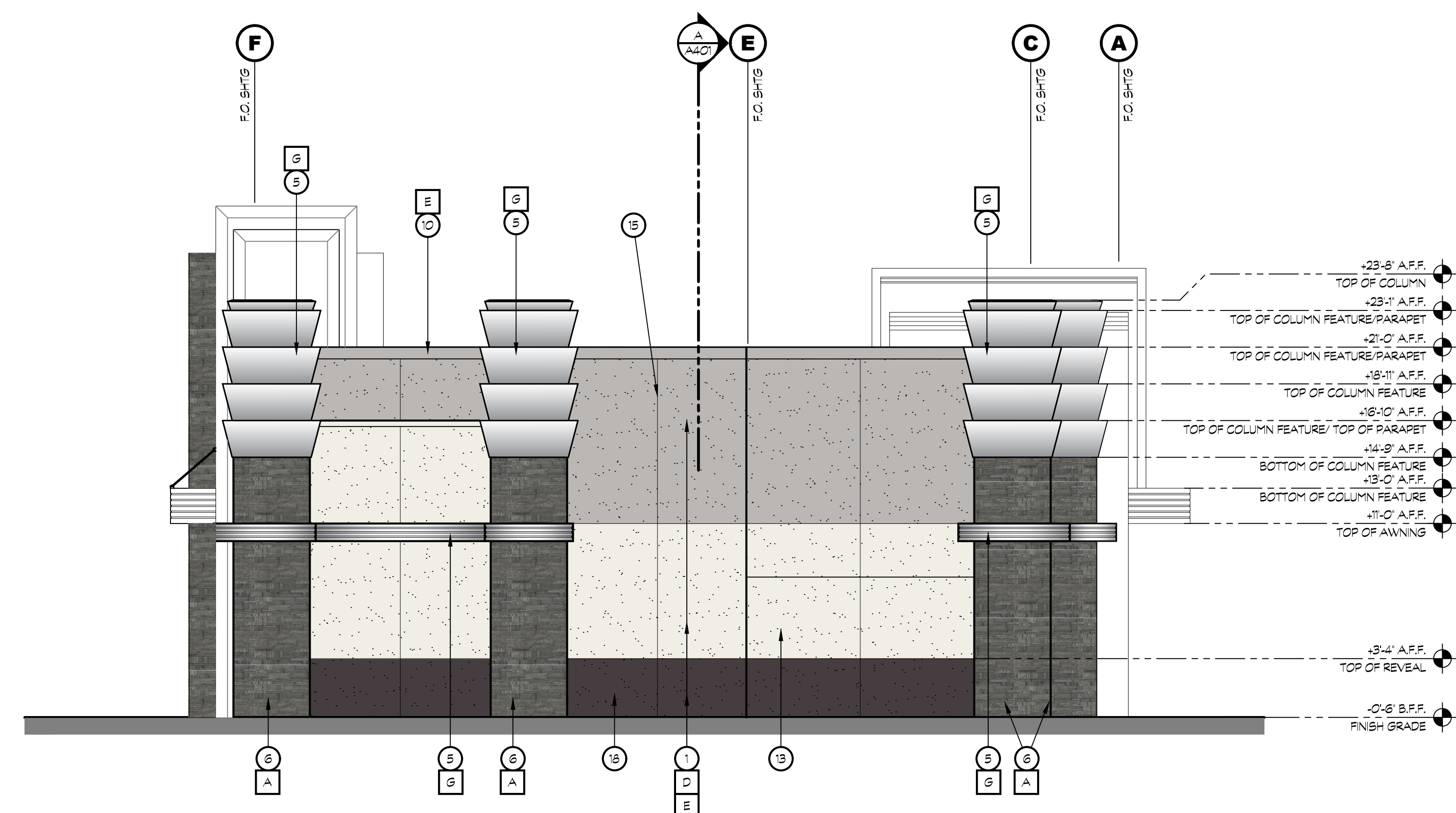
SHEET NUMBER:

**A302**



**18 C STORE AND RETAIL WEST EXTERIOR ELEVATION**

SCALE: 3/16"= 1'-0"



**20 C STORE AND RETAIL NORTH EXTERIOR ELEVATION**

SCALE: 3/16"= 1'-0"

### KEY NOTES

- 7/8" THREE COAT STUCCO SYSTEM OVER DUPONT TYVEK DRAINWRAP
- SIGNAGE, BY OWNER
- STOREFRONT WINDOW SYSTEM; DARK BRONZE ANODIZED, 2"x4.5" CENTER GLAZING SYSTEM; WITH 1" CLEAR DUAL GLAZING
- HOLLOW CORE METAL DOOR
- DECORATIVE METAL AWNING
- STONE TILE OVER EXTERIOR CEMENT PLASTER OVER METAL LATH OVER DUPONT TYVEK DRAINWRAP
- WALL LIGHT BY OWNER
- ROOF LINE AND WALL BEYOND
- STREET ADDRESS, 12" HIGH LETTERS, 1 1/2" STROKE, BLACK, BACKGROUND COLOR TO MATCH TRIM COLOR, WALL WASH ILLUMINATION
- METAL FLASHING - PAINT TO MATCH DAL TILE OR CEMENT PLASTER
- METAL AWNING
- READY ACCESS 275, SINGLE PANEL SLIDING DRIVE THRU WINDOW, CLEAR FINISH ANODIZED ALUMINUM; NO SUBSTITUTIONS.
- FAUX STOREFRONT WINDOW SYSTEM; DARK BRONZE ANODIZED, 2"x4.5" CENTER GLAZING SYSTEM; WITH 1" CLEAR DUAL GLAZING PAINTED BLACK ON REAR
- A KNOX BOX WILL BE PROVIDED AT THE EQUIPMENT ROOM (FIRE CONTROL ROOM) DOOR. A KEY TO THE EQUIPMENT ROOM, FIRE ALARM PANEL, THE MANUAL PULL STATION, AND THE POST INDICATOR VALVE SHALL BE PROVIDED IN THE KNOX BOX. \*A KEY TO THE FIRE CONTROL ROOM SHALL BE LOCATED WITHIN AN APPROVED FIRE DEPARTMENT KNOX COMPANY MODEL NO. 4400 OR LARGER KEY BOX LOCATED ADJACENT TO THE ACCESS DOOR ON THE EXTERIOR OF THE BUILDING. CONTACT THE KNOX COMPANY DIRECTLY AT (866) 623-4563 FOR CUSTOMER SERVICE AND COST.\*
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- SEPARATE CABINET W/ CO2 TANK W/ ACCESS DOOR
- 2 - 3" GAS METER; FOR QSR
- MAIN SWITCH BOARD #2

### COLOR LEGEND

A	DAL TILE STACKED STONE- 'MACAU BLACK'	
B	DAL TILE ACACIA VALLEY STONE- 'AM3 ASH'	
C	DUNN EDWARDS PAINT DE6185- 'LIGHT ASPIRATION'	
D	SHERWIN WILLIAMS SW7005- 'PURE WHITE'	
E	SHERWIN WILLIAMS SW6002- 'ESSENTIAL GRAY'	
F	SHERWIN WILLIAMS SW7083- 'DARK ROOM'	
G	AEP SPAN METAL - 'METALLIC SILVER'	
H	CHEVRON BURGANDY	
J	SHERWIN WILLIAMS SW6885- 'KNOCKOUT ORANGE EGGSHELL'	
K	SHERWIN WILLIAMS SW2856- 'FAIRFAX BROWN'	
L	SHERWIN WILLIAMS SW6705- 'HIGH STRING'	
M	NICHIA, FINISH CEMENT ARCHITECTURAL PANELING, VINTAGE WOOD SERIES- 'BARK'	





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△ HAZMAT	JULY 24, 2024

PROFESSIONAL SEALS:



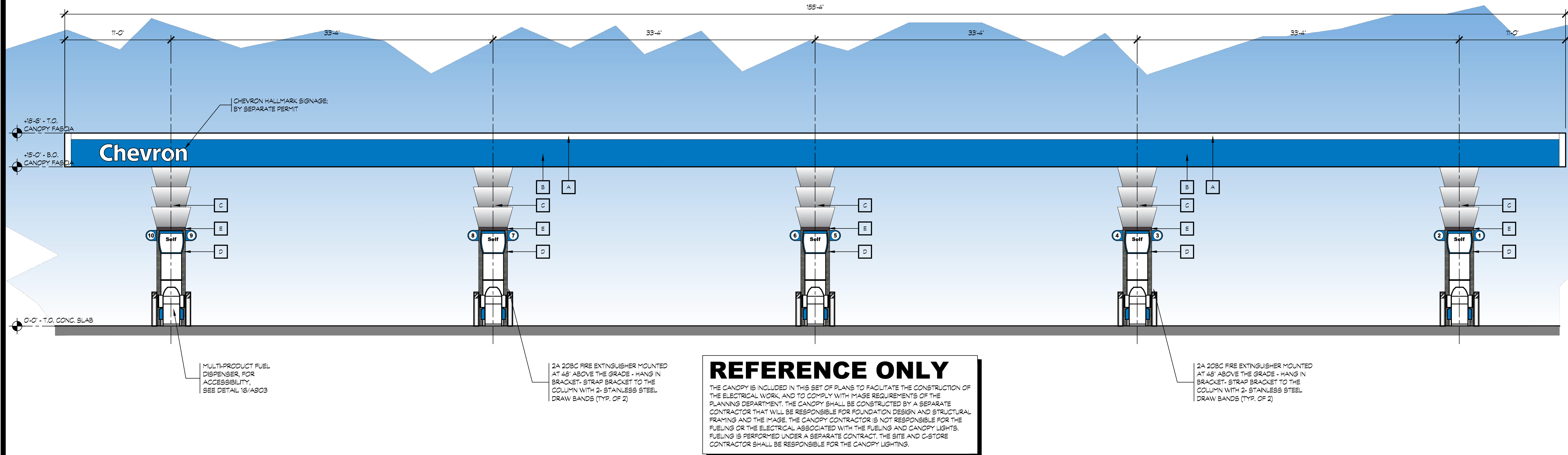
PROJECT NUMBER: <b>20-036</b>	PROJECT DATE: <b>08-12-2023</b>
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SHEET CONTENTS:

**FUELING CANOPY  
EXTERIOR  
ELEVATIONS**

SHEET NUMBER:

**A903**



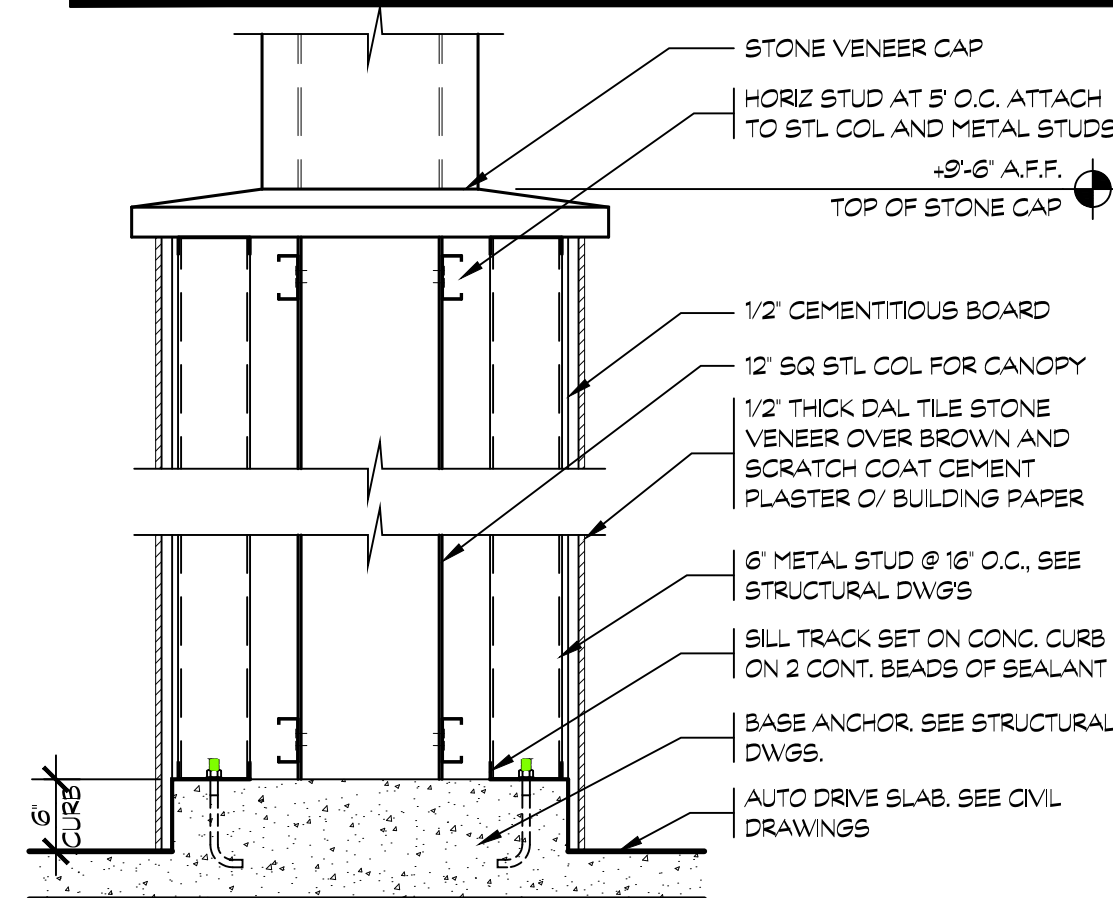
### REFERENCE ONLY

THE CANOPY IS INCLUDED IN THIS SET OF PLANS TO FACILITATE THE CONSTRUCTION OF THE ELECTRICAL WORK, AND TO COMPLY WITH IMAGE REQUIREMENTS OF THE PLANNING DEPARTMENT. THE CANOPY SHALL BE CONSTRUCTED BY A SEPARATE CONTRACTOR THAT WILL BE RESPONSIBLE FOR FOUNDATION DESIGN AND STRUCTURAL FRAMING AND THE IMAGE. THE CANOPY CONTRACTOR IS NOT RESPONSIBLE FOR THE FUELING OR THE ELECTRICAL ASSOCIATED WITH THE FUELING AND CANOPY LIGHTS. FUELING IS PERFORMED UNDER A SEPARATE CONTRACT. THE SITE AND C-STORE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CANOPY LIGHTING.

### 18 AUTO FUELING CANOPY - SOUTH ELEVATION

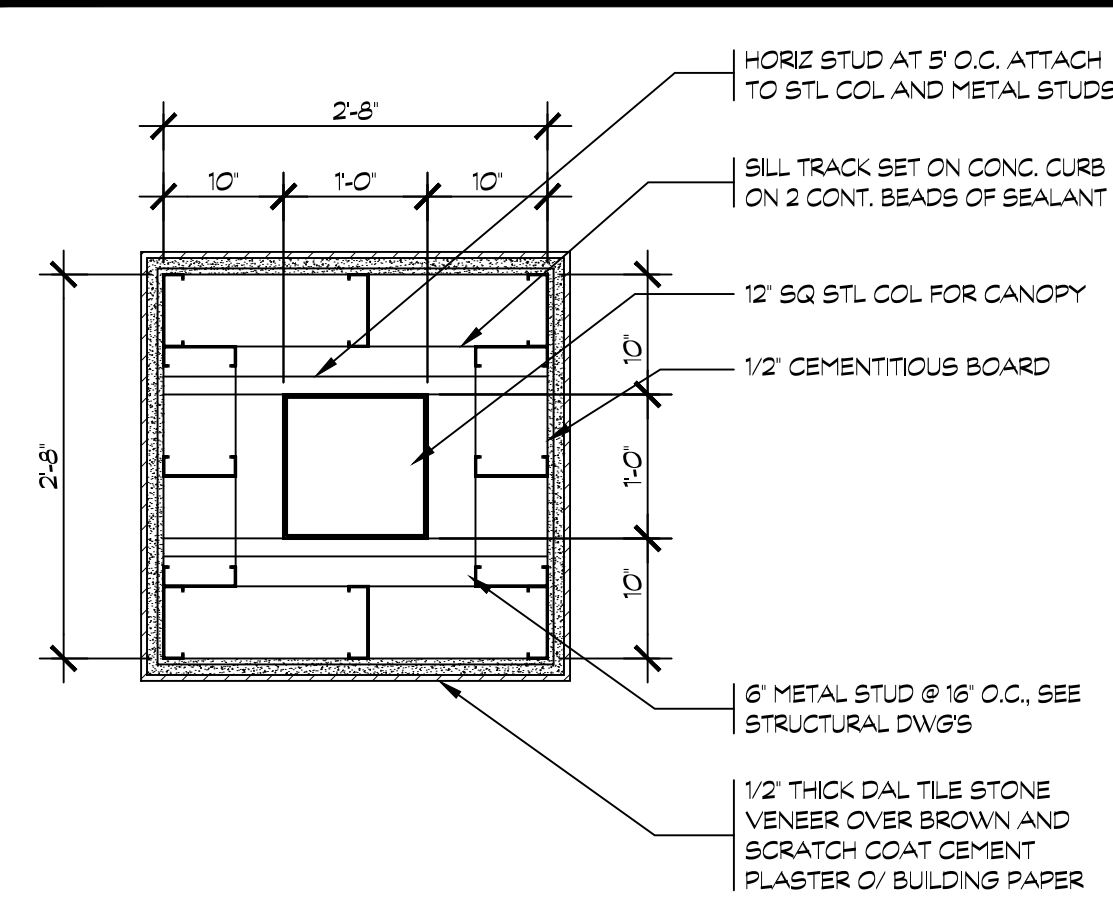
NORTH ELEVATION SIMILAR

SCALE: 3/16" = 1'-0"



### 19 CANOPY COLUMN WRAP SECTION

SCALE: 3/4"=1'-0"

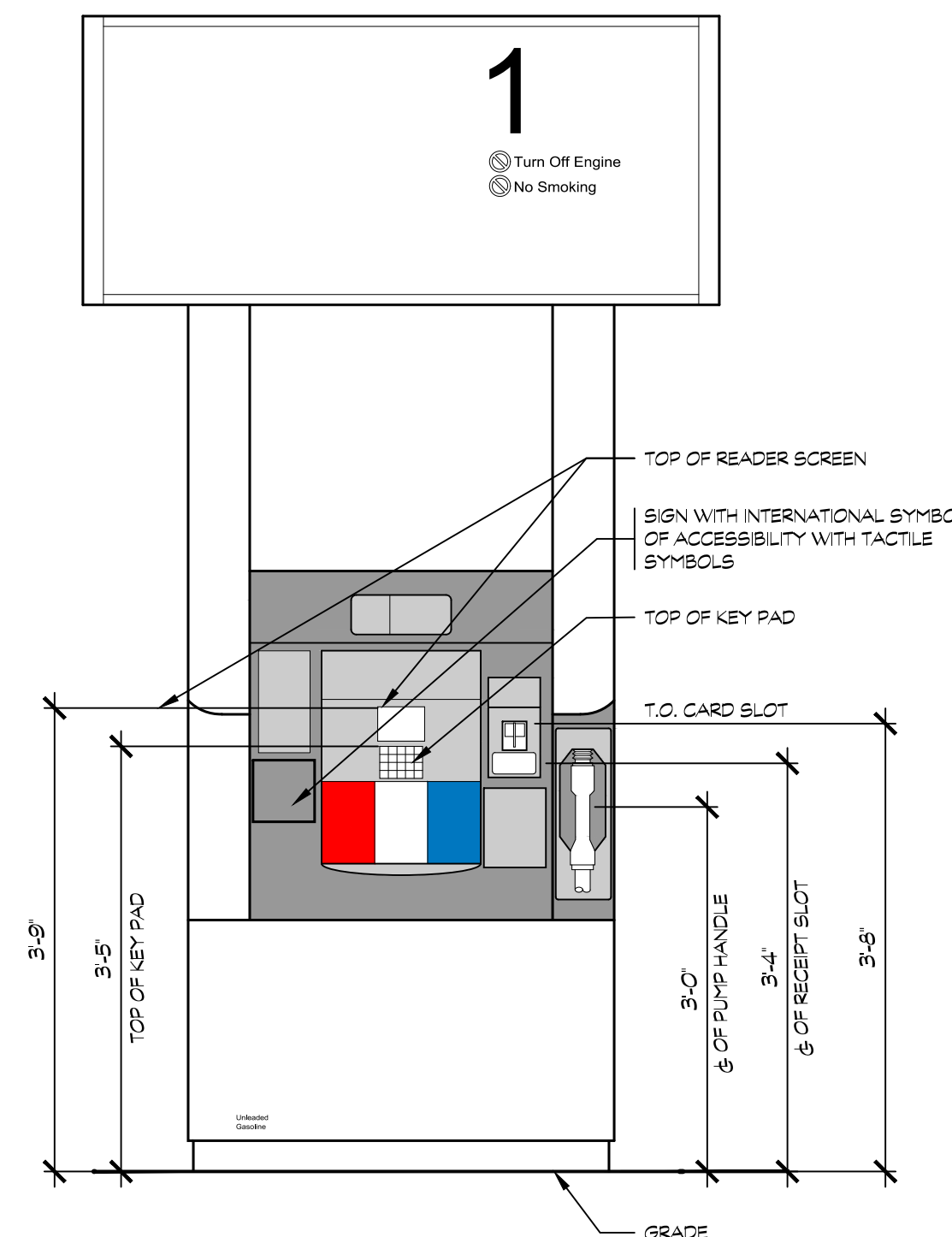


### 20 CANOPY COLUMN PLAN

SCALE: 3/4"=1'-0"

