

INDEX OF DRAWINGS

ARCHITECTURAL	
AS01	ARCHITECTURAL SITE PLAN
A01	PROPOSED FLOOR PLAN
A02	EXTERIOR ELEVATIONS

PROJECT DATA SUMMARY

BUILDING DATA	
APN	22105026
JURISDICTION	CM
ZONING	CG
CLIMATE ZONE	12
SITE AREA	1.38 ACRE (60113FT ²)
PREVIOUS OCCUPANCY CLASSIFICATION	B
PROPOSED OCCUPANCY CLASSIFICATION	M
TYPE OF CONSTRUCTION	VB
SPRINKLERED	YES
TOTAL EXISTING BUILDING AREA	15925 FT ²
EXISTING TENANT AREA	3000 FT ²
PROPOSED NEW AREA	NO ADDED AREA - TENANT IMPROVEMENTS ONLY
TENANT IMPROVEMENT AREA OF WORK	3000FT ²
MINIMUM REQUIRED PARKING FOR BUILDING @ 1/300	54
REQUIRED PARKING FOR TENANT @ 1/300	10
EXISTING AVAILABLE PARKING	68
EXISTING AVAILABLE ACCESSIBLE PARKING	3
REQUIRED BICYCLE SPACE(S)	(1) CLASS II (SHORT-TERM)
PROVIDED BICYCLE SPACE(S)	(2) CLASS II (SHORT-TERM)

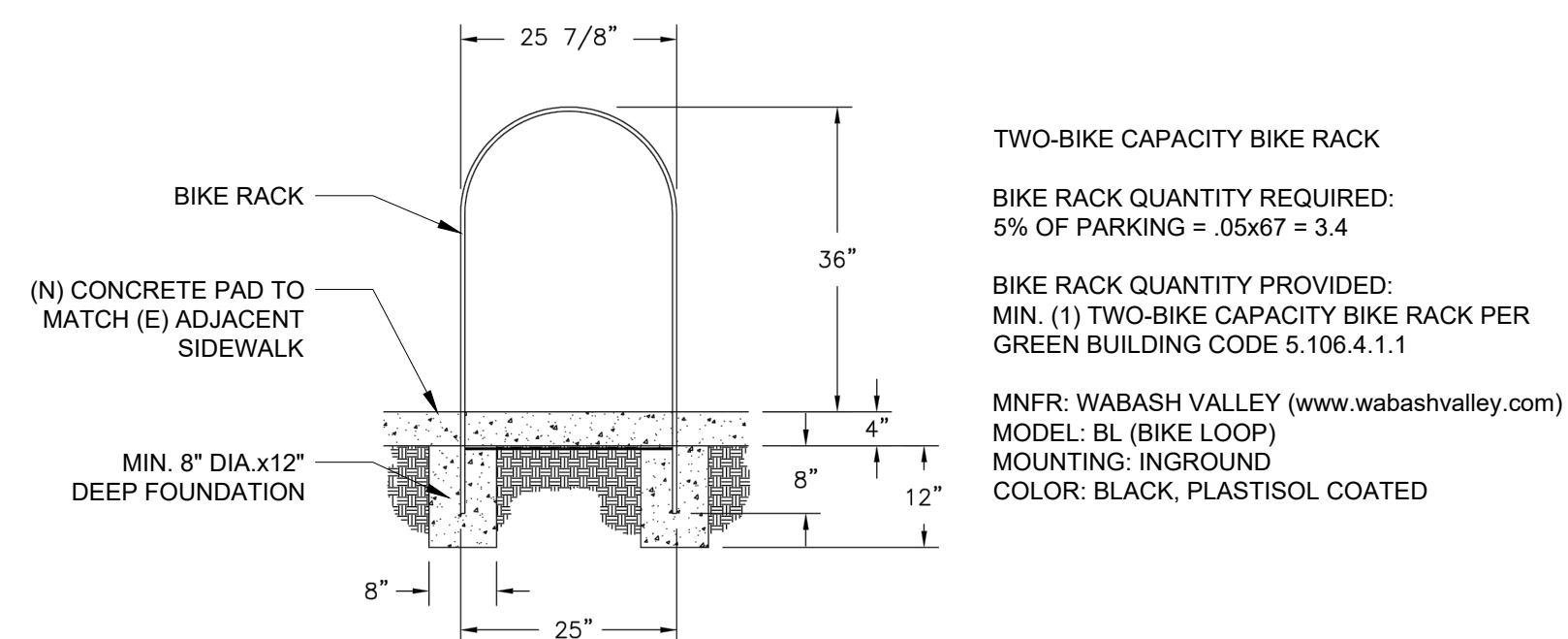