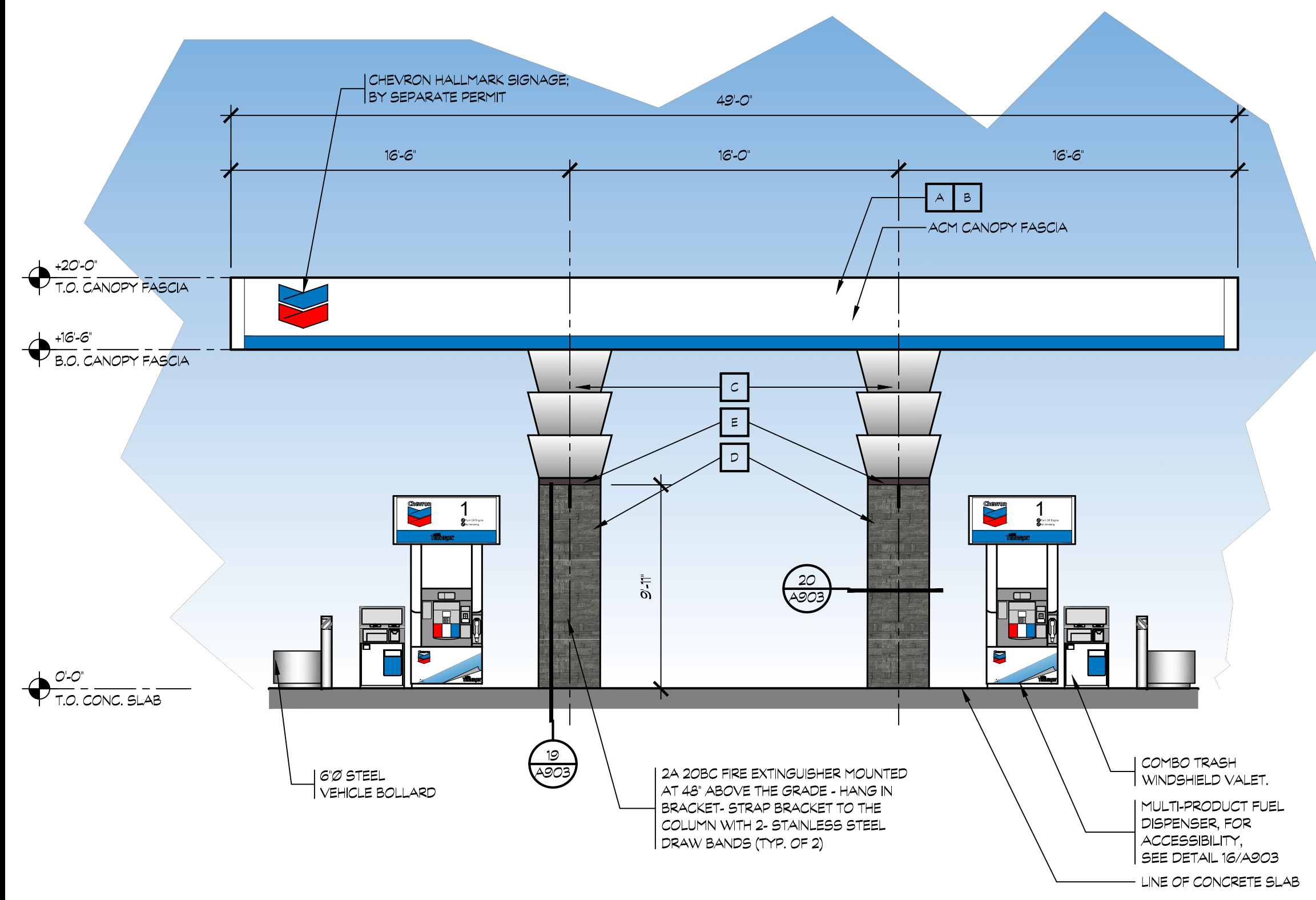
### COLOR LEGEND

A	CANOPY FASCIA - CHEVRON - ID WHITE	
B	CANOPY FASCIA - CHEVRON - ID BLUE NEW	
C	CANOPY COLUMN - CHEVRON GRAY	
D	DAL TILE STACKED STONE- 'MACAU BLACK'	
E	STONE COLUMN FLASHING - PPG0996-3 'STATUE GARDEN'	



### 16 FUEL DISPENSER ACCESSIBILITY

SCALE: 3/4"=1'-0"



### 8 AUTO FUELING CANOPY - WEST ELEVATION

EAST ELEVATION SIMILAR

SCALE: 3/16" = 1'-0"







KEY NOTES

- 1

ELECT MBS
- 2

(1) 2A10BC FIRE EXTINGUISHER- MOUNT IN RECESSED CABINET ON WALL. CABINET TO BE LOCKABLE. MAX DISTANCE OF TRAVEL TO A FIRE DEPARTMENT SHALL NOT EXCEED 75 FEET.
- 3

DASHED LINE INDICATES THE REQUIRED INTERIOR APPROACH DISTANCE
- 4

ELECTRICAL PANELS- SEE ELECTRICAL DRAWINGS
- 5

INTERNATIONAL SIGN OF ACCESSABILITY DECAL, MOUNTED TO DOOR
- 6

INSTALL TACTILE EXIT SIGN TO WALL AT EXTERIOR OF DOOR. ALIGN EXIT SIGN WITH INTERNATIONAL ACCESSIBILITY DECAL.
- 7

FLOOR DRAIN
- 8

60'X60' LEVEL LANDING AT EXTERIOR DOOR- 24" CLEAR TO SWING SIDE OF DOOR, SLOPED NO MORE THAN 2% IN EITHER DIRECTION.
- 9

CAR WASH EQUIPMENT INSTALLATION BY OWNER HIRED CONSULTANT; CONTRACTOR TO COORDINATE ALL CHASES, CONDUIT REQUIREMENTS, AND ANY OTHER REQUIREMENTS WITH CAR WASH EQUIPMENT CONSULTANT.
- 10

CAR WASH ROLL OVER DRAIN - SEE FOUNDATION, AND CAR WASH PLANS
- 11

SOFFIT LINE ABOVE

- 12

72'X60' LEVEL LANDING AT EXTERIOR DOOR- 24" CLEAR TO SWING SIDE OF DOOR, SLOPED NO MORE THAN 2% IN EITHER DIRECTION.
- 13

OVERHEAD ROLL-UP DOOR W/ SECURITY GRILLE DOOR
- 14

MOP SINK
- 15

ROOF LADDER
- 16

EMERGENCY EXIT LIGHTS
- 17

PROVIDE (3) 1" COLD WATER LINE TO +48" ABOVE FINISHED FLOOR WITH 90° BALL SHUT-OFF VALVES.

NOTE:  
ALL DIMENSIONS ARE FACE OF MASONRY, UNLESS OTHERWISE NOTED.

GENERAL NOTES

1. ALL GRIDLINES ARE TO FACE OF CMU WALL UNLESS OTHERWISE NOTED.

LEGEND

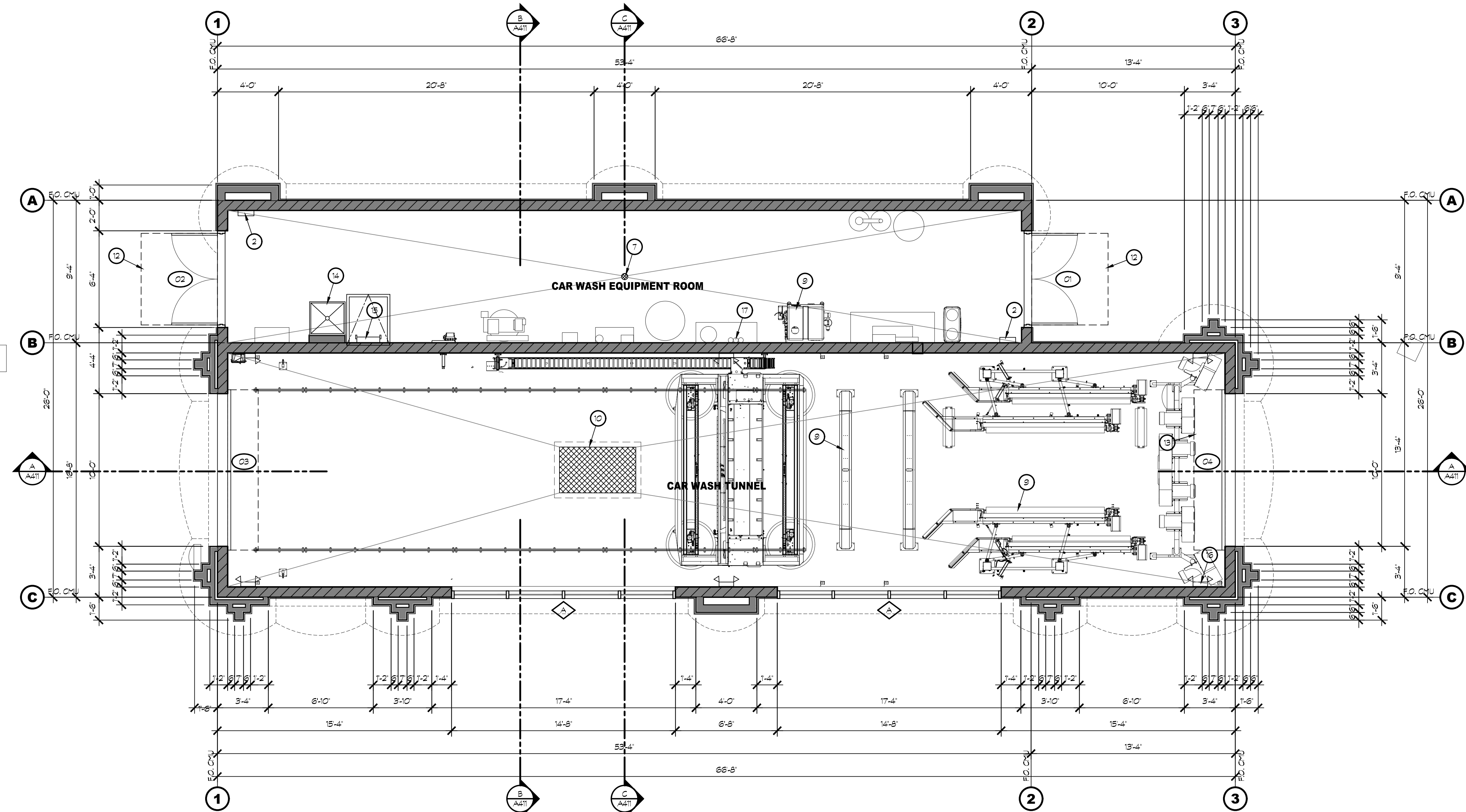
- OS

DOOR SYMBOL, SEE A212
- A

WINDOW SYMBOL, SEE A212

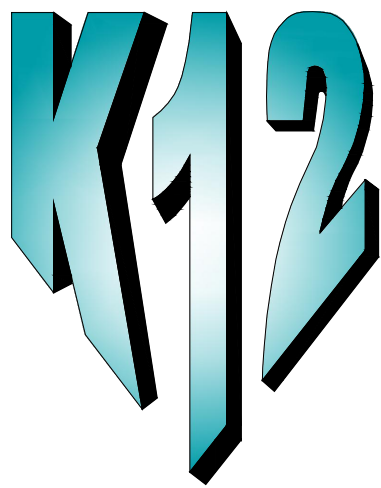
WALL LEGEND

- 2x6 WOOD FRAMED WALLS, UNLESS OTHERWISE NOTED.
- 8x8x16 C.M.U. WALL



16 CAR WASH FLOOR PLAN

SCALE: 1/4" = 1'-0"



K12 Architects, Inc  
3090 Fite Circle, #104  
Sacramento, CA 95827  
PH:(916) 455-6500 FAX:(916) 455-8100

CONSULTANTS:

CONTRACTOR:

PROJECT:

DANIELS  
CENTER  
CAR WASH

2125 DANIELS ST.  
MANTECA, CA 95336

DEVELOPER:

TWO GUYS FOOD  
AND FUEL

147 LATHROP RD  
MANTECA, CA 95330

REVISIONS:

BUILDING DEPT JANUARY 21, 2024

PROFESSIONAL SEALS:



PROJECT NUMBER: 20-036 PROJECT DATE: 09-20-2023

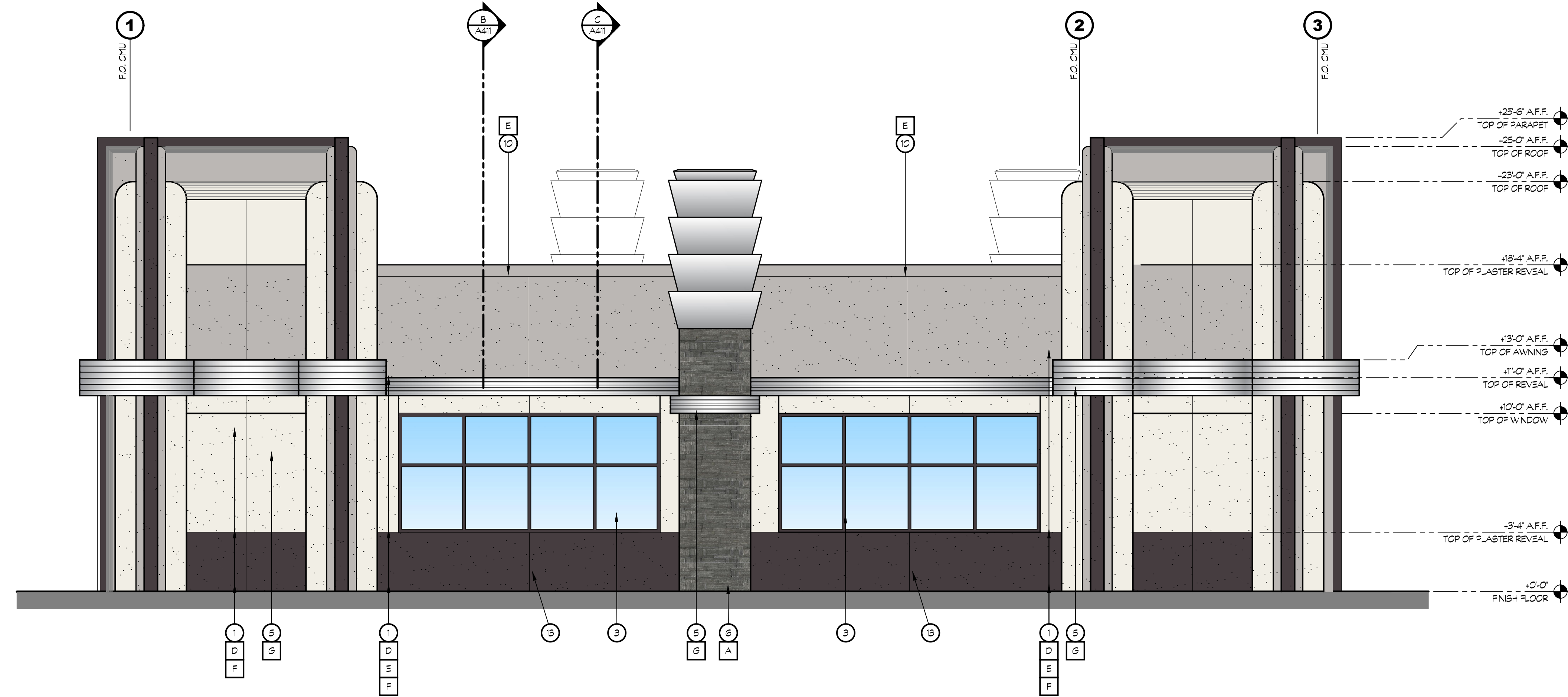
SHEET CONTENTS:

CAR WASH FLOOR  
PLAN

SHEET NUMBER:

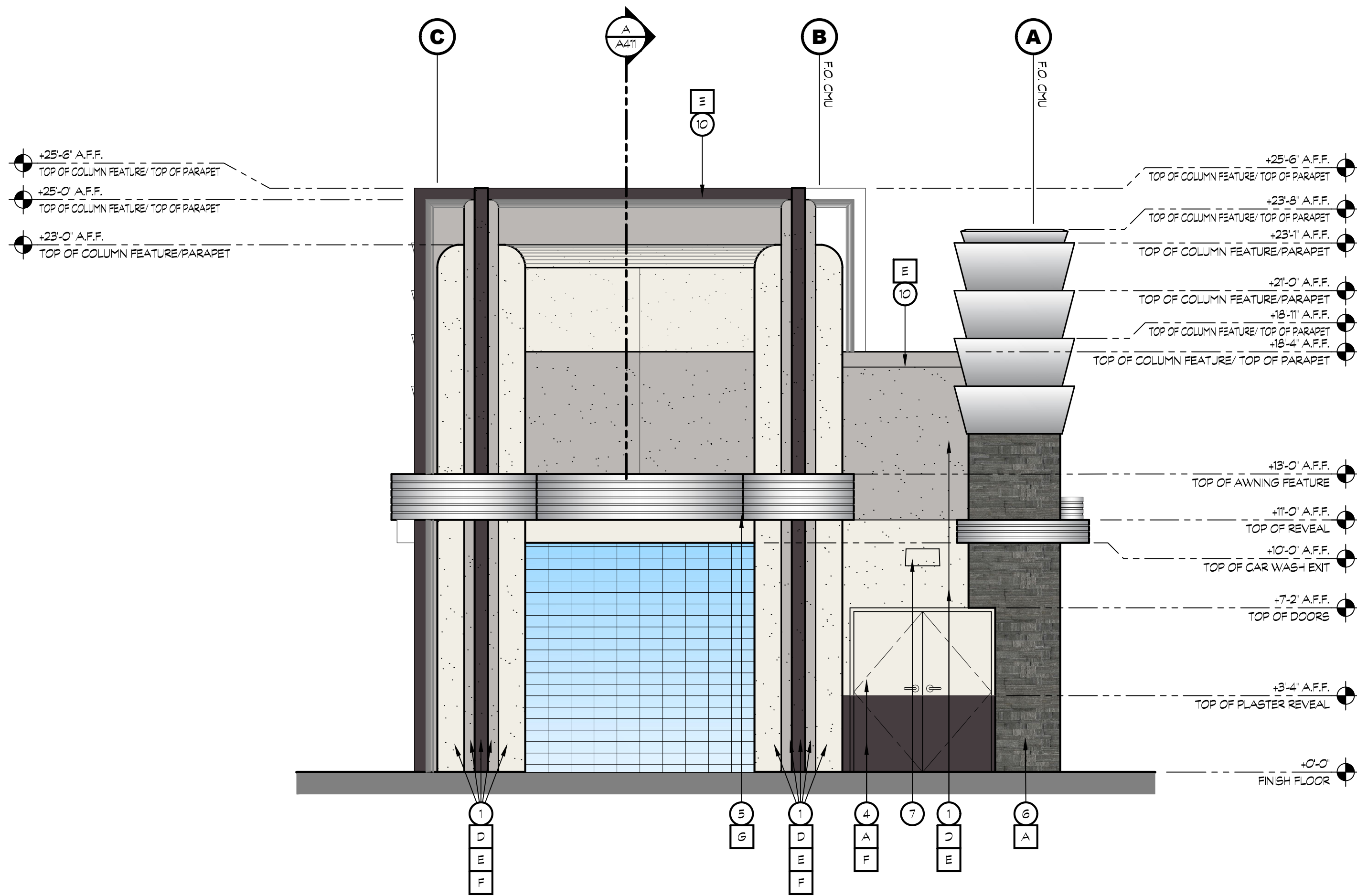
A211





18 CAR WASH NORTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



16 CAR WASH WEST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

KEY NOTES

- 1 7/8" THREE COAT STUCCO SYSTEM OVER DUPONT TYVEK DRAINWRAP
- 2 SIGNAGE, BY OWNER
- 3 STOREFRONT WINDOW SYSTEM; DARK BRONZE ANODIZED, 2"x4-5" CENTER GLAZING SYSTEM; WITH T CLEAR DUAL GLAZING
- 4 HOLLOW CORE METAL DOOR
- 5 DECORATIVE METAL AWNING
- 6 STONE TILE OVER EXTERIOR CEMENT PLASTER OVER METAL LATH OVER DUPONT TYVEK DRAINWRAP
- 7 WALL LIGHT BY OWNER, SEE DETAIL 11 & 12 /A512
- 8 ROOF LINE AND WALL BEYOND
- 9 STREET ADDRESS, 12" HIGH LETTERS, 1 1/2" STROKE, BLACK, BACKGROUND COLOR TO MATCH TRIM COLOR, WALL WASH ILLUMINATION
- 10 METAL FLASHING - PAINT TO MATCH DAL TILE OR CEMENT PLASTER
- 11 METAL AWNING
- 12 DRIVE THRU WINDOW
- 13 EXTERIOR PLASTER EXPANSION JOINT, SEE DETAIL 11/A511

COLOR LEGEND

- |   |   |  |
|---|---|--|
| A | DAL TILE STACKED STONE- "MACAU BLACK"     |  |
| B | NOT USED                                  |  |
| C | NOT USED                                  |  |
| D | SHERWIN WILLIAMS SW7005- "PURE WHITE"     |  |
| E | SHERWIN WILLIAMS SW6002- "ESSENTIAL GRAY" |  |
| F | SHERWIN WILLIAMS SW7083- "DARK ROOM"      |  |
| G | AEP SPAN METAL - "METALLIC SILVER"        |  |



K12 Architects

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3090 Fite Circle, #104  
Sacramento, CA 95827

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CONSULTANTS:

CONTRACTOR:

PROJECT:

DANIELS  
CENTER  
CAR WASH

2125 DANIELS ST.  
MANTECA, CA 95336

DEVELOPER:

TWO GUYS FOOD  
AND FUEL

147 LATHROP RD  
MANTECA, CA 95330

REVISIONS:

BUILDING DEPT JANUARY 21, 2024

PROFESSIONAL SEALS:



PROJECT NUMBER: 20-036 PROJECT DATE: 09-20-2023

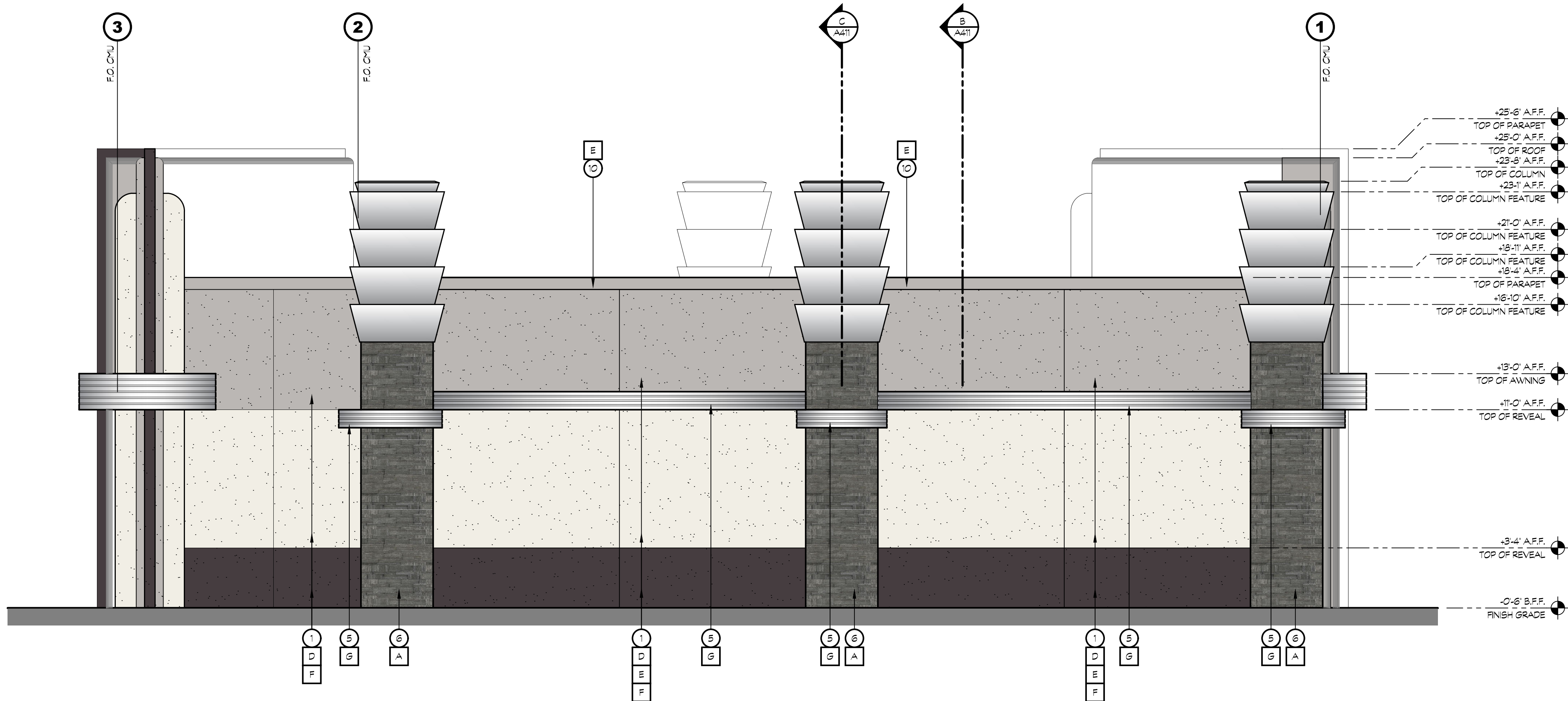
SHEET CONTENTS:

CAR WASH  
EXTERIOR  
ELEVATIONS

SHEET NUMBER:

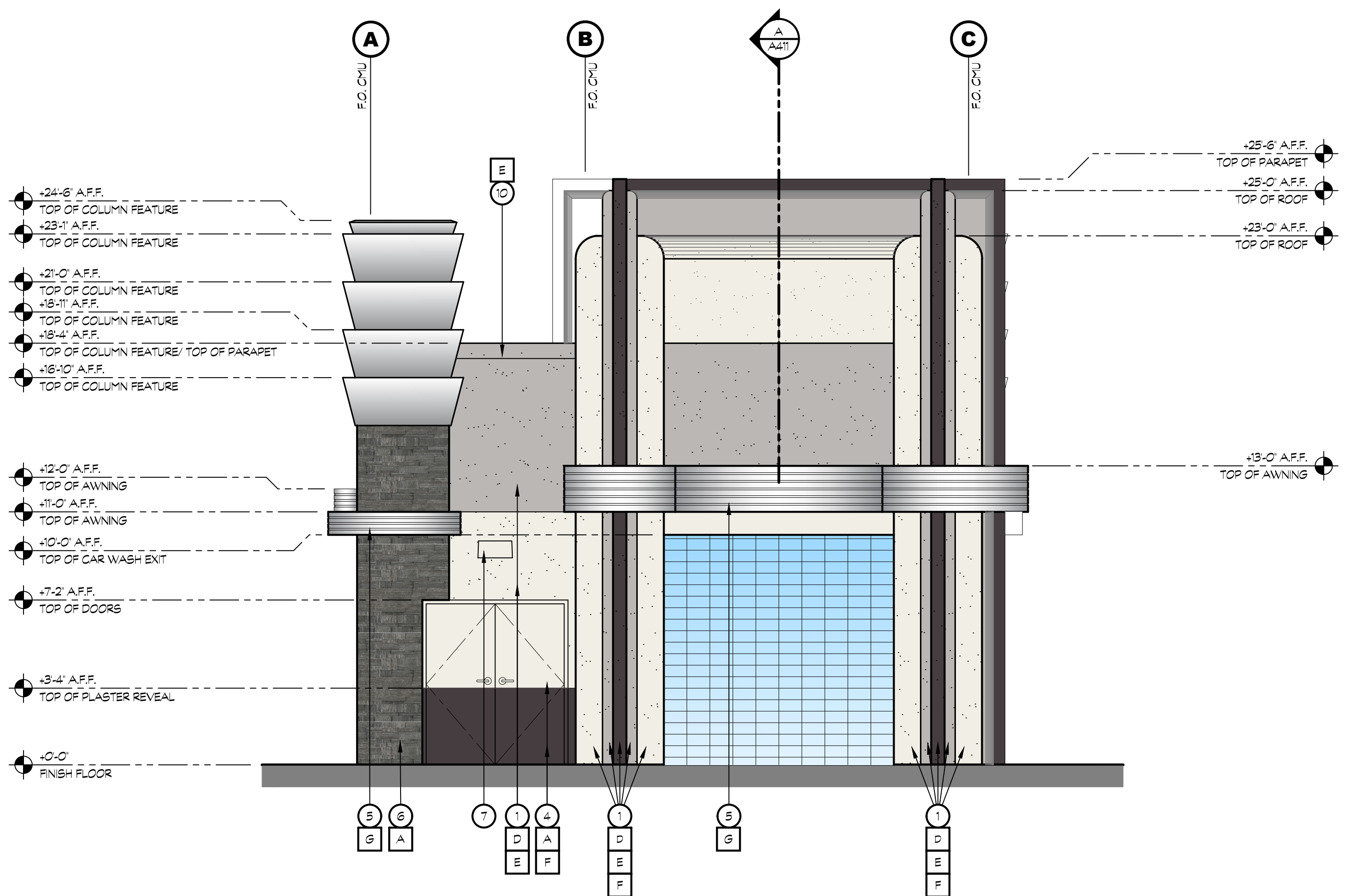
A311





18 CAR WASH SOUTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



16 CAR WASH EAST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

### KEY NOTES

- 1 7/8" THREE COAT STUCCO SYSTEM OVER DUPONT TYVEK DRAINWRAP
- 2 SIGNANGE, BY OWNER
- 3 STOREFRONT WINDOW SYSTEM; DARK BRONZE ANODIZED, 2"x4-5' CENTER GLAZING SYSTEM; WITH 1" CLEAR DUAL GLAZING
- 4 HOLLOW CORE METAL DOOR
- 5 DECORATIVE METAL AWNING
- 6 STONE TILE OVER EXTERIOR CEMENT PLASTER OVER METAL LATH OVER DUPONT TYVEK DRAINWRAP
- 7 WALL LIGHT BY OWNER, SEE DETAILS 11 & 12 /A802
- 8 ROOF LINE AND WALL BEYOND
- 9 STREET ADDRESS, 12" HIGH LETTERS, 1 1/2" STROKE, BLACK, BACKGROUND COLOR TO MATCH TRIM COLOR, WALL WASH ILLUMINATION
- 10 METAL FLASHING - PAINT TO MATCH DAL TILE OR CEMENT PLASTER
- 11 METAL AWNING
- 12 DRIVE THRU WINDOW
- 13 EXTERIOR PLASTER EXPANSION JOINT. SEE DETAIL 3/A802

### COLOR LEGEND

A	DAL TILE STACKED STONE- 'MACAU BLACK'	
B	NOT USED	
C	NOT USED	
D	SHERWIN WILLIAMS SW7005- 'PURE WHITE'	
E	SHERWIN WILLIAMS SW6002- 'ESSENTIAL GRAY'	
F	SHERWIN WILLIAMS SW7083- 'DARK ROOM'	
G	AEP SPAN METAL - 'METALLIC SILVER'	



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CENTER  
CAR WASH**

2125 DANIELS ST.  
MANTECA, CA 95336

DEVELOPER:

**TWO GUYS FOOD  
AND FUEL**

**147 LATHROP RD  
MANTECA, CA 95330**

REVISIONS:

△ BUILDING DEPT JANUARY 21, 2024

PROFESSIONAL SEALS:



PROJECT NUMBER:

**20-036**

PROJECT DATE:

**09-20-2023**

SHEET CONTENTS:

**CAR WASH  
EXTERIOR  
ELEVATIONS**

SHEET NUMBER:

**A312**



# IMPROVEMENT PLANS FOR

## DANIELS CENTER

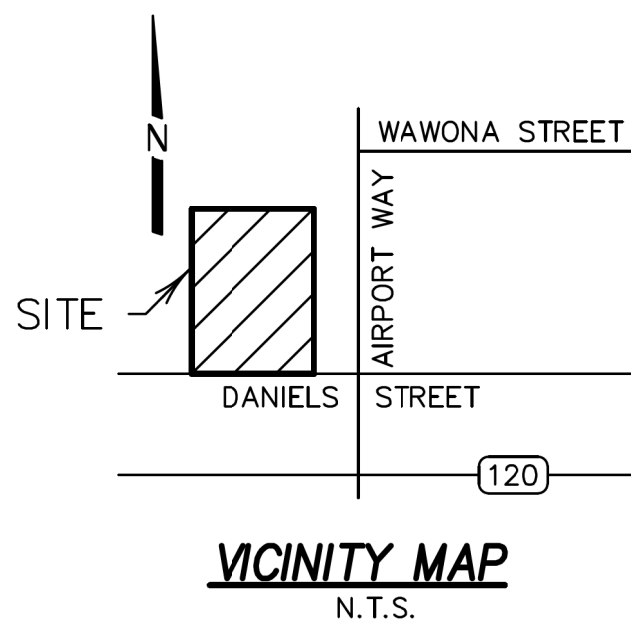
### 2125 DANIELS STREET

### MANTECA, CA. 95337

### APN: 241-310-86

**CITY OF MANTECA STANDARDS GENERAL NOTES**

1. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, ENGINEER AND THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
2. UNLESS OTHERWISE STATED, ALL STATIONS INDICATED ON THE IMPROVEMENT PLANS ARE REFERENCED TO THE CENTER LINE OF THE STREET. ALL STATIONS ON THE CURBS ARE PERPENDICULAR TO OR RADIALLY OPPOSITE CENTER LINE STATIONS, UNLESS OTHERWISE NOTED.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING FACILITIES.
4. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE CITY ENGINEER.
5. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY IN ACCORDANCE WITH THE CURRENT ISSUE OF "MANUAL OF TRAFFIC CONTROLS WARNING SIGNS, LIGHTS AND DEVICES FOR USE IN PERFORMANCE OF WORK UPON HIGHWAYS" PUBLISHED BY THE STATE OF CALIFORNIA BUSINESS AND TRANSPORTATION AGENCY.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY MARKING THE INSTALLED LOCATION OF ALL SANITARY AND WATER SERVICES (STAMPED WITH AN "S" AND "W" RESPECTIVELY) AT THE TIME OF INSTALLATION. CONTRACTOR SHALL REMOVE ALL EXISTING BERMS, STRUCTURES AND BARRICADES, PAVING AND/OR OIL SCREENING WITHIN SPECIFIC AREAS INDICATED TO BE IMPROVED.
7. THE OFFICE OF THE CITY ENGINEER SHALL BE NOTIFIED AT LEAST 24 HOURS IN ADVANCE OF ANY WORK.
8. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MANTECA, DEPARTMENT OF PUBLIC WORKS STANDARD PLANS AND SPECIFICATIONS; AND THE LATEST EDITION OF THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS.
9. P.G. & E., TELEPHONE AND CABLE TV UNDERGROUND WORK SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF THE CURB, GUTTER, SIDEWALK AND PAVING.
10. IF REQUIRED, THE CONTRACTOR SHALL DETERMINE THE PROPER WELL PLACEMENTS TO ADEQUATELY DEWATER THE AREA FOR TRENCHING.
11. THE CITY OF MANTECA OR ASSOCIATED UTILITY COMPANY AND RESIDENCES TO BE AFFECTED SHALL BE NOTIFIED IMMEDIATELY UPON ANY UTILITY SERVICE DISRUPTION OTHER THAN SPECIFIED ON THESE IMPROVEMENT PLANS AND A 24 HOUR NOTICE SHALL BE GIVEN FOR ANY PLANNED DISRUPTION.
12. DUST SHALL BE CONTROLLED AS PER SECTION 10. OF THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS AND THE CITY OF MANTECA'S SPECIFICATIONS.
13. LOTS SHALL BE GRADED TO ESTABLISH IDENTICAL ELEVATIONS (MATCH GRADES) WITH ADJACENT LOTS AND SURROUNDING PROPERTY UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
14. AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM THE CITY OF MANTECA, DEPARTMENT OF PUBLIC WORKS OR ANY OTHER APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF WORK WITHIN EXISTING CITY RIGHT-OF-WAY.
15. STREET SIGNS, TRAFFIC CONTROL SIGNS, AND PAVEMENT MARKINGS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR AT LOCATIONS ESTABLISHED BY THE CITY ENGINEER.
16. THE CONTRACTOR SHALL SECURE A TRENCH PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO EXCAVATION OF ANY TRENCH OVER FIVE FEET IN DEPTH.
17. ASPHALT CONCRETE SHALL BE PLACED ONLY WHEN THE ATMOSPHERIC TEMPERATURE IS ABOVE 50°F AND RISING.
18. ALL STREET LIGHTING SHALL BE CONSTRUCTED BY AND AT A COST TO THE DEVELOPER SUCH THAT OWNERSHIP OF THE STREET LIGHTS ARE TO BE PROVIDED TO THE CITY (LS-2C SCHEDULE).
19. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES AND SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES PRIOR TO COMMENCEMENT OF WORK. HE SHALL BE RESPONSIBLE FOR THE LOCATION AND PRESERVATION OF ALL SUCH FACILITIES IN THE AREA OF CONSTRUCTION AND SHALL NOTIFY UTILITIES FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY CONSTRUCTION.
20. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE REMOVAL OR RELOCATION OF ALL EXISTING UTILITIES WITH RESPECTIVE UTILITY COMPANIES.
21. THE CONTRACTOR IS TO PROVIDE COMPACTED BUILDING PADS AT THE ELEVATIONS SHOWN ON THE GRADING PLAN.
22. ALL SERVICE LATERALS SHALL BE EXTENDED PAST THE PROPERTY LINE AND PLUGGED, IF THERE IS TO BE A LAPSE BEFORE ON-SITE WORK IS COMPLETE.
23. MANHOLE CASTINGS AND COVERS SHALL BE ADJUSTED TO FINAL GRADES BY THE PAVING CONTRACTOR AFTER STREET IMPROVEMENTS ARE COMPLETED.
24. ALL WATER LINES SHALL BE TESTED AND DISINFECTED IN COMPLIANCE WITH THE REQUIREMENTS OF THE CITY OF MANTECA'S STANDARD PLANS AND SPECIFICATIONS, PRIOR TO FINAL ACCEPTANCE.
25. AFTER CONSTRUCTION OF ALL IMPROVEMENTS, THE ENGINEERS SHALL SUBMIT ONE SET OF REPRODUCIBLE "AS BUILT" PLANS. FINAL INVERT ELEVATIONS FOR SEWER AND STORM DRAIN LINES THAT ARE TO BE EXTENDED FOR FUTURE CONSTRUCTION SHALL ALSO BE SHOWN ON THE "AS BUILT" PLANS.
26. ALL TRENCHES ON MAJOR AND COLLECTOR STREETS AND CROSS TRENCHES ON ALL STREETS SHALL BE PAVED WITH TEMPORARY PAVING THE SAME DAY THE PAVEMENT CUT IS MADE.
27. WDD#: TO BE DETERMINED.



**SCOPE OF WORK**

1. THIS PROJECT CONSIST OF DEVELOPING THE SITE TO BE USED AS A GAS STATION, CONVENIENCE STORE, RETAIL BUILDING, AND CARWASH. IMPROVEMENTS WILL INCLUDE GRADING, DRAINAGE, UTILITY INSTALLATION, STRIPING AND RECONSTRUCTING EXISTING DRIVEWAYS.

**GENERAL SITE NOTES:**

1. EXISTING SQUARE FEET OF IMPERVIOUS AREA: 1,272 S.F.  
2. PROPOSED SQUARE FEET OF IMPERVIOUS AREA: 55,668 S.F.

**GENERAL NOTES:**

1. OWNER: TWO GUYS FOOD AND FUEL  
C/O JARNAIL KAMBOJ  
147 LATHROP ROAD  
LATHROP, CA. 95330
2. CIVIL ENGINEER: DILLON & MURPHY C/O JOE MURPHY  
P.O. BOX 2180  
LODI, CA. 95241
3. SOILS REPORT: CTE CAL, INC.  
46716 FREMONT BLVD.  
FREMONT, CA. 94538  
(916) 331-6030  
JOB NO. 25-1235G  
APRIL 26, 2022

**INDEX OF SHEETS**

- C1 TITLE SHEET  
C2 TOPOGRAPHIC SURVEY AND DEMOLITION PLAN  
C3 GRADING AND DRAINAGE PLAN  
C4 UTILITY PLAN  
C5 EROSION AND SEDIMENT CONTROL PLAN  
C6 DETAIL SHEET 1  
C7 DETAIL SHEET 2



Know what's below.  
Call before you dig.



**DILLON & MURPHY  
ENGINEERING**  
847 N. CLUFF AVENUE  
SUITE A-2, LODI, CA 95240  
(209) 334-6613

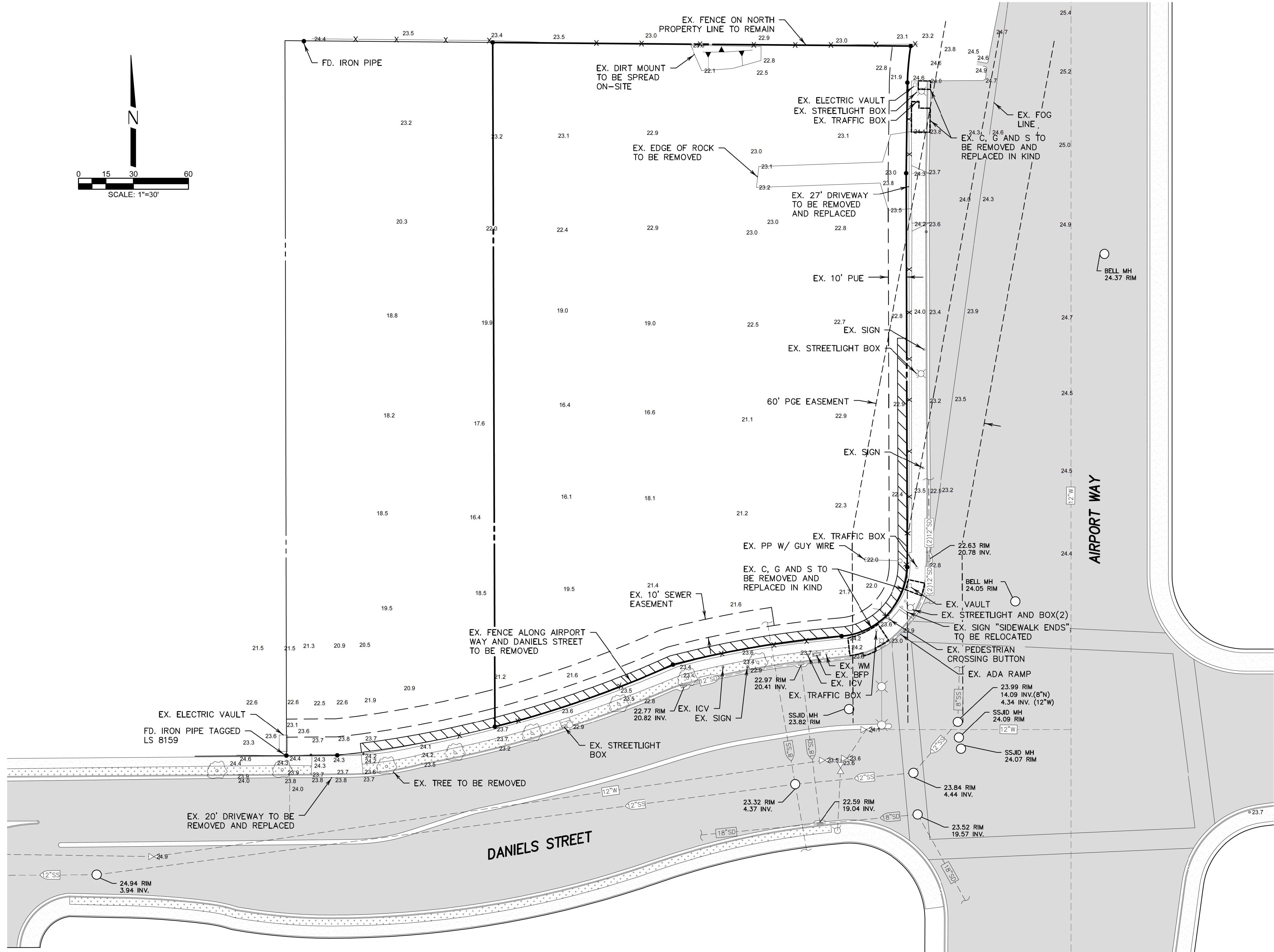
**DANIELS CENTER  
ON-SITE IMPROVEMENT PLANS**

**TITLE SHEET**

MANTECA, CALIFORNIA  
AUGUST, 2024

REV. NO.	DESCRIPTION	DATE	BY	SCALE: N.T.S.	BENCH MARK: COM# 108 EL: 23.716	SHEET
				DRAWN BY: JMO	DESCRIPTION: 2-INCH BRASS DISC LOCATED IN THE TOP OF CURB IN THE EAST RETURN OF THE SOUTHEAST CORNER OF THE INTERSECTION OF DANIELS STREET AND S. AIRPORT WAY (NGVD 29)	C1
				DESIGNED BY:		OF 7 SHEETS
				CHECKED BY: JM		JOB NO. 22178
				AS BUILT BY:		





**LEGEND**

EX. EXISTING  
FD. FOUND  
IP IRON PIPE  
ICV IRRIGATION CONTROL VALVE  
MH MANHOLE  
PP POWER POLE  
PUE PUBLIC UTILITY EASEMENT  
SSJD SOUTH SAN JOAQUIN IRRIGATION DISTRICT  
SS SANITARY SEWER  
SD STORM DRAIN  
TYP. TYPICAL  
EX. STREET LIGHT  
EX. RESTRICTED ACCESS  
FD. 3/4" IP TAGGED R.C.E. 32158 (TYP.)  
EX. TRAFFIC SIGNAL  
EX. WATER VALVE  
EX. PAVEMENT  
EX. CONCRETE  
EX. LANDSCAPE(PRESERVE AND PROTECT)  
EX. RESTRICTED ACCESS  
EX. TREE

- DEMOLITION NOTES:**
- REFER TO LANDSCAPE PLANS FOR DEMOLITION AND IRRIGATION REPLACEMENT WITHIN THE CITY RIGHT OF WAY
  - PRESERVE AND PROTECT EXISTING MAINLINE AND WIRING UNDER EXISTING DRIVEWAY DURING DEMOLITION PROCEDURES.



**DILLON & MURPHY ENGINEERING**  
847 N. CLUFF AVENUE  
SUITE A-2, LODI, CA 95240  
(209) 334-6613

**DANIELS CENTER  
ON-SITE IMPROVEMENT PLANS**  
**TOPOGRAPHIC SURVEY AND DEMOLITION PLAN**

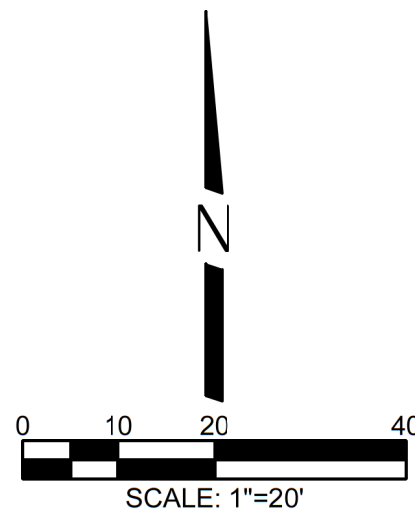
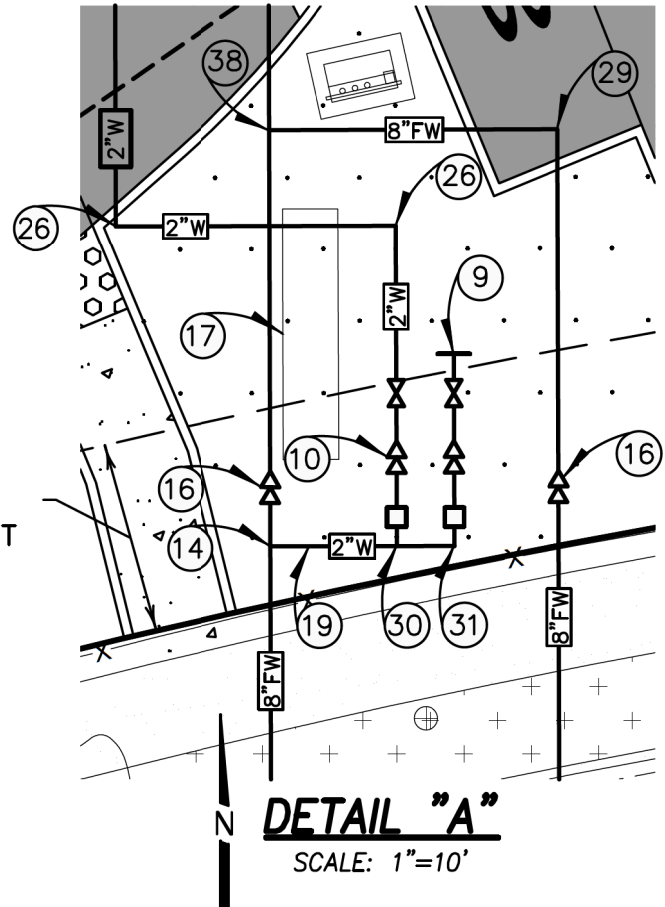
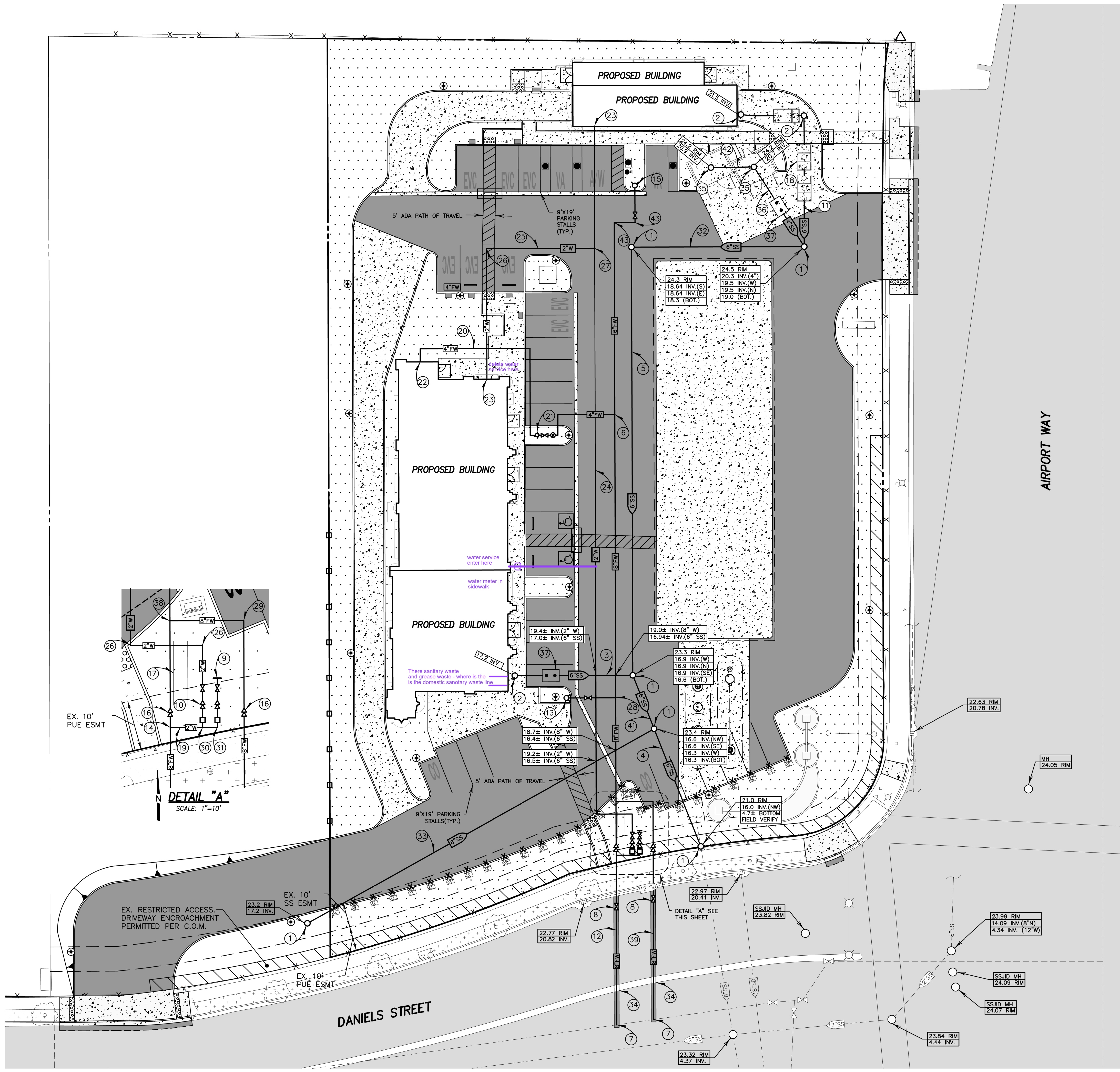
MANTECA, CALIFORNIA  
AUGUST, 2024

REV. NO.	DESCRIPTION	DATE	BY	SCALE: 1"=30'	BENCH MARK: COM# 108 EL: 23.716	SHEET
				DRAWN BY: JMO	DESCRIPTION: 2-INCH BRASS DISC LOCATED IN THE TOP OF CURB IN THE EAST RETURN OF THE SOUTHEAST CORNER OF THE INTERSECTION OF DANIELS STREET AND S. AIRPORT WAY (NGVD 29)	C2
				DESIGNED BY:		OF 7 SHEETS
				CHECKED BY: JM		JOB NO. 22178
				AS BUILT BY:		









CONSTRUCTION NOTES:

- INSTALL SSMH PER C.O.M. STD. DWG. S-3.
- INSTALL SSC0 PER C.O.M. STD. DWG. S-13.
- INSTALL 48 LF ~ 6" SS LINE. S=0.006.
- INSTALL 57 LF ~ 6" SS LINE. S=0.011.
- INSTALL 174 LF ~ 6" SS LINE. S=0.01.
- INSTALL 8"x8"x8" TEE WITH REDUCERS(2).
- CONNECT TO EX. WATER MAIN PER C.O.M. STD. DWG. W-11.
- INSTALL WATER VALVE PER C.O.M. STD. DWG. W-6.
- FOR IRRIGATION USE: INSTALL 13 LF ~ 1" WATER LINE, 1" WATER METER, RP/DCV PER C.O.M. STD. W-15, WATER VALVE PER C.O.M. STD. DWG. W-6.
- FOR DOMESTIC USE: INSTALL 1-1/2" WATER METER, RP/DCV PER C.O.M. STD. W-15 AND 2" WATER VALVE PER C.O.M. STD. DWG. W-6.
- INSTALL 19 LF ~ 6" SS LINE. S=0.021.
- INSTALL 248 (TOTAL) LF ~ 8" FW LINE(AWWA C900-CLASS 150 PVC)
- FOR FIRE HYDRANT UNIT: INSTALL 20 LF ~ 6" FW LINE(AWWA C900-CLASS 150 PVC) AND FH PER C.O.M. STD. DWG. W-8.
- INSTALL 8"x8"x2" TEE.
- FOR FIRE HYDRANT UNIT: INSTALL 101 LF ~ 6" FW LINE(AWWA C900-CLASS 150 PVC) AND FH PER C.O.M. STD. DWG. W-8.
- INSTALL DOUBLE CHECK DETECTOR CHECK VALVE ASSEMBLY PER C.O.M. STD. W-15
- SEE ARCHITECT PLANS FOR DETAILS.
- INSTALL 3-CLARIFIER RECYCLED WATER TANKS. SEE ARCHITECT PLANS FOR DETAILS.
- INSTALL 7 LF ~ 2" WATER LINE.
- INSTALL 128 (TOTAL) LF ~ 4" FW LINE FOR BUILDING(AWWA C900-CLASS 150 PVC)
- INSTALL FDC, PIV AND 4" CHECK VALVE.
- BUILDING FW LINE CONNECTION POINT.
- BUILDING DOMESTIC WATER CONNECTION POINT.
- INSTALL 311 (TOTAL) LF ~ 2" WATER LINE.
- INSTALL 97 (TOTAL) LF ~ 2" WATER LINE.
- INSTALL 2"x2" 90° ELBOW.
- INSTALL 2"x2"x2" TEE.
- INSTALL 8"x6"x8" TEE.
- INSTALL 8"x8" 90° ELBOW.
- INSTALL 2"x2"x2" TEE WITH REDUCER.
- INSTALL 1"x1" 90° ELBOW.
- INSTALL 71 LF ~ 6" SS LINE. S=0.012.
- INSTALL 162 LF ~ 6" SS LINE. S=0.006.
- TRENCH PER CITY OF MANTECA DWG. NO. U-5, REMOVE AND REPLACE EX. MEDIAN PER C.O.M. STD. DWG. ST-34.
- INSTALL STORM DRAIN DROP INLET PER C.O.M. STD. DWG. D-6.(TO CONNECT TO SS)
- INSTALL 38 LF ~ 4" SS LINE. S=0.011.
- INSTALL GREASE INTERCEPTOR PER C.O.M. STD. DWG. M-1. SEE ARCHITECT PLANS FOR DETAILS.

LEGEND

- BFD BACK FLOW DEVICE
- BOT. BOTTOM
- DCV DOUBLE CHECK VALVE
- EX. EXISTING
- FD. FOUND
- FW FIRE WATER
- FDC FIRE DEPARTMENT CONNECTION
- FH FIRE HYDRANT
- IP IRON PIPE
- MH MANHOLE
- PP POWER POLE
- PUE PUBLIC UTILITY EASEMENT
- RP REDUCED PRESSURE
- SS SANITARY SEWER
- SD STORM DRAIN
- EX. STREET LIGHT

- EX. PAVEMENT
- 4" AC OVER
- 8" CLASS II AB @ 95% RC

- EX. CONCRETE

- PROPOSED CONCRETE

- PROPOSED LANDSCAPE

- VACUUM PARKING STALL

- AIR/WATER PARKING STALL

- COMPACT PARKING STALL

- ELECTRIC VEHICLE CHARGING STALL

- SEE ARCHITECT PLANS FOR DETAILS

- FIRE DEPARTMENT CONNECTION

- PROPOSED LIGHT POLE

CONSTRUCTION NOTES:

- INSTALL 8"x8"x8" TEE.
- INSTALL 104 LF ~ 8" FW LINE(AWWA C900-CLASS 150 PVC)
- INSTALL 4"x4" 90° ELBOW.
- INSTALL 23 LF ~ 6" SS LINE. S=0.013.
- INSTALL 18 LF ~ 6" SS LINE. S=0.011.
- INSTALL 6"x6" 90° ELBOW.

GENERAL NOTES:

- REFER TO SHEET C7 FOR ADDITIONAL EASEMENT DETAILS.



**DILLON & MURPHY ENGINEERING**  
847 N. CLUFF AVENUE  
SUITE A-2, LODI, CA 95240  
(209) 334-6613

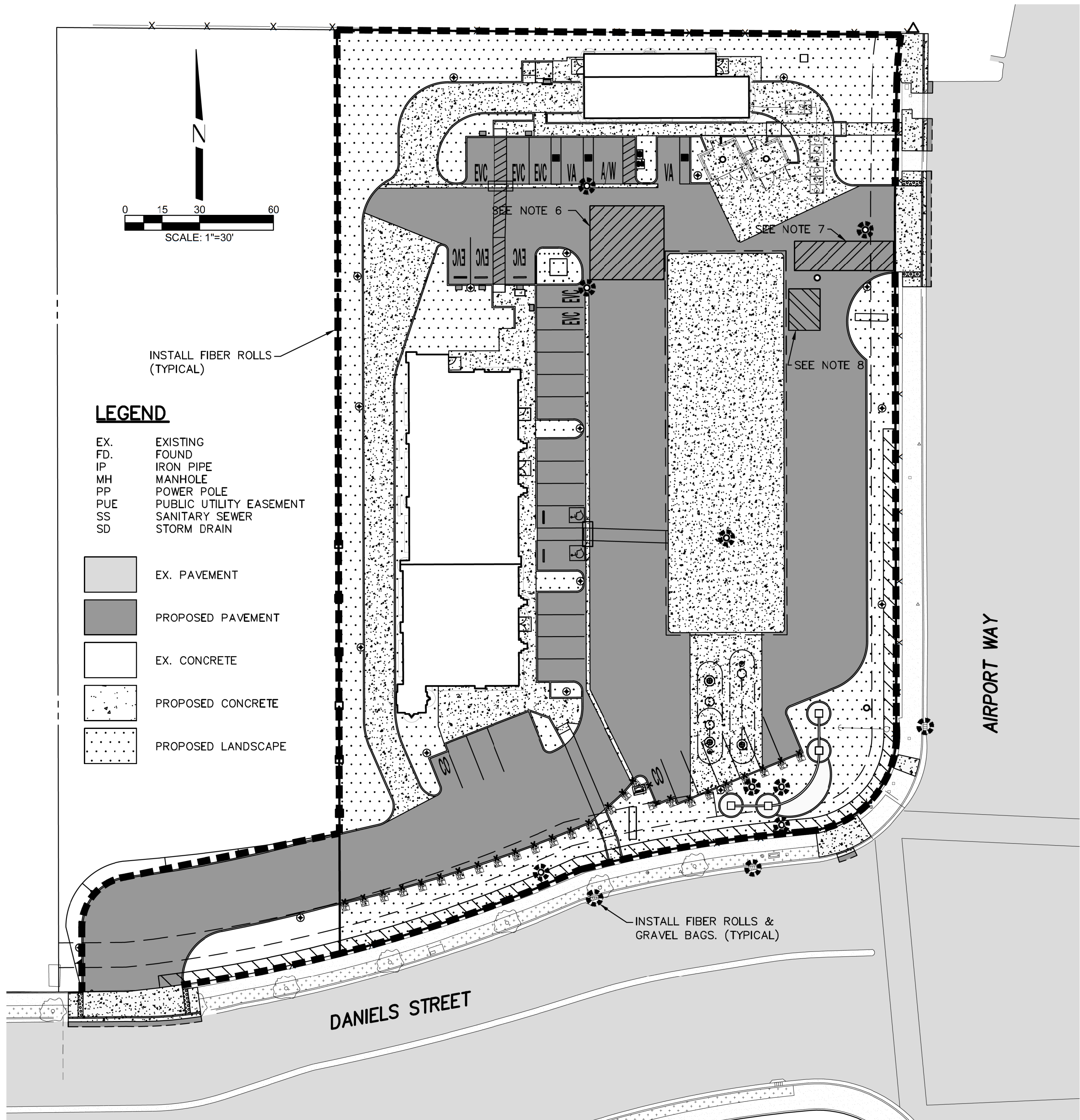
DANIELS CENTER  
ON-SITE IMPROVEMENT PLANS

UTILITY PLAN

MANTECA, CALIFORNIA  
AUGUST, 2024

REV. NO.	DESCRIPTION	DATE	BY	SCALE: 1"=20'	BENCH MARK: COM# 108 EL: 23.716	SHEET
				DRAWN BY: JMO	DESCRIPTION: 2-INCH BRASS DISC LOCATED IN THE TOP OF CURB IN THE EAST RETURN OF THE SOUTHEAST CORNER OF THE INTERSECTION OF DANIELS STREET AND S. AIRPORT WAY (NGVD 29)	C4
				DESIGNED BY:		OF 6 SHEETS
				CHECKED BY: JM		JOB NO.
				AS BUILT BY:		22178

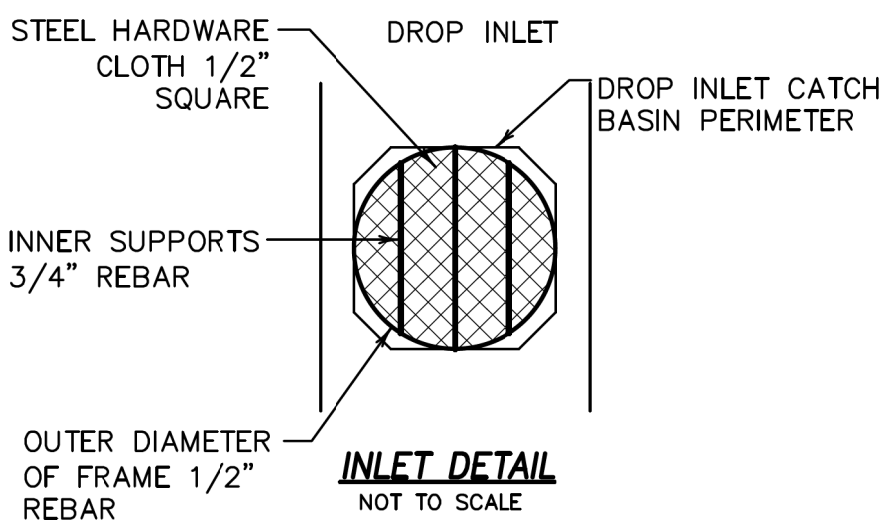




#### NOTES:

- DEVELOPER IS RESPONSIBLE FOR REPLACEMENT OF MISSING AND DAMAGED FILTER SCREENS UNTIL THE PROJECT IS ACCEPTED. A ROUTINE MAINTENANCE SCHEDULE IS TO BE MAINTAINED. FILTER SCREENS SHALL BE SECURED TO THE CATCHBASIN DURING THIS PERIOD.
- COMPRESSED BETWEEN REBAR FRAME AND DICB IS 1" THICK FILTER PAD MATERIAL. FILTER PAD MATERIAL IS DENSE TO RETAIN SILT YET POROUS ENOUGH TO ALLOW WATER DRAINAGE. THE FILTER SYSTEM IS WIRE TIED TO THE DICB IN 2 OR MORE PLACES TO PREVENT SLUPAGE OR REMOVAL OF UNIT FROM DICB
- THE FILTER PAD AND GRATE SHALL BE SECURELY ATTACHED TO THE DROP INLET BY WIRE OR TIE-WRAPPS.
- INLET FILTERS SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL. REPAIRS AND SEDIMENT AND DEBRIS REMOVAL SHALL BE MADE AS NECESSARY.
- INLET FILTERS SHALL BE "CONSTRUCTION" STORM DRAIN FILTERS BY POLLUTION SOLUTION.
- 30'x30' AREA RESERVED FOR WASTE BIN AND MATERIAL STORAGE. ALL MATERIALS TO BE STORED IN LOCK BOX. ENTIRE STORAGE AREA TO BE WRAPPED BY MINIMUM 6" BERM. CONTRACTOR TO RELOCATE AS NECESSARY.
- CONSTRUCTION ENTRANCE, CONTRACTOR TO RELOCATE AS NECESSARY.
- CONCRETE WASHOUT AREA. CONTRACTOR TO USE REMOVABLE CONCRETE WASHOUT BINS OR REFER TO DETAILS ON THIS SHEET. CONTRACTOR TO RELOCATE AS NECESSARY.

ANY WORK PERFORMED IN THE CITY RIGHT-OF-WAY SHALL REQUIRE OBTAINING AN ENCROACHMENT PERMIT FROM THE CITY.



#### STORM WATER POLLUTION PREVENTION PLAN

WITH THE EXCEPTION OF PROPERLY DESILTED WATER FROM SITE DEWATERING, THE CONTRACTOR SHALL NOT DISCHARGE ANY MATERIALS AN/OR LIQUIDS TO THE STORM DRAINAGE SYSTEM. ACTIVITIES OF PARTICULAR CONCERN ARE:

A. CONTRACTOR SHALL PROVIDE A CONCRETE TRUCK CLEAN-OUT AREA. CITY OF MANTECA INSPECTOR APPROVED BEST MANAGEMENT PRACTICES SHALL AT ALL TIMES BE FULLY IMPLEMENTED AT AND AROUND THE CLEAN-OUT AREA.

B. TACK COAT AND PRIME COAT ASPHALTS SHALL BE CAREFULLY SPRAYED AND ANY EXCESS MATERIAL SPILLED SHALL BE CLEANED UP IMMEDIATELY BY PROPER METHODS.

C. ALL EQUIPMENT REFUELING IN THE PROJECT AREA SHALL BE CAREFULLY DONE TO AVOID SPILLAGE. ANY SPILLS SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS. ALL FUELING VEHICLES SHALL BE EQUIPPED WITH SPILL CLEANUP MATERIALS AND EQUIPMENT.

D. CONTRACTOR SHALL CONTROL AND PROPERLY DISPOSE OF ALL LIQUIDS DURING SAWCUTTING ACTIVITIES.

#### STORM WATER POLLUTION PREVENTION PLAN

WITH THE EXCEPTION OF PROPERLY DESILTED WATER FROM SITE DEWATERING, THE CONTRACTOR SHALL NOT DISCHARGE ANY MATERIALS AN/OR LIQUIDS TO THE STORM DRAINAGE SYSTEM. ACTIVITIES OF PARTICULAR CONCERN ARE:

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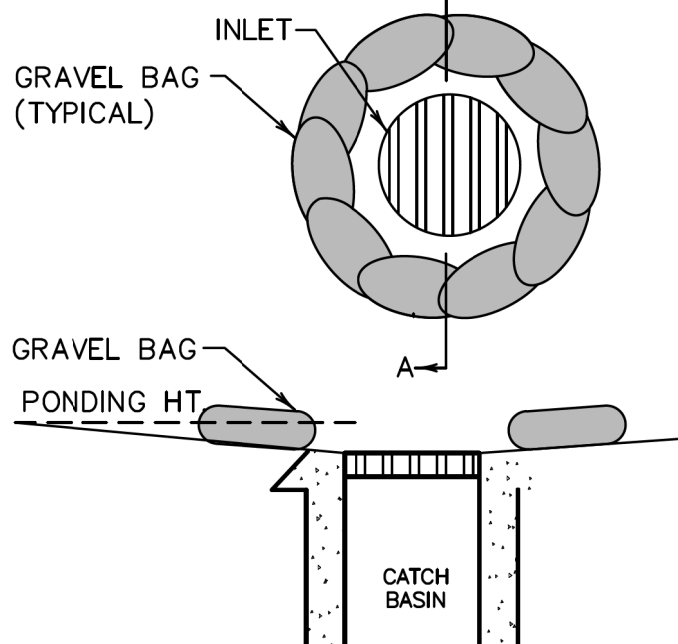
B. TACK COAT AND PRIME COAT ASPHALTS SHALL BE CAREFULLY SPRAYED AND ANY EXCESS MATERIAL SPILLED SHALL BE CLEANED UP IMMEDIATELY BY PROPER METHODS.

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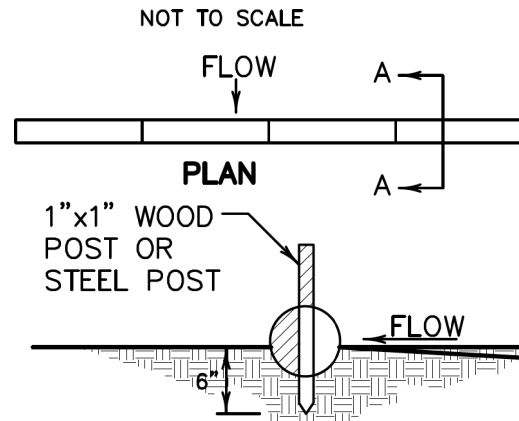
D. CONTRACTOR SHALL CONTROL AND PROPERLY DISPOSE OF ALL LIQUIDS DURING SAWCUTTING ACTIVITIES.

#### NOTES:

- GRAVEL BAGS SHALL BE WOVEN GEOTEXTILE FABRIC. (12"x18"± AND 15 LBS± OF 1" MAX. ROCK
- CONSTRUCT ON GENTLY SLOPING STREET WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE OUT OF SUSPENSION.
- INSPECT AND REPAIR FILTERS AFTER EACH STORM EVENT. REMOVE SEDIMENT WHEN 1/2 OF THE FILTER DEPTH HAS BEEN FILLED. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA TRIBUTARY TO A SEDIMENT BASIN OR OTHER FILTERING MEASURE.
- SEDIMENT AND GRAVEL SHALL BE IMMEDIATELY REMOVED FROM TRAVELED WAY OF ROAD.
- GRAVEL BAG INLET PROTECTION ON ROADS OPEN TO THE PUBLIC WILL REQUIRE DELINEATION DEVICES TO ALERT MOTORISTS, BICYCLISTS AND PEDESTRIANS. THE USE OF SUCH DEVICES SHALL BE SUBJECT TO THE ENGINEERS APPROVAL.



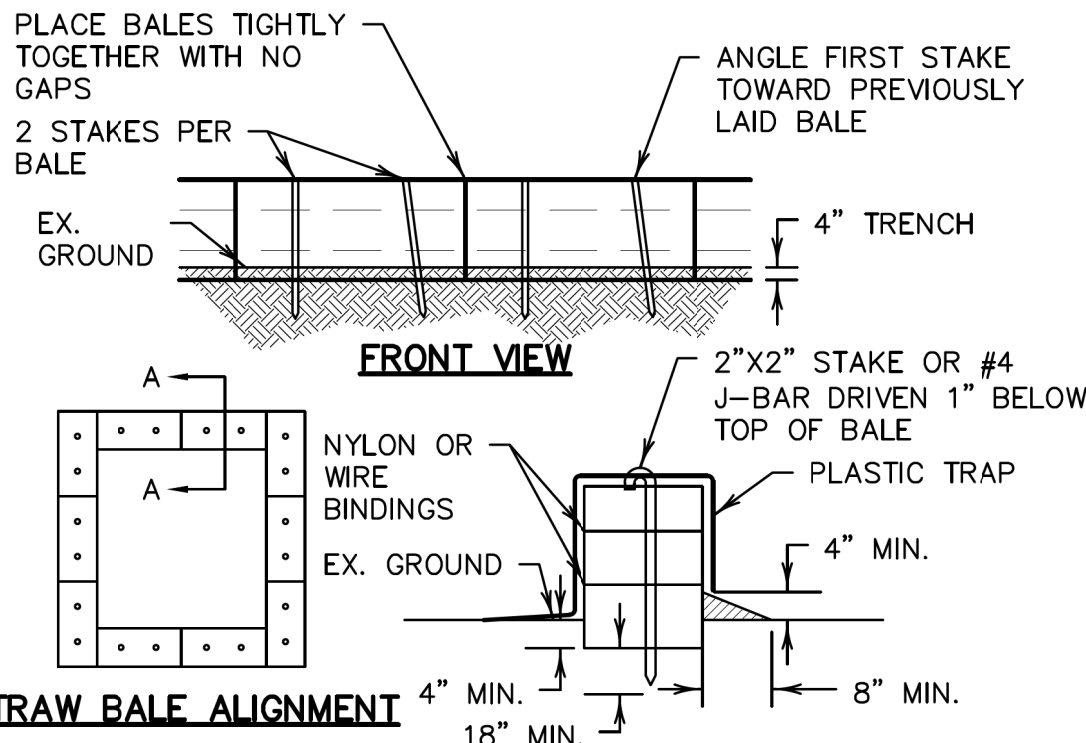
#### CATCHBASIN AND GRAVEL BAG DETAIL



#### SECTION A-A TYPICAL FIBER ROLL DETAIL NOT TO SCALE

#### NOTES:

- FILTER ROLLS SHALL BE CONSTRUCTED LONG ENOUGH TO EXTEND ACROSS THE EXPECTED FLOW PATCH.
- SUPPORT POSTS SHALL BE A MINIMUM 24" LONG 1"x1" WOOD POSTS DRIVEN A MINIMUM OF 6" INTO THE GROUND. POSTS SHALL BE SPACED A MAXIMUM OF 4 FEET APART.
- FILTER ROLLS SHALL BE IMBEDDED A MINIMUM OF 3" INTO EXISTING GROUND.
- CONTRACTOR SHALL MAKE INSPECTIONS WEEKLY DURING THE WET SEASON, MONTHLY DURING THE DRY SEASON, AND IMMEDIATELY AFTER EACH RAINFALL TO DETERMINE IF REPAIRS AND SEDIMENT REMOVAL IS REQUIRED. SEDIMENT SHALL BE REMOVED BEFORE IT HAS REACHED ONE HALF THE HEIGHT OF THE FILTER ROLL.



#### STRAW BALE ALIGNMENT

#### SECTION "A-A"

#### NOTES:

- PLACE BALES IN A 4" DEEP TRENCH. BALES SHALL BE PLACED SO THAT BINDINGS ARE HORIZONTAL.
- BALES SHALL BE ANCHORED BY TWO 2"x2" STAKES OR #4 J-BAR DRIVEN FLUSH WITH THE TOP OF THE BALE. THE FIRST STAKE OR J-BAR IN EACH BALE SHALL BE DRIVEN AT AN ANGLE TOWARDS THE PREVIOUSLY LAID BALE TO FORCE THE BALES TIGHTLY TOGETHER.
- AFTER BALES ARE STAKED IN PLACE, EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE SIDE TO A MINIMUM HEIGHT OF 4".
- CONTRACTOR SHALL INSPECT BALES WEEKLY AND AFTER EACH WASHOUT. REPAIRS SHALL BE MADE AS NECESSARY AND SEDIMENT SHALL BE REMOVED WHEN IT HAS ACCUMULATED TO A DEPTH OF 6". BALES SHALL BE REPLACED WHEN THEY HAVE BEEN DAMAGED, COLLAPSED, OR DECOMPOSED.

#### TEMPORARY CONCRETE WASHOUT DETAIL

NOT TO SCALE

#### EROSION CONTROL NOTES:

- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION BY THE CONTRACTOR PER THE EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS LATEST REVISION.
- INLET FILTERS SHALL BE PLACED AROUND ALL DRAIN INLETS WHICH COULD RECEIVE DRAINAGE IN UNPAVED AND PAVED AREAS DURING THE WET SEASON (OCTOBER 1 TO APRIL 15).
- STORM DRAIN INLET FILTERS SHALL BE PLACED ON ALL DRAIN INLETS AFTER COMPLETION OF PAVING AND SHALL REMAIN IN PLACE ON A YEAR ROUND BASIS. FILTERS SHALL BE REMOVED BY THE CONTRACTOR UPON ACCEPTANCE OF DEVELOPMENT IMPROVEMENTS.
- CONTRACTOR TO REMOVE ANY SEDIMENTATION DEPOSITED ON EXISTING PAVED ROADWAYS PRIOR TO LEAVING THE SITE, IF POSSIBLE, AND IN ALL CASES WITHIN 24 HOURS.
- CONTRACTOR TO MAINTAIN STREET FRONTAGE SWALES.

6. INSTALL FIBER ROLLS AND/OR SILT FENCE ALONG PERIMETER OF PROJECT SITE AND AS SHOWN ON THESE PLANS.

7. CONTRACTOR TO INSPECT SITE AFTER FIRST SIGNIFICANT RAINFALL AND MAINTAIN "FIBER ROLLS", WHERE NECESSARY AND REMOVE ACCUMULATED SILT AT LOCATIONS WHERE EROSION HAS OCCURRED AND SEDIMENT HAS GATHERED.

8. ALL IMPLEMENTED MEASURES SHALL BE MAINTAINED WEEKLY (OR SOONER, DEPENDING ON NEED) THROUGHOUT THE RAINY SEASON (OCTOBER 1ST. THRU APRIL 15TH).

9. STORM WATER POLLUTION PREVENTION PLAN (SWPPP) TO BE KEPT ON SITE AT ALL TIME. (IF APPLICABLE.)

10. BEST MANAGEMENT PRACTICES (BMP'S) SHOWN HERE ARE MINIMUM REQUIREMENTS FOR SATISFACTION OF THE NPDES SWPPP MANAGEMENT PLAN.

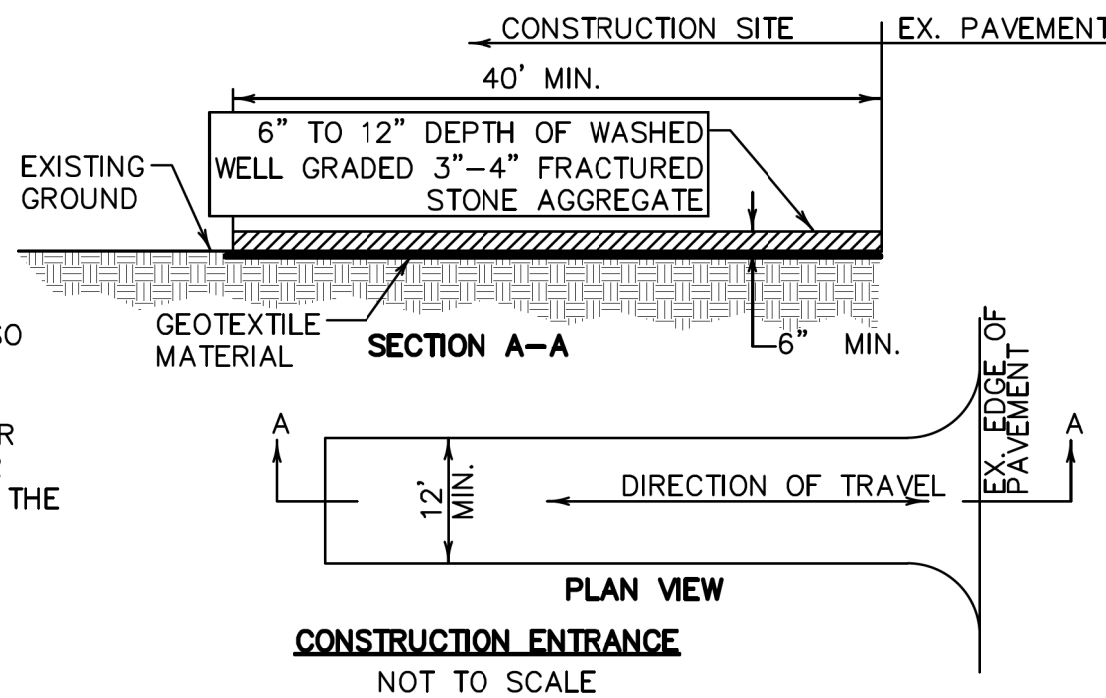
11. CONTRACTOR TO GRADE AREA FOR WORKER'S VEHICLES. WATER AT LEAST DAILY TO RETARD DUST OR TAKE MORE EXTENSIVE MEASURES AS NECESSARY.

12. TRASH COLLECTION AREA SHALL BE INSTALLED AND FENCED AS NECESSARY TO STORE ALL DEBRIS AND SECURE THE DEBRIS FROM BEING MOVED BY WIND.

13. PORTABLE RESTROOMS SHALL NOT BE LOCATED CLOSER THAN 50' FROM CATCH BASINS.

#### CONSTRUCTION ENTRANCE NOTES:

- STABILIZED CONSTRUCTION SITE ACCESS SHALL BE CONSTRUCTED OF 3" TO 4" WASHED, WELL-GRADED, FRACTURED STONE AGGREGATE. MATERIAL SHALL BE PLACED TO A MINIMUM THICKNESS OF 6", SLOPED AWAY FROM THE ROADWAY.
- LENGTH OF ENTRANCE SHALL BE A MINIMUM OF 40'. WIDTH SHALL BE A MINIMUM 12' OR GREATER IF NECESSARY TO COVER ALL VEHICULAR INGRESS AND EGRESS. PROVIDE AMPLE TURNING RADII.
- THE ENTRANCE SHALL BE KEPT IN GOOD CONDITION BY OCCASIONAL TOP DRESSING WITH MATERIAL AS SPECIFIED IN NOTE 1.
- ACCESSES SHALL BE INSPECTED WEEKLY DURING PERIODS OF HEAVY USAGE, MONTHLY DURING NORMAL USAGE, AND AFTER EACH RAINFALL, WITH MAINTENANCE PROVIDED AS NECESSARY. PERIODIC TOP DRESSING SHALL BE DONE AS NEEDED.
- ANY DEBRIS, SEDIMENT OR ROCK TRACKED ONTO PUBLIC STREETS WILL BE SWEEPED UP BY THE END OF EACH WORKDAY.



REV. NO.	DESCRIPTION	DATE	BY

#### DUST CONTROL NOTES:

1. DUST CONTROL IS THE CONTRACTOR'S SOLE RESPONSIBILITY WHEN WORKING ON-SITE. THE WORK SHOWN ON THIS SHEET SHALL BE INCLUDED IN THE BID. THE CONTRACTOR SHALL ALSO WATER THE SITE AS AN EXTRA, WHEN REQUESTED BY THE CITY OF MANTECA.

2. ALL MOTORS SHALL BE KEPT PROPERLY TUNED AND MAINTAINED.

3. EARTH MOVING ACTIVITIES SHALL CEASE IF WIND EXCEEDS 20 MPH AVERAGE OVER ONE HOUR.

4. ON-SITE VEHICLE SPEEDS SHALL BE LIMITED TO 15 MPH.

5. ALL OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE SAN JOAQUIN COUNTY UNIFIED AIR POLLUTION CONTROL DISTRICT AND CITY OF MANTECA.

6. ALL AREAS WITH VEHICLE TRAFFIC SHOULD BE WATERED PERIODICALLY FOR STABILIZATION OF DUST EMISSIONS.

7. STREETS ADJACENT TO THE PROJECT SITE SHOULD BE SWEEP AS NEEDED TO REMOVE SILT WHICH MAY HAVE ACCUMULATED FROM CONSTRUCTION ACTIVITIES.

8. THE AREA DISTURBED BY CLEARING, EARTH MOVING OR EXCAVATION ACTIVITIES SHOULD BE MINIMIZED AT ALL TIMES.

9. ALL MATERIAL TRANSPORTED ON OR OFF-SITE SHALL EITHER BE SUFFICIENTLY WATERED OR SECURELY COVERED TO PREVENT EXCESSIVE AMOUNTS OF DUST.

10. WHEN CONDITIONS ARE DRY, ALL MATERIAL EXCAVATED OR GRADED SHOULD BE SUFFICIENTLY WATERED TO PREVENT EXCESSIVE AMOUNTS OF DUST. WATERING SHOULD OCCUR AT LEAST TWICE A DAY WITH COMPLETE COVERAGE, PREFERABLY IN THE LATE MORNING AND AFTER WORK IS COMPLETED FOR THE DAY.



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**DILLON & MURPHY  
ENGINEERING**  
847 N. CLUFF AVENUE  
SUITE A-2, LODI, CA 95240  
(209) 334-6613

#### DANIELS CENTER ON-SITE IMPROVEMENT PLANS

#### EROSION AND SEDIMENT CONTROL PLAN

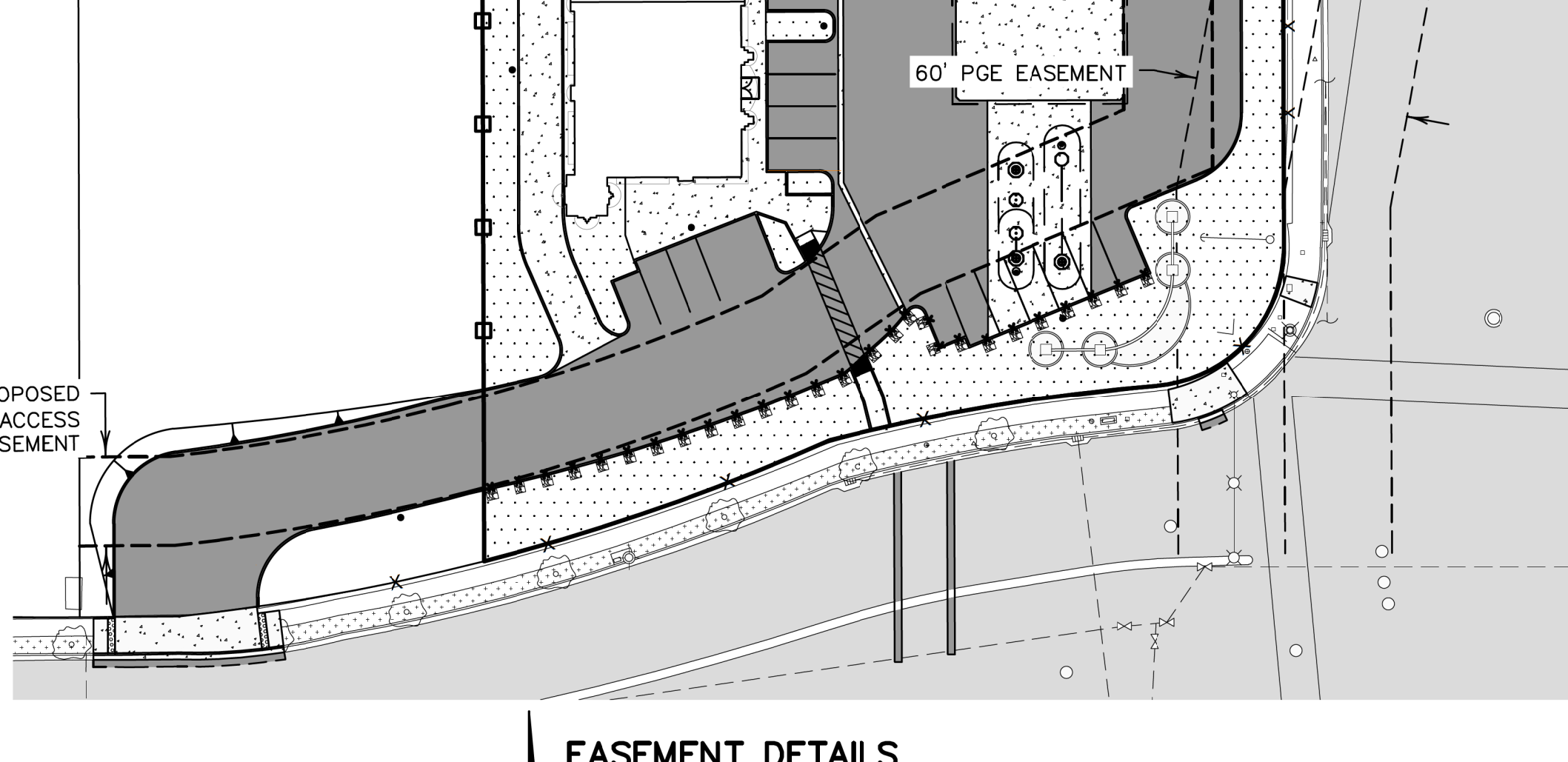
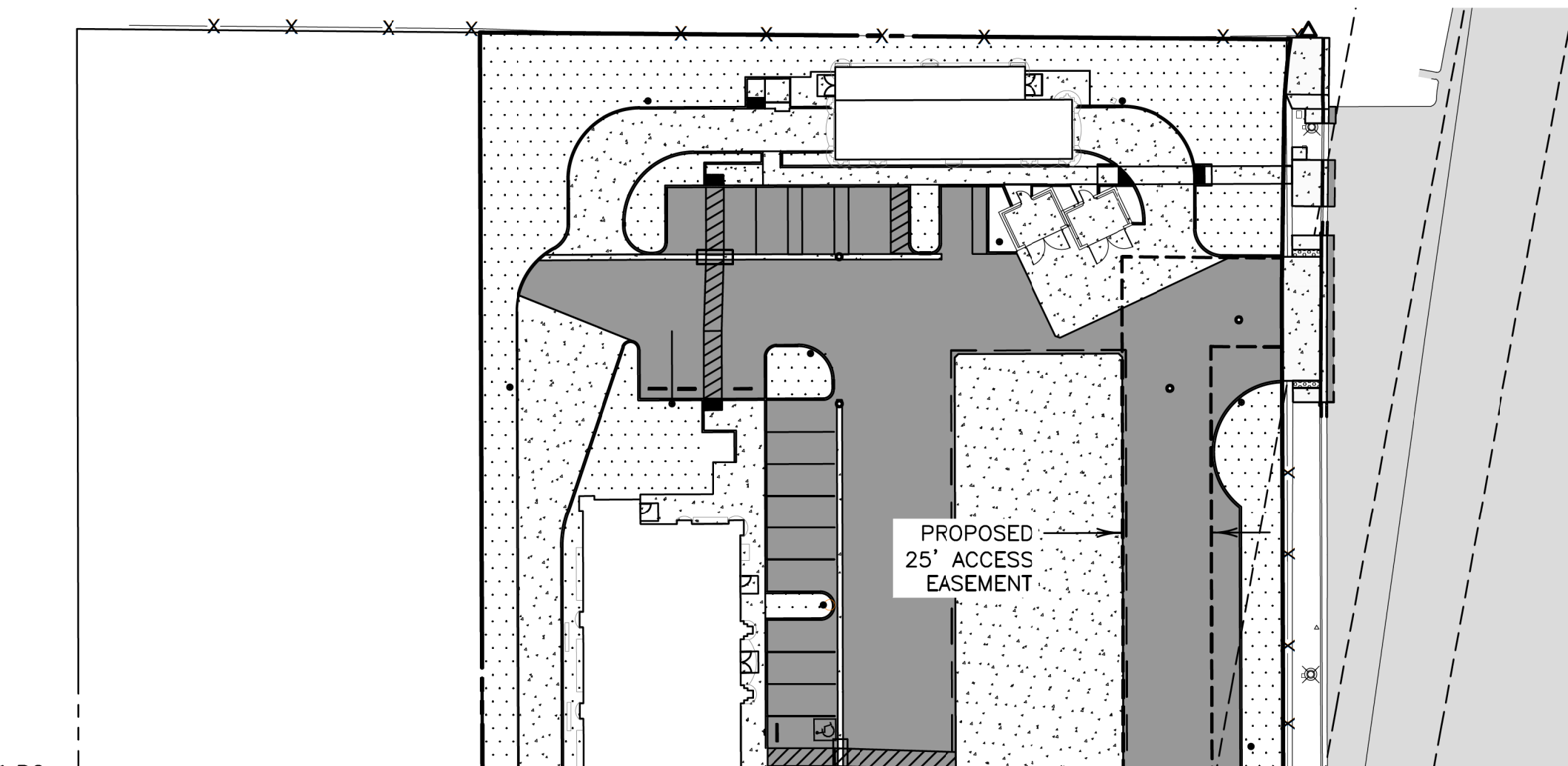
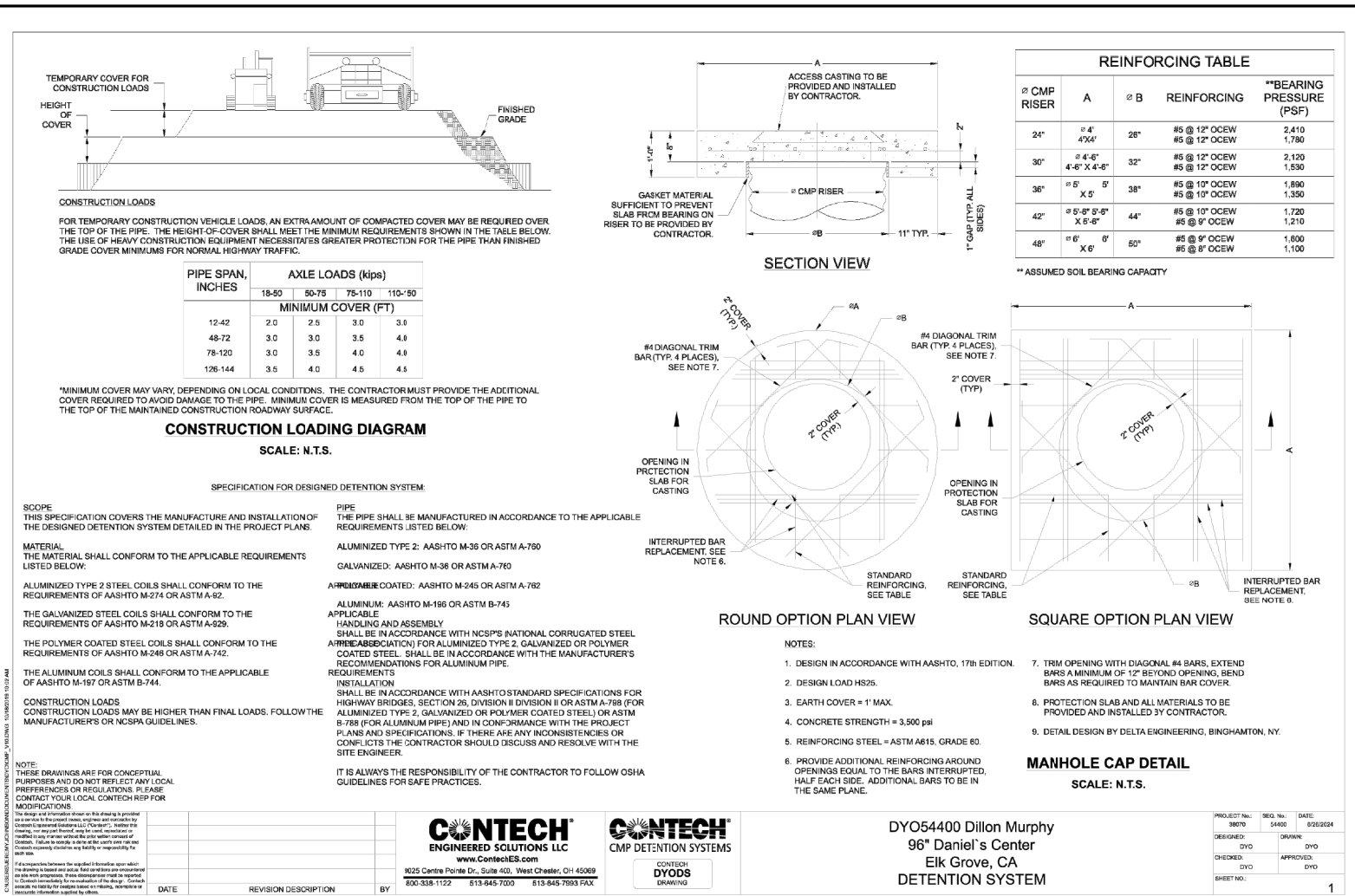
MANTECA, CALIFORNIA  
AUGUST, 2024

SCALE: 1"=30'	BENCH MARK: <u>COM# 108</u> EL: 23.716	SHEET
DRAWN BY: JMO	DESCRIPTION: 2-INCH BRASS DISC LOCATED IN THE TOP OF CURB IN THE EAST RETURN OF THE SOUTHEAST CORNER OF THE INTERSECTION OF DANIELS STREET AND S. AIRPORT WAY (NGVD 29)	C5
DESIGNED BY: JMO		OF 6 SHEETS
CHECKED BY: JM		JOB NO.
AS BUILT BY:		22178

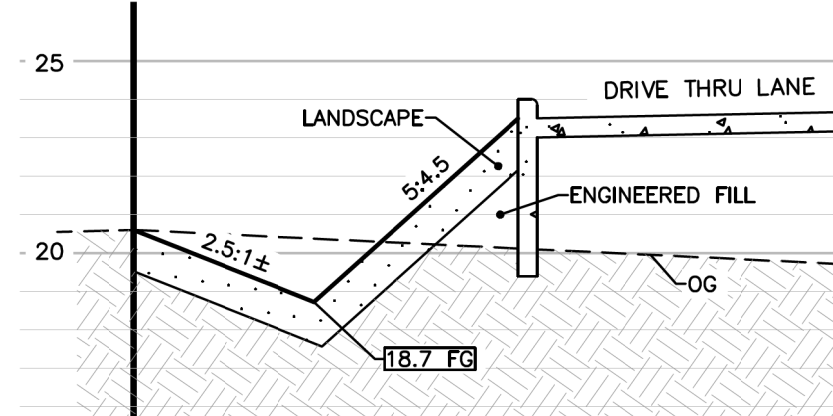




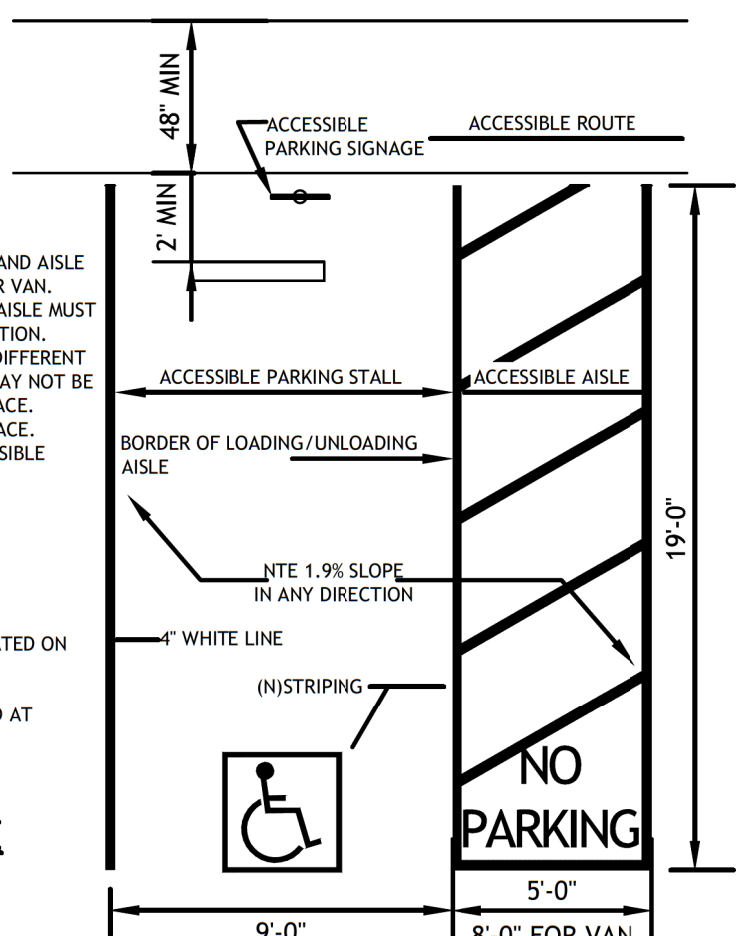
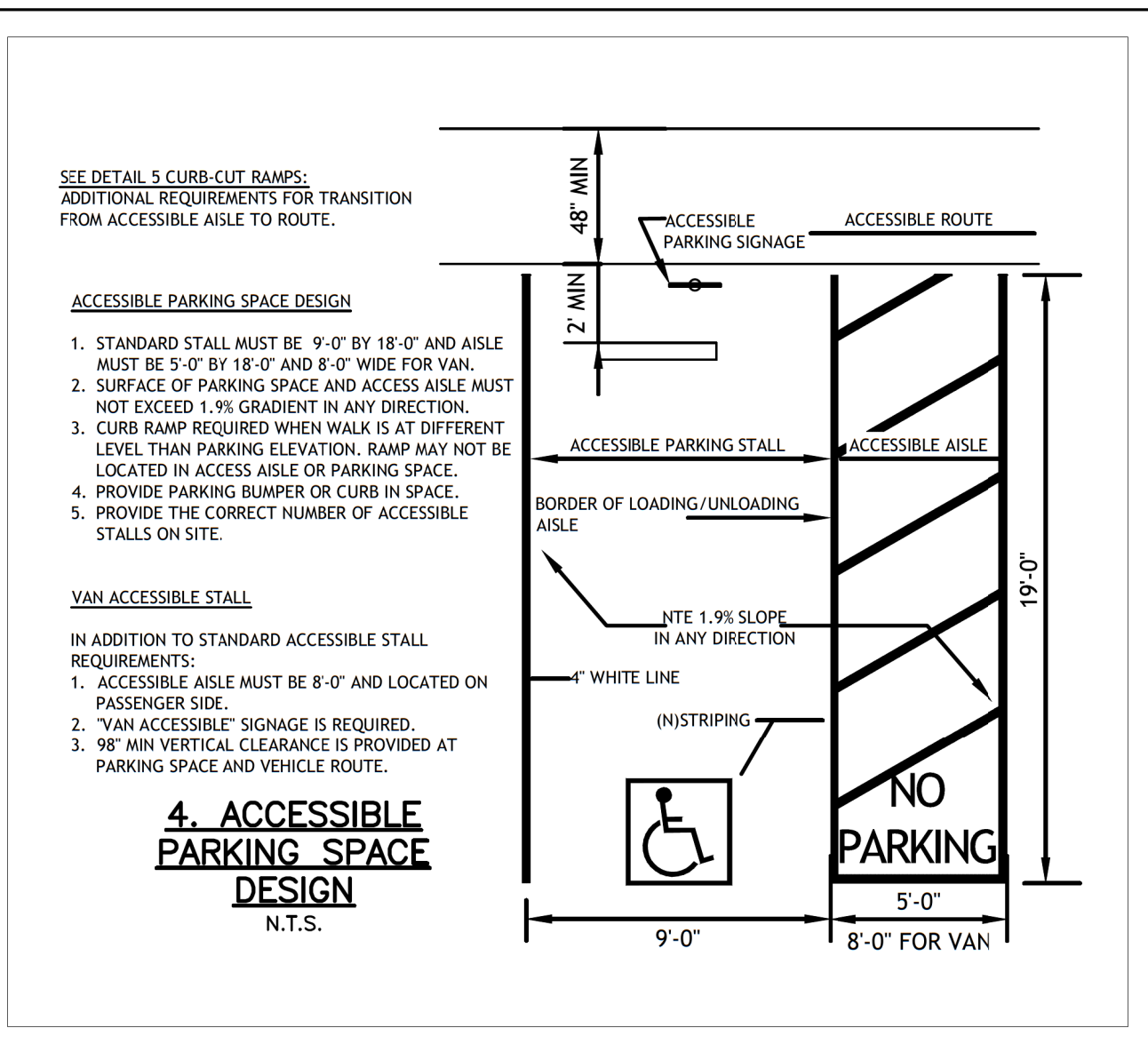
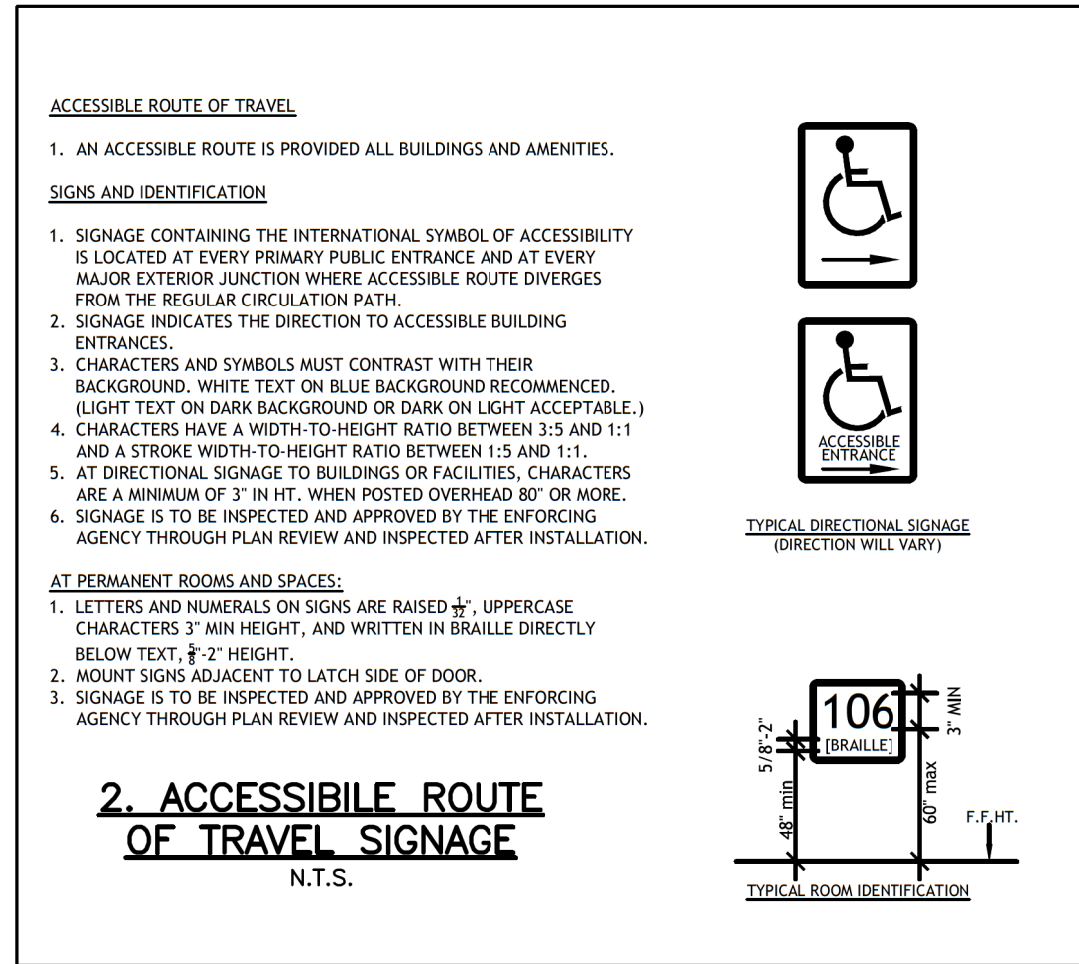





**EASEMENT DETAILS**  
SCALE: 1"=40'



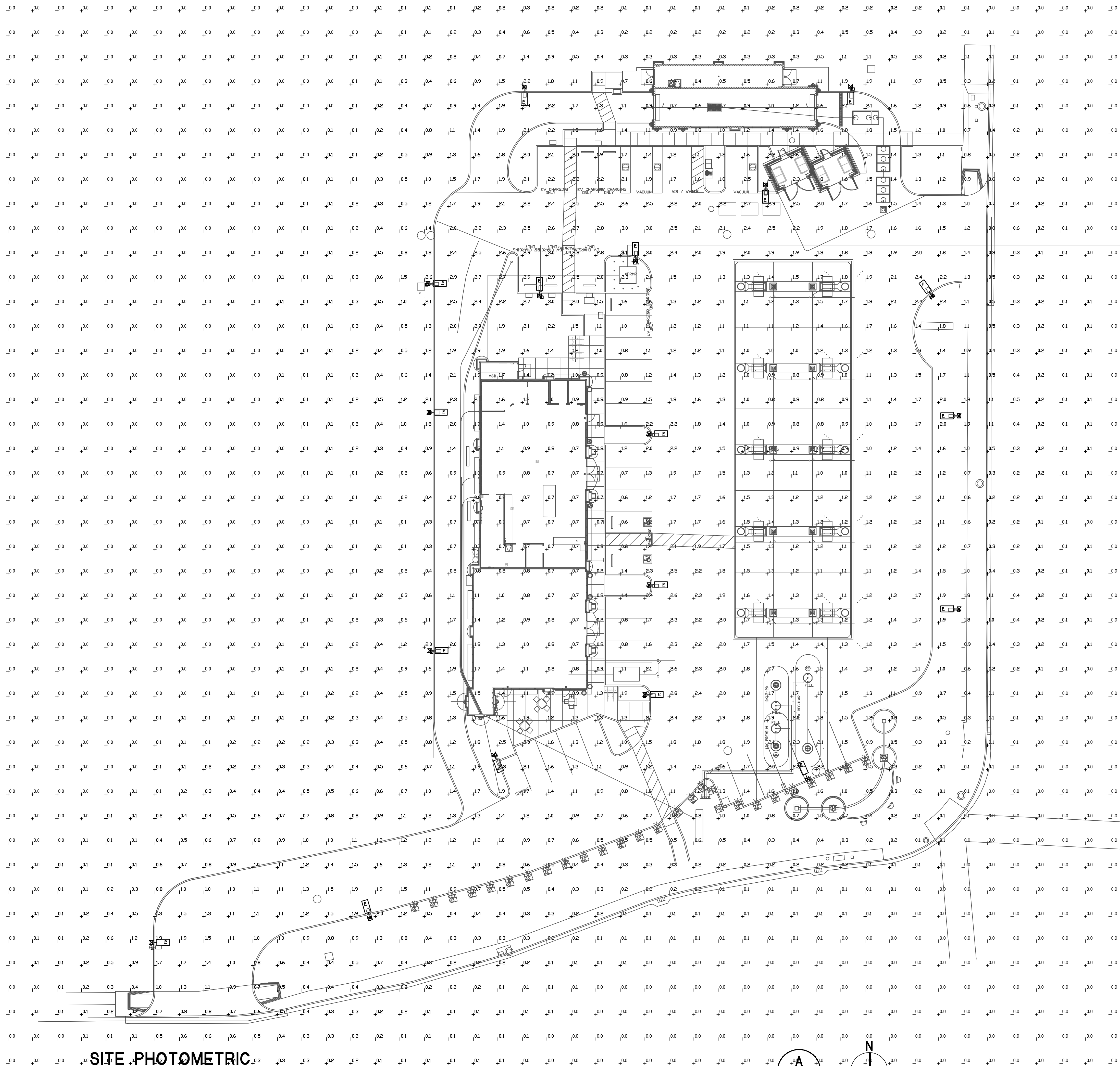
**DETAIL "D"**  
(CURB CUTS CORNERS)  
N.T.S.



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 <b>DILLON &amp; MURPHY</b> <b>ENGINEERING</b>		<b>DILLON &amp; MURPHY</b> <b>ENGINEERING</b> 847 N. CLUFF AVENUE SUITE A-2, LODI, CA 95240 (209) 334-6613	
<b>DANIELS CENTER</b> <b>ON-SITE IMPROVEMENT PLANS</b>			
<b>DETAIL SHEET 2</b>			
MANTECA, CALIFORNIA AUGUST, 2024			
SCALE: AS SHOWN	BENCH MARK: <u>COM# 109</u> EL: 23.716 DESCRIPTION: 2-INCH BRASS DISC LOCATED IN THE TOP OF CURB IN THE EAST RETURN OF THE SOUTHEAST CORNER OF THE INTERSECTION OF DANIELS STREET AND S. AIRPORT WAY (NGVD 29)	SHEET	
DRAWN BY: JMO		C7	
DESIGNED BY: JMO		OF 7 SHEETS	
CHECKED BY: JM		JOB NO.	
AS BUILT BY:		22178	

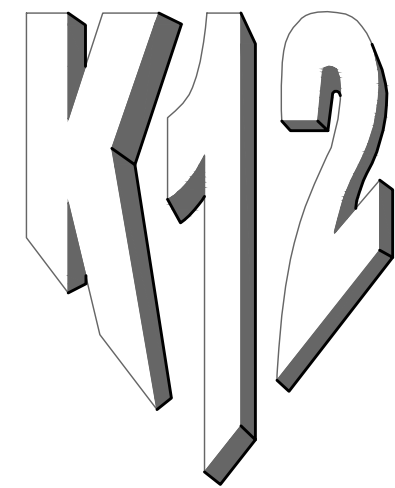
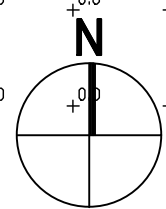




SITE PHOTOMETRIC

SCALE: 1"=20'-0"

A  
E3.3



Architects

K12 Architects, Inc  
3090 Fite Circle, #104  
Sacramento, CA 95827

PH:(916) 455-6500 FAX:(916) 455-8100

CONSULTANTS:



CONTRACTOR:

PROJECT:

Daniels  
Center  
C store  
AND  
Fuel  
Canopy

2125 DANIELS ST.  
MANTECA, CA 95336

DEVELOPER:

TWO GUYS FOOD  
AND FUEL

147 LATHROP RD  
MANTECA, CA 95330

REVISIONS:

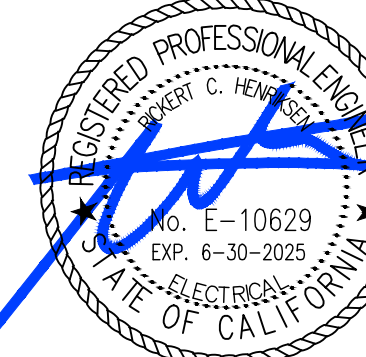
PLAN CHECK

FEB 27, 2024

LANDLORD/TENANT

FEB 3, 2025

PROFESSIONAL SEALS:



Date Signed: February 10, 2025

PROJECT NUMBER:

20-004

PROJECT DATE:

09/12/2023

SHEET CONTENTS:

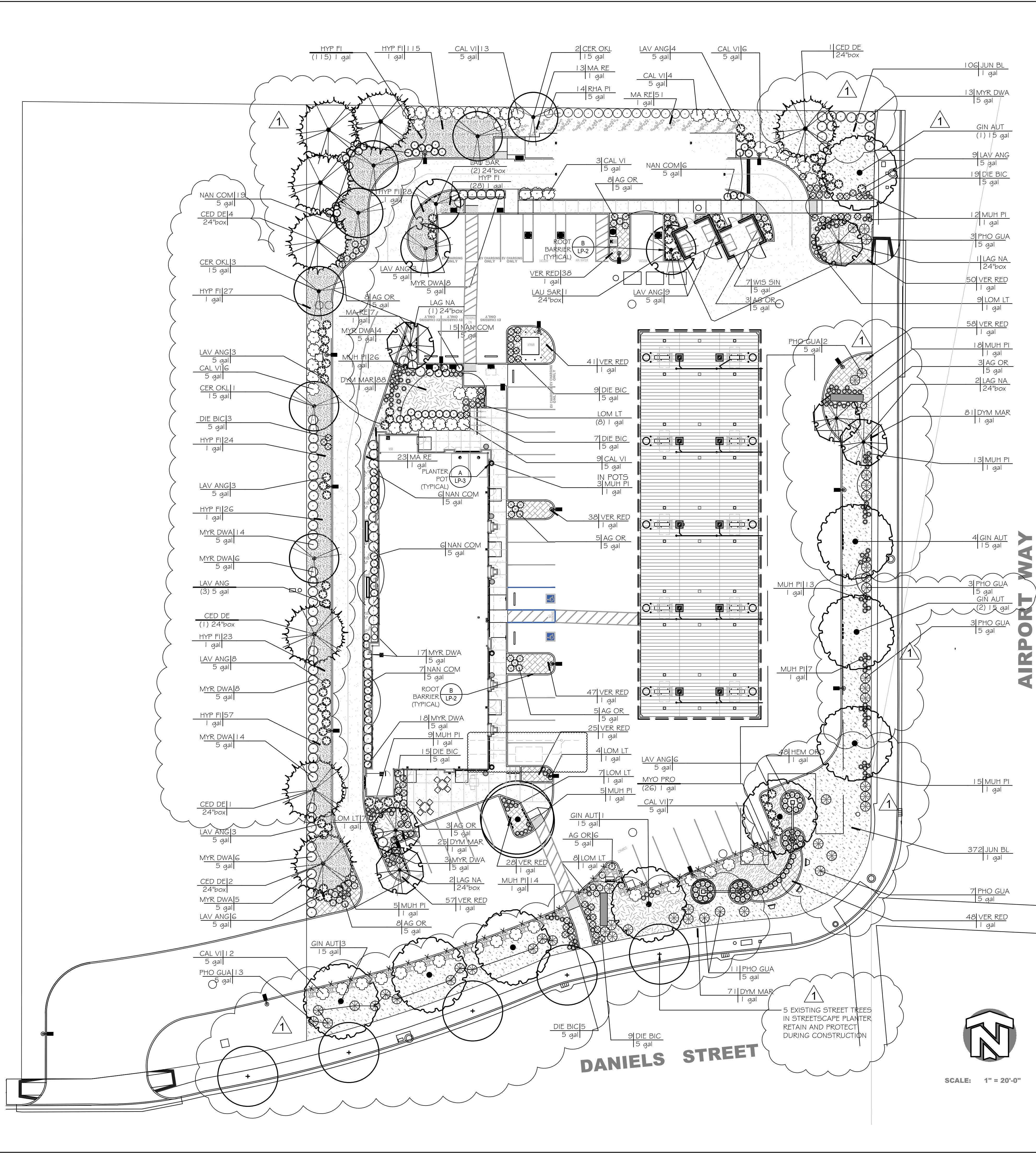
SITE PHOTOMETRIC

SHEET NUMBER:

E3.3







### PLANT SCHEDULE

CODE	BOTANICAL / COMMON NAME	CONT	QTY
TREES			
CED DE	Cedrus deodara 'Deodar Cedar' Low Water / WUCOLS	24"box	8
CER OKL	Cercis canadensis 'Texensis' / Oklahoma Redbud Low Water / WUCOLS	15 gal	7
GIN AUT	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree Medium Water / WUCOLS	15 gal	9
LAG NA	Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle Low Water / WUCOLS	24"box	6
LAU SAR	Laurus nobilis 'Saratoga' / Sweet Bay Low Water / WUCOLS	24"box	3
ZEL GRE	Zelkova serrata 'Green Vase' / Green Vase Sawleaf Zelkova Low Water / WUCOLS	15 gal	1
CODE	BOTANICAL / COMMON NAME	SIZE	QTY
SHRUBS			
AG OR	Agapanthus orientalis 'BLUE' / Blue' Lily of the Nile Medium Water / WUCOLS	5 gal	50
CAL VI	Callistemon viminalis 'Little John' / Dwarf Bottlebrush Low Water / WUCOLS	5 gal	60
DIE BIC	Dietsa bicolor / Fortnight Lily Low Water / WUCOLS	5 gal	67
HEM ORO	Heimerocallis x 'Stella de Oro' / Stella de Oro Daylily Medium Water / WUCOLS	1 gal	47
LAV ANG	Lavandula angustifolia 'Twinkl Purple' / English Lavender Low Water / WUCOLS	5 gal	65
LOM LT	Lomandra longifolia 'Lime Tuff' / Lime Tuff Dwarf Mat Rush Low Water / WUCOLS	1 gal	43
MUH PI	Muhlenbergia capillans 'Pink Cloud' / Pink Muhly Low Water / WUCOLS	1 gal	140
MYR DWA	Myrtus communis 'Compacta' / Dwarf Myrtle Low Water / WUCOLS	5 gal	88
NAN COM	Nandina domestica 'Compacta' / Dwarf Heavenly Bamboo Low Water / WUCOLS	5 gal	62
PHO GUA	Phormium tenax 'Guardsman' / New Zealand Flax Low Water / WUCOLS	5 gal	45
RHA PI	Raphiolepis indica 'Pink Lady' / Pink Lady Indian Hawthorn Medium Water / WUCOLS	5 gal	15
VINE/ESPALIER			
WIS SIN	Wistaria sinensis / Chinese Wistaria Medium Water / WUCOLS	5 gal	7
SYMBOL	BOTANICAL / COMMON NAME	CONT	SPACING QTY
GROUND COVERS			
	Dymondia margaritae / Silver Carpet Dymondia Low Water / WUCOLS	1 gal	24" o.c. 420
	Hypericum calycinum 'Fiesta' / St. John's Wort Low Water / WUCOLS	1 gal	36" o.c. 302
	Juniperus horizontalis 'Blue Rug' / Blue Rug Juniper Low Water / WUCOLS	1 gal	36" o.c. 649
	Mahonia repens / Creeping Mahonia Low Water / WUCOLS	1 gal	36" o.c. 80
	Myoporum parvifolium 'Prostratum' / Prostrate Trailing Myoporum Low Water / WUCOLS	1 gal	48" o.c. 26
	Verbena peruviana 'Red Devil' / Peruvian Verbena Low Water / WUCOLS	1 gal	18" o.c. 430

### SHEET SCHEDULE:

REFER TO SHEET LP-1 FOR PLANTING PLAN

REFER TO SHEET LP-2 FOR NOTES & DETAILS

REFER TO SHEET LP-3 FOR PLANTING SOIL ANALYSIS

REFER TO SHEET LP-4 FOR PLANTING SPECIFICATIONS

REVISIONS	BY
1	Building Dept. Jan 21, 2024
	CPB

CAROL PERRY BROWN

Landscape Architecture  
Irrigation Design

CID  
Creative Irrigation Design  
Innovative Association

916 226 0645  
perrydesign@att.net  
RLA 3941 CID 002624

DANIELS CENTER  
2125 Daniels St.  
Manteca, CA 95336  
TWO GUYS FOOD AND FUEL



## PLANTING PLAN

Date	January 2024
Scale	1"=20'-0"
Drawn	CPB
Job	
Sheet	LP-1
Of	Sheets



Date	January 2024
Scale	1"=20'-0"
Drawn	CPB
Job	
Sheet	LI-1
Of	Sheets



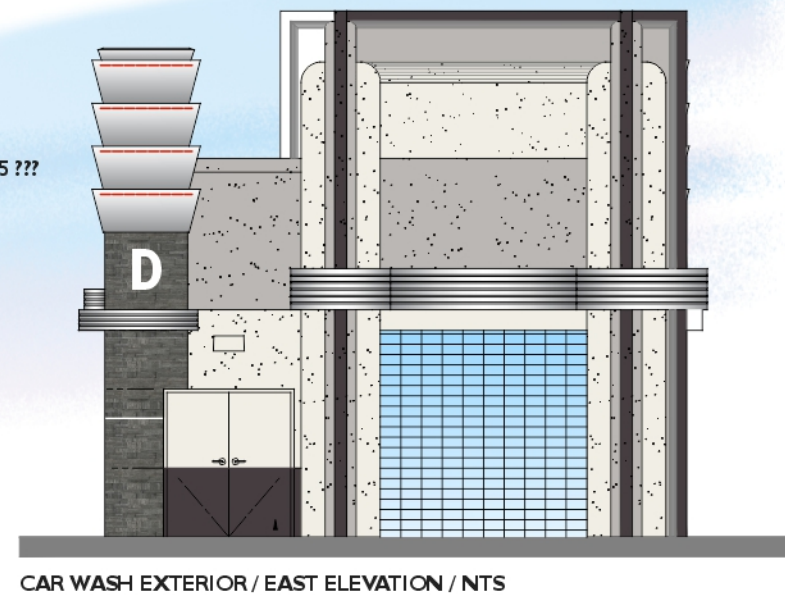
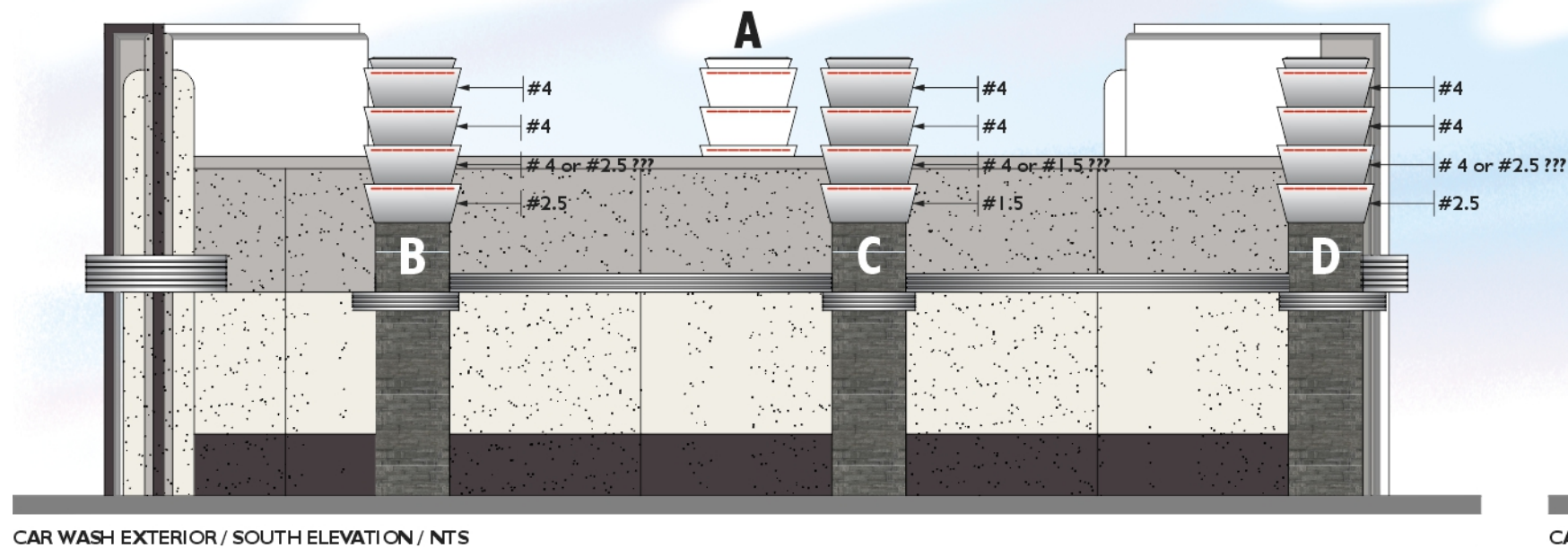
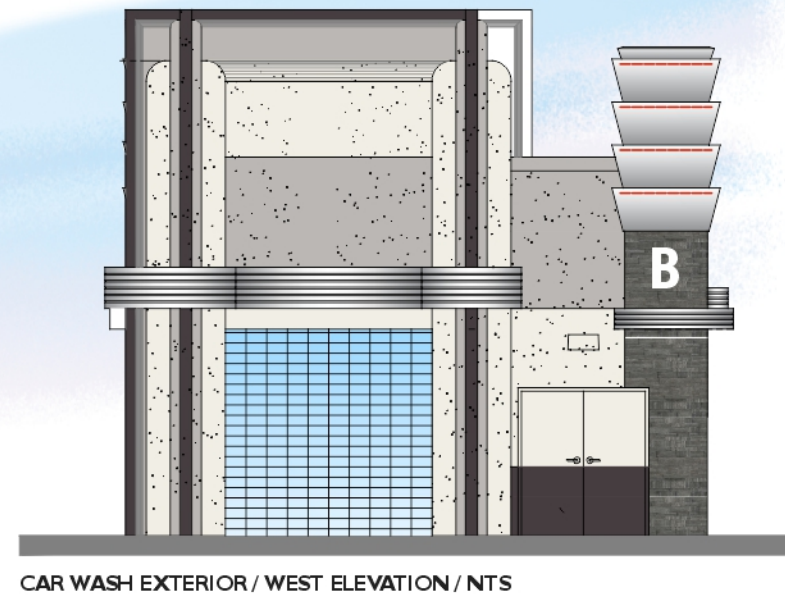
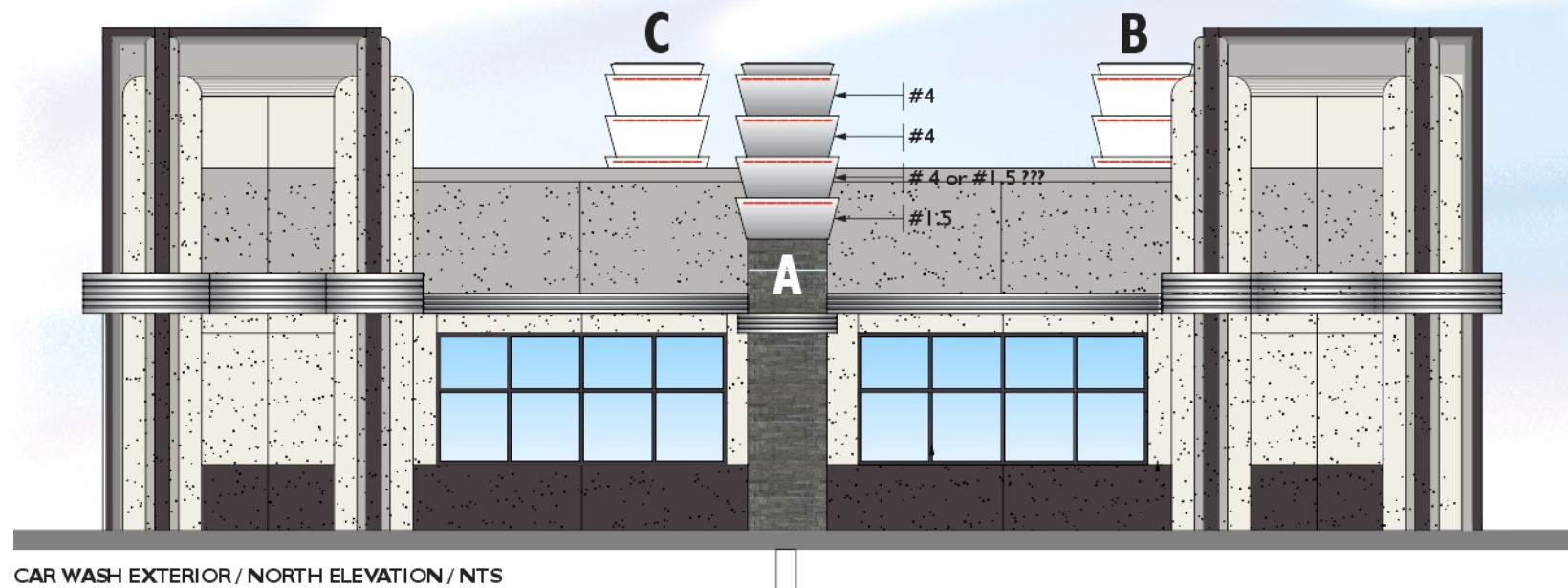








# TOP OF COLUMNS / LED LIGHTING SYSTEMS CAR WASH BUILDING

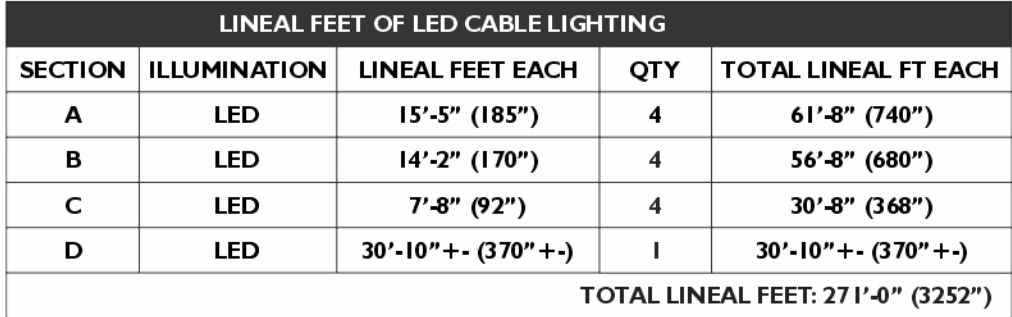


LINEAL FEET OF LED CABLE LIGHTING					
SECTION	TYPE	ILLUMINATION	LINEAL FEET EACH	QTY	TOTAL LINEAL FT EACH
A	#1.5	LED	8'-9" (105")	1	8'-9" (105")
A	#4	LED	22'-4" (268")	3	134'-0" (804")
B	#2.5	LED	14'-4" (172")	1	14'-4" (172")
B	#4	LED	22'-4" (268")	3	134'-0" (804")
C	#1.5	LED	8'-9" (105")	1	8'-9" (105")
C	#4	LED	22'-4" (268")	3	134'-0" (804")
D	#2.5	LED	14'-4" (172")	1	14'-4" (172")
D	#4	LED	22'-4" (268")	3	134'-0" (804")
TOTAL LINEAL FEET: 314'-2" (3770")					



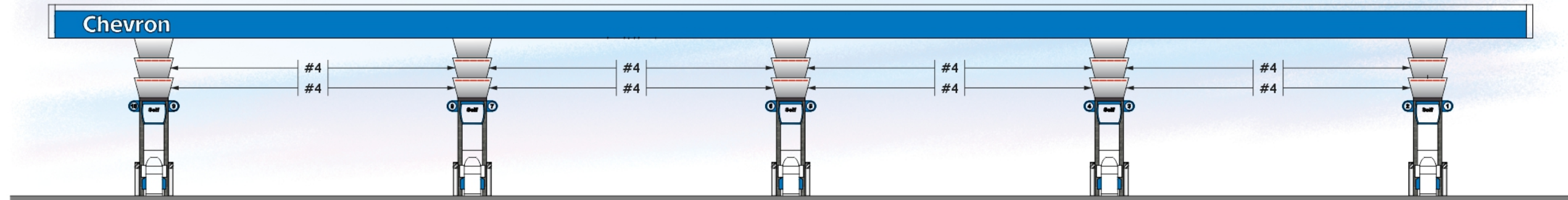




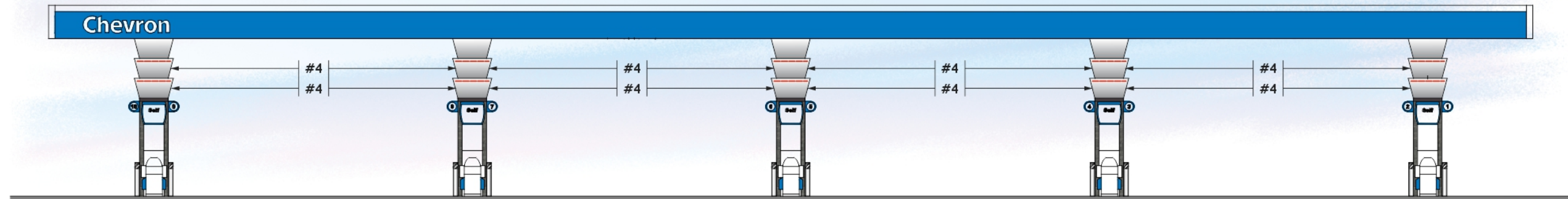




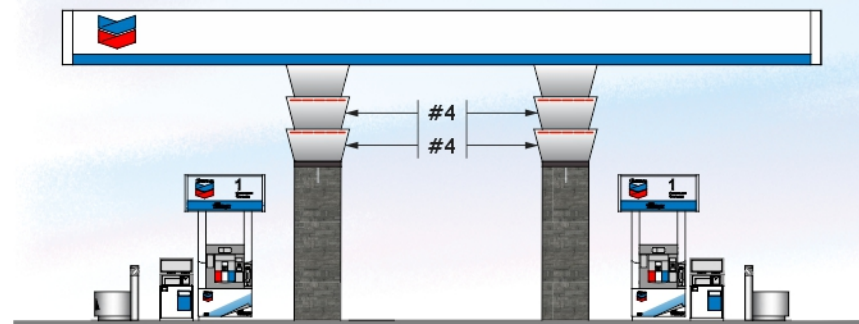
## TOP OF COLUMNS / LED LIGHTING SYSTEMS FUELING CANOPY



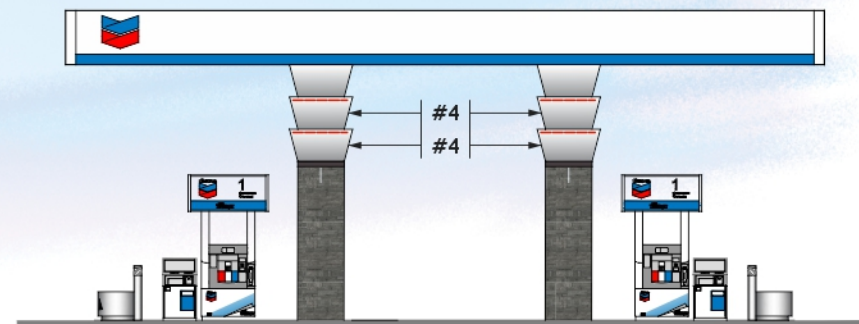
**AUTO FUELING CANOPY / SOUTH ELEVATION / NTS**



**AUTO FUELING CANOPY / NORTH ELEVATION / NTS**



**AUTO FUELING CANOPY / WEST ELEVATION / NTS**



**AUTO FUELING CANOPY / WEST ELEVATION / NTS**

LINEAL FEET OF LED CABLE LIGHTING				
TYPE	SECTION	ILLUMINATION	LINEAL FEET EACH	QTY
#4		LED	22'-4" (268")	20
TOTAL LINEAL FEET: 446'-8" (5360")				

**NOT FOR PRODUCTION**



240168 R2 / 6 OF 24

06.02.25 / 88L / 82 / LOCATED ENTER AND DO NOT ENTER / EXIT SIGNS ON ELEVATIONS. 02.20.25 / 88L / 81 / RENDERED SIGN PROGRAM FEATURES FOR ENTIRE PROJECT

NOTICE TO THE CUSTOMER Note: The order depicted on this drawing was created to assist you in visualizing our proposal. The original design herein are for informational purposes only and are not intended to be used for the construction of any building. Please contact our sales representative for more information.	CUSTOMER APPROVAL <input type="checkbox"/> ACCEPTED W/ NO CHANGES <input type="checkbox"/> ACCEPTED W/ CHANGES AS NOTED <input type="checkbox"/> RETIRE AS NOTED AND RESUBMIT BY _____ CUSTOMER _____ BY _____ LANDLORD _____ DATE _____ DATE _____	DATE _____ BY _____ DATE _____ BY _____ 06.03.23 08:23 06.03.23 08:23	COMPANY OR JOB NAME / JOB DESCRIPTION <b>DANAIELS COURT</b> SIGN PROGRAM PROJECT ADDRESS 2125 DANIELS COURT MATECA CALIFORNIA 95336 SALESPERSON <b>SCOTT CROFT</b> CUSTOMER CONTACT XXXXXX	<b>240168 R2</b>
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2025

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This sign is intended to be installed in accordance with the requirements of ARTICLE 600 of the national electrical code &/or other applicable codes. This includes proper grounding & bonding of the sign.

The location of the disconnect switch after installation shall comply w/ ARTICLE 600.6(A)(1) of the National Electrical Code.

**All measures shown in this drawing are nominal until the "NOT FOR PRODUCTION" is removed**







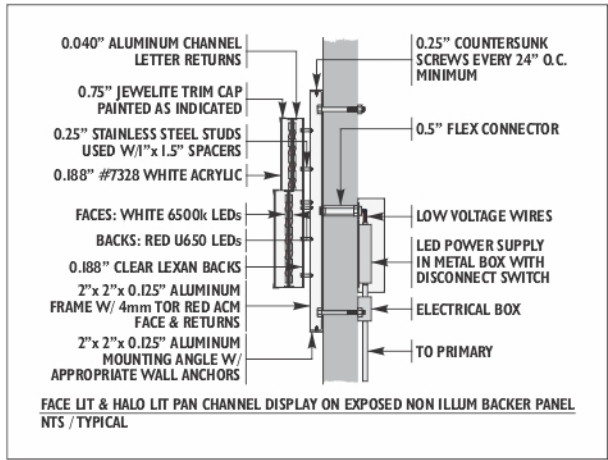
SIGN A / SF ILLUMINATED WALL SIGN



QTY (1) / 38.1 SQ FT

WALL TYPE: \_\_\_\_\_ REMOVALS: \_\_\_\_\_ NOTE: THERE HAS NOT BEEN AN OFFICIAL SURVEY COMPLETED AS OF 02.13.25

**SCOPE OF WORK: FABRICATE AND INSTALL (1) FACE & HALO ILLUMINATED PAN CHANNEL LETTERS W/ EXPOSED BACKER PANEL**



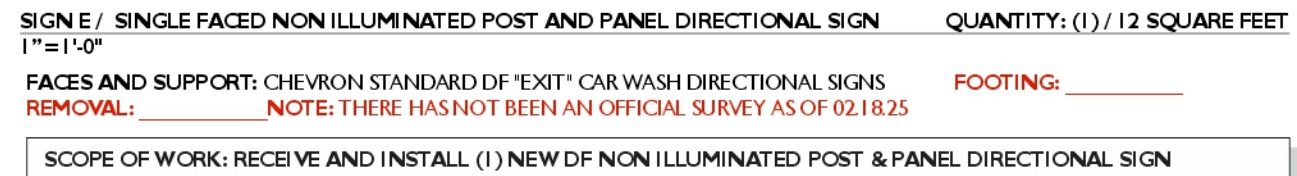
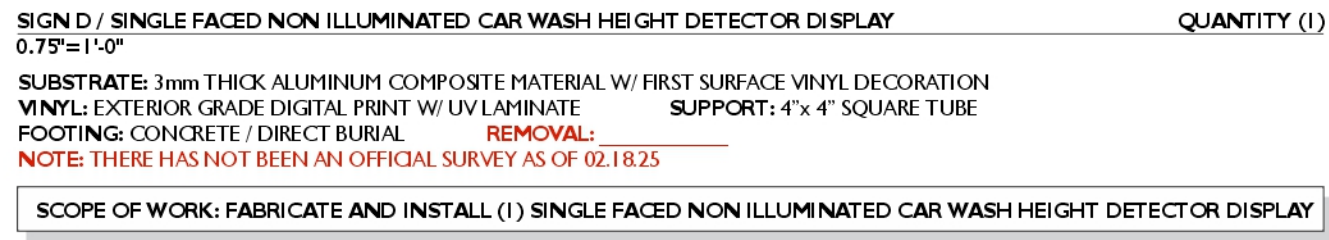




















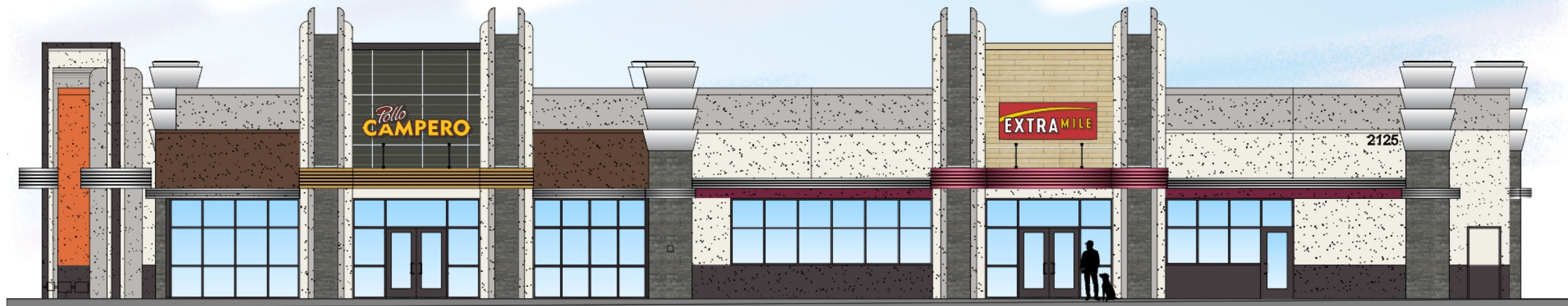












SIGN L / POLLO CAMPEROS SECTION OF BUILDING / EAST ELEVATION / NTS  
NTS (PROPORTIONAL)



SIGN L / POLLO CAMPEROS SECTION OF BUILDING / EAST ELEVATION / NTS  
0.125" = 1'-0"



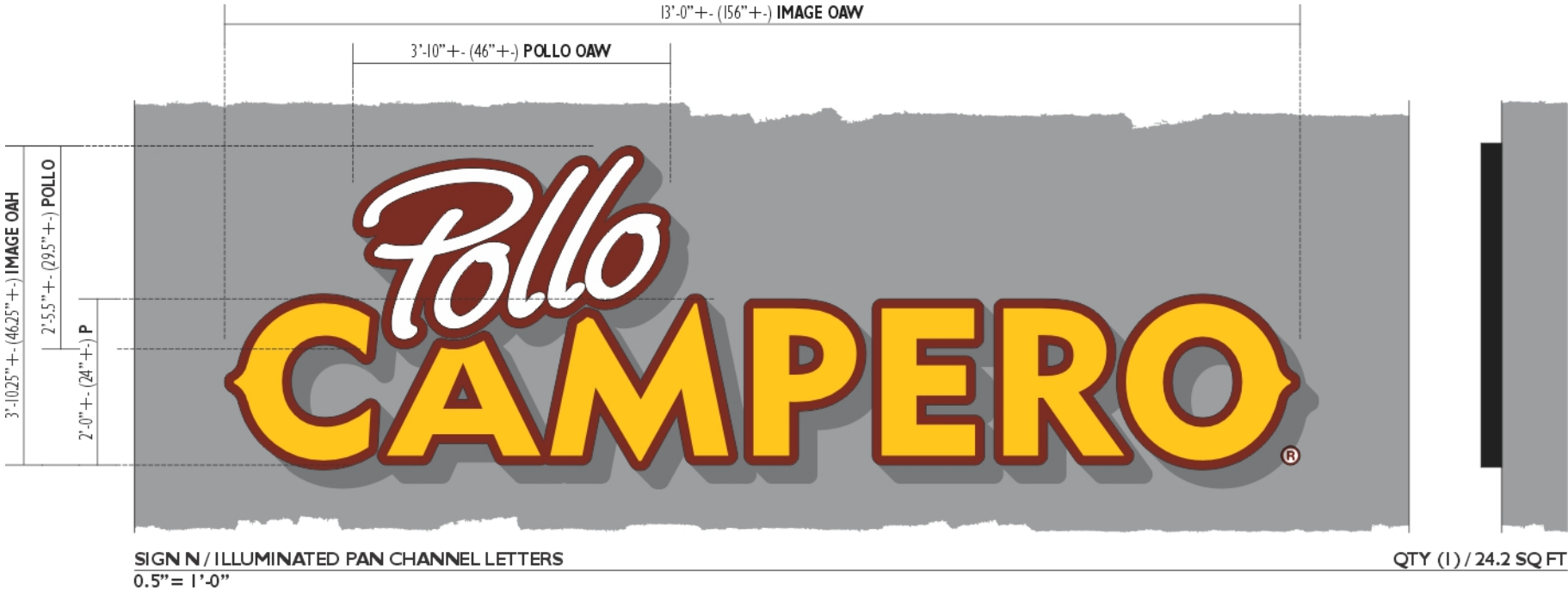






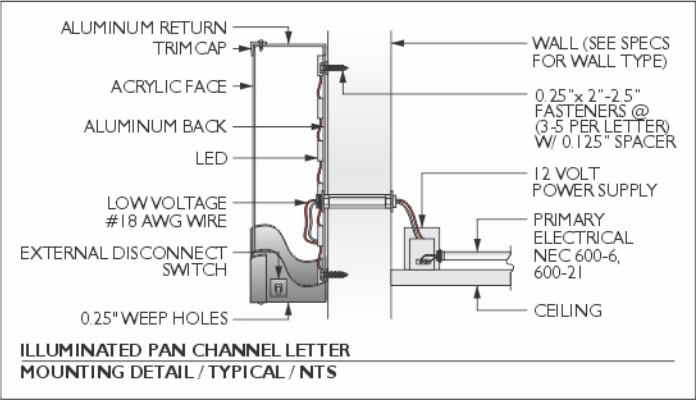


THIS ARTWORK IS REPRESENTATIONAL ONLY / FOR POSITIONING AND SIZING ONLY



**SIGNS L, M & N / ILLUMINATED PAN CHANNEL LETTERS SETS**  
**FACES:** 0.188" THICK WITH ACRYLIC W. FIRST SURFACE VINYL DECORATIONS  
**VINYLS:** SHOWN AS 3630-25 SUNFLOWER YELLOW, 3630-109 LIGHT RUST BROWN  
**NOTE:** COLORS SHOWN ARE REPRESENTATIONAL AND WILL NEED VERIFICATION PRIOR TO FABRICATION OF THE PAN CHANNEL FEATURES SHOWN HERE  
**TRIM CAP:** 0.75" (POSSIBLE USE OF 1" TRIM CAP W/ SECURITY CLIPS) BLACK (COLOR REQUIRES VERIFICATION PRIOR TO FABRICATION)  
**RETURNS:** 3" DEEP PREPAINTED BLACK ALUMINUM COIL (COLOR REQUIRES VERIFICATION PRIOR TO FABRICATION)  
**LETTERBACKS:** 3MM WHITE ACM      **ILLUMINATION:** WHITE LEDs  
**NOTE:** THE ARTWORK SHOWN HERE IS REPRESENTATIONAL ONLY AND IS NOT TO BE USED FOR FABRICATION  
**MOUNTING:** FLUSH TO WALLS USING APPROPRIATE FASTENERS  
**WALL TYPE(S):**  
**REMOVALS:** NO REMOVALS HAVE BEEN REQUESTED AS OF 02.18.25  
**NOTE:** THERE HAS NOT BEEN AN OFFICIAL SURVEY COMPLETED AS OF 02.18.25

SCOPE OF WORK: FABRICATE & INSTALL (1 EACH) THREE SETS TOTAL OF ILLUMINATED PAN CHANNEL LETTERS AND CAPSULES



NOT FOR PRODUCTION

INCORPORATED

**S**

DESIGNS

PO Box 44980 | 244 Campus Way | Redwood City, CA 94061 | P: 209.524.4484 | F: 209.521.0272 | CA LIC# 606001 (C-48) | IN LIC# 0005370 (C-6)

<div>NOTICE TO THE CUSTOMER</div> <div><p>The order submitted on this drawing is for informational purposes only and is not intended to be used for construction or installation. All measures shown in this drawing are nominal until the "NOT FOR PRODUCTION" is removed.</p><p>By signing this drawing document, I understand that I am not obligated to purchase this project, notwithstanding, the above artwork cannot be submitted for pricing, application, or installation until the drawing is approved by the customer. This drawing is for informational purposes only and is not intended to be used for construction or installation. All measures shown in this drawing are nominal until the "NOT FOR PRODUCTION" is removed.</p><p>The location of the disconnect switch after installation shall comply w/ ARTICLE 600.4(A)(1) of the National Electrical Code.</p></div>	<div>CUSTOMER APPROVAL</div> <div><div><input type="checkbox"/> ACCEPTED W/ NO CHANGES</div><div><input type="checkbox"/> ACCEPTED W/ CHANGES AS NOTED</div></div> <div><div><input type="checkbox"/> REVISE AS NOTED</div><div><input type="checkbox"/> RESUBMIT</div></div>		DATE	BY	DATE	BY
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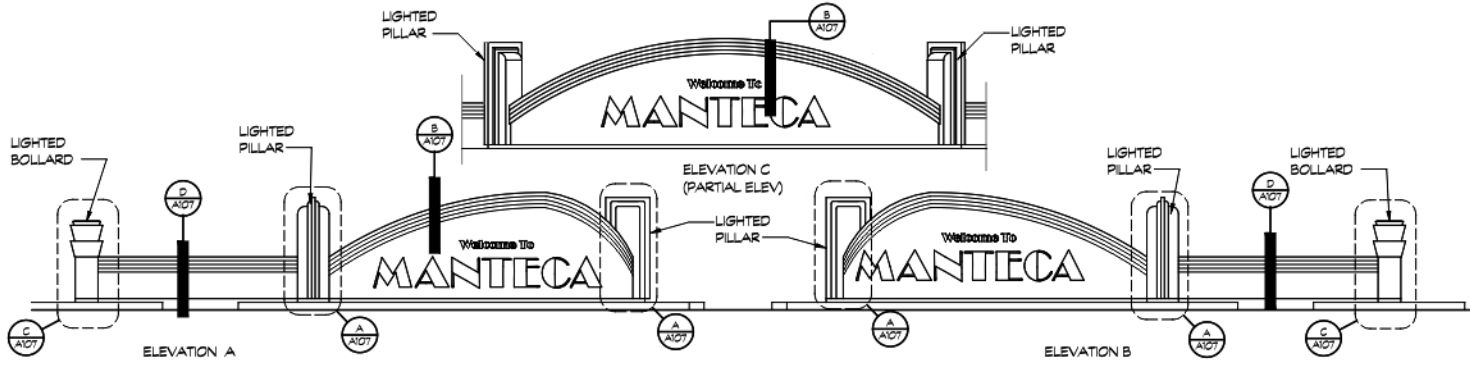






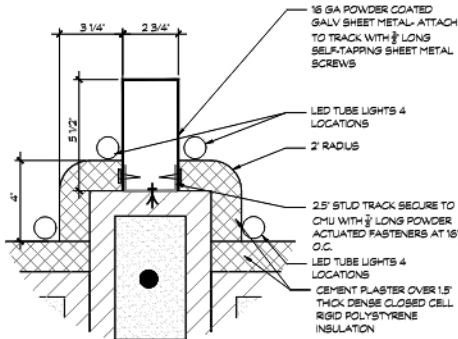






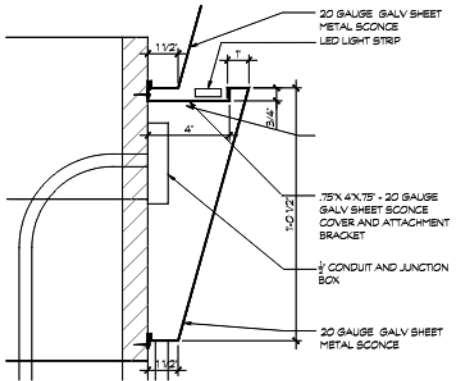
20 STREET SIDE ELEVATIONS

SCALE: 3/16" = 1'-0"



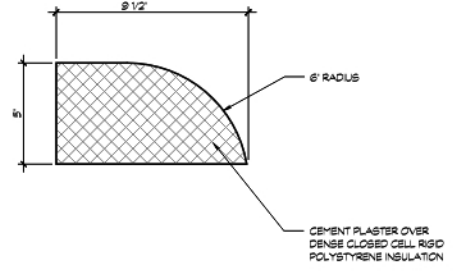
14 FIN TRIM

SCALE: 3\"/>



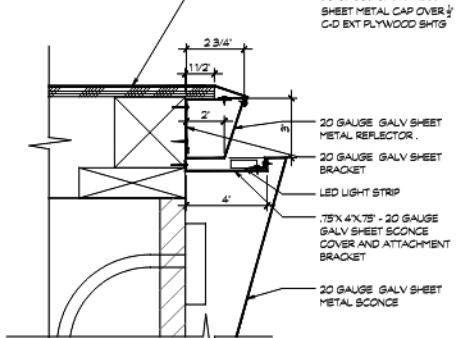
10 SCONCE

SCALE: 3\"/>



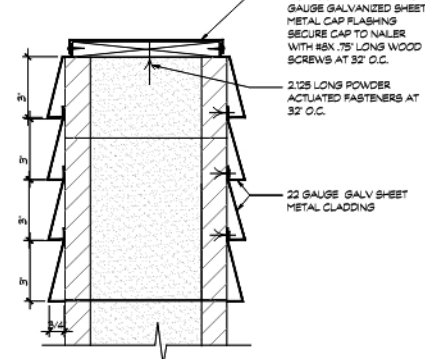
13 FOAMED RADIUS

SCALE: 3\"/>



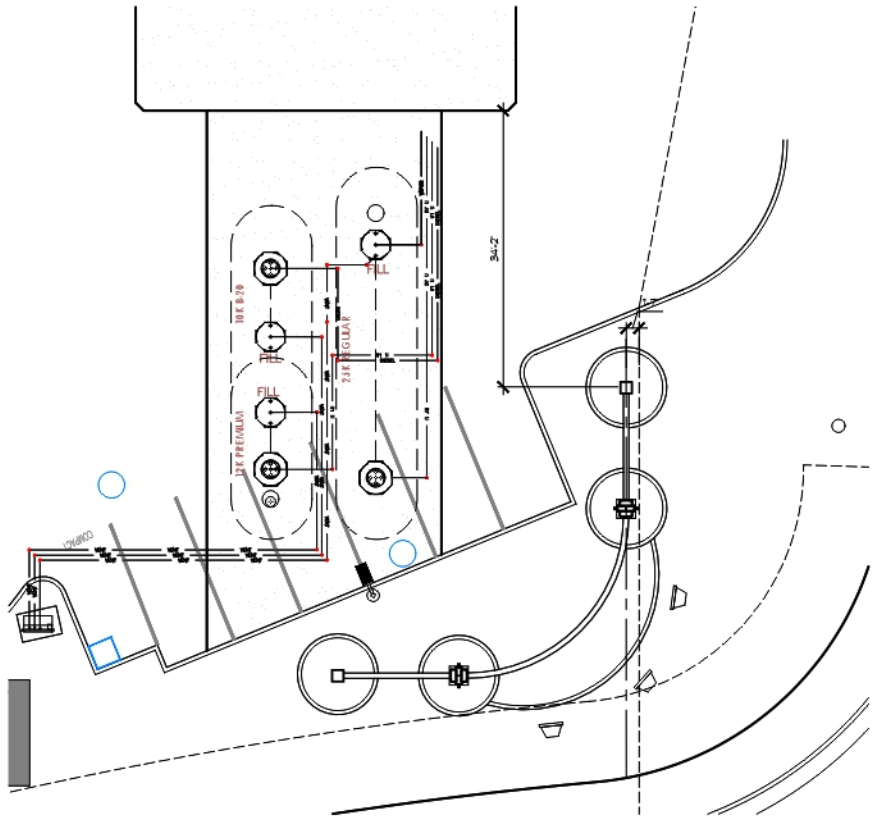
9 BOLLARD CAP AND SCONCE REFLECTOR

SCALE: 3\"/>



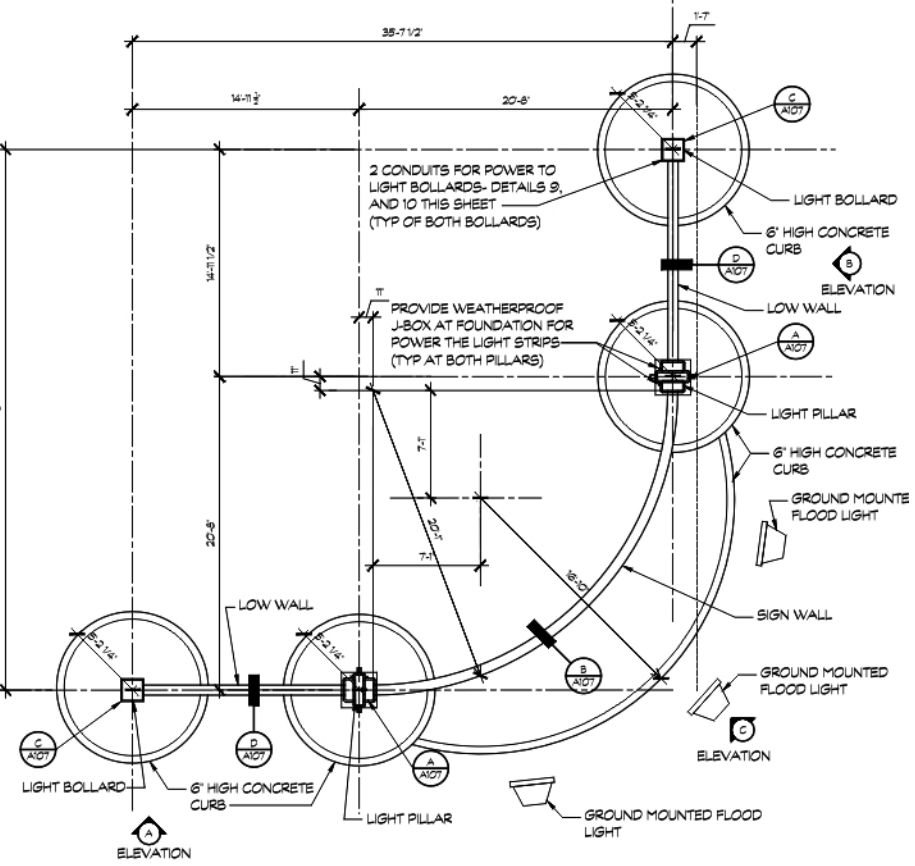
11 WALL CAP AND CLADDING

SCALE: 3\"/>



6 SITE PLAN

SCALE: 1\"/>



8 DIMENSION LAYOUT PLAN

SCALE: 3/16\"/>

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Tel: 650.489.1111 • Fax: 650.489.1112 • Email: info@signsdesigns.com

DATE	BY	DATE	BY	CUSTOMER APPROVAL	COMPANY OR JOB NAME / JOB DESCRIPTION	240168 R2
12/23/21	RL	12/23/21	RL	<input type="checkbox"/> ACCEPTED W/ NO CHANGES <input type="checkbox"/> ACCEPTED W/ CHANGES AS NOTED <input type="checkbox"/> REUSE AS NOTED AND RESUBMIT	<b>DANAIELS COURT</b> SIGN PROGRAM PROJECT	
06/23/21	RL	06/23/21	RL	BY: <u>LANDLORD</u> DATE: <u>          </u>	ADDRESS: <b>2125 DANIELS COURT MANTENCA CALIFORNIA 95336</b> SALES PERSON: <b>SCOTT CROFT</b> CUSTOMER CONTACT: <b>XXXXXX</b>	

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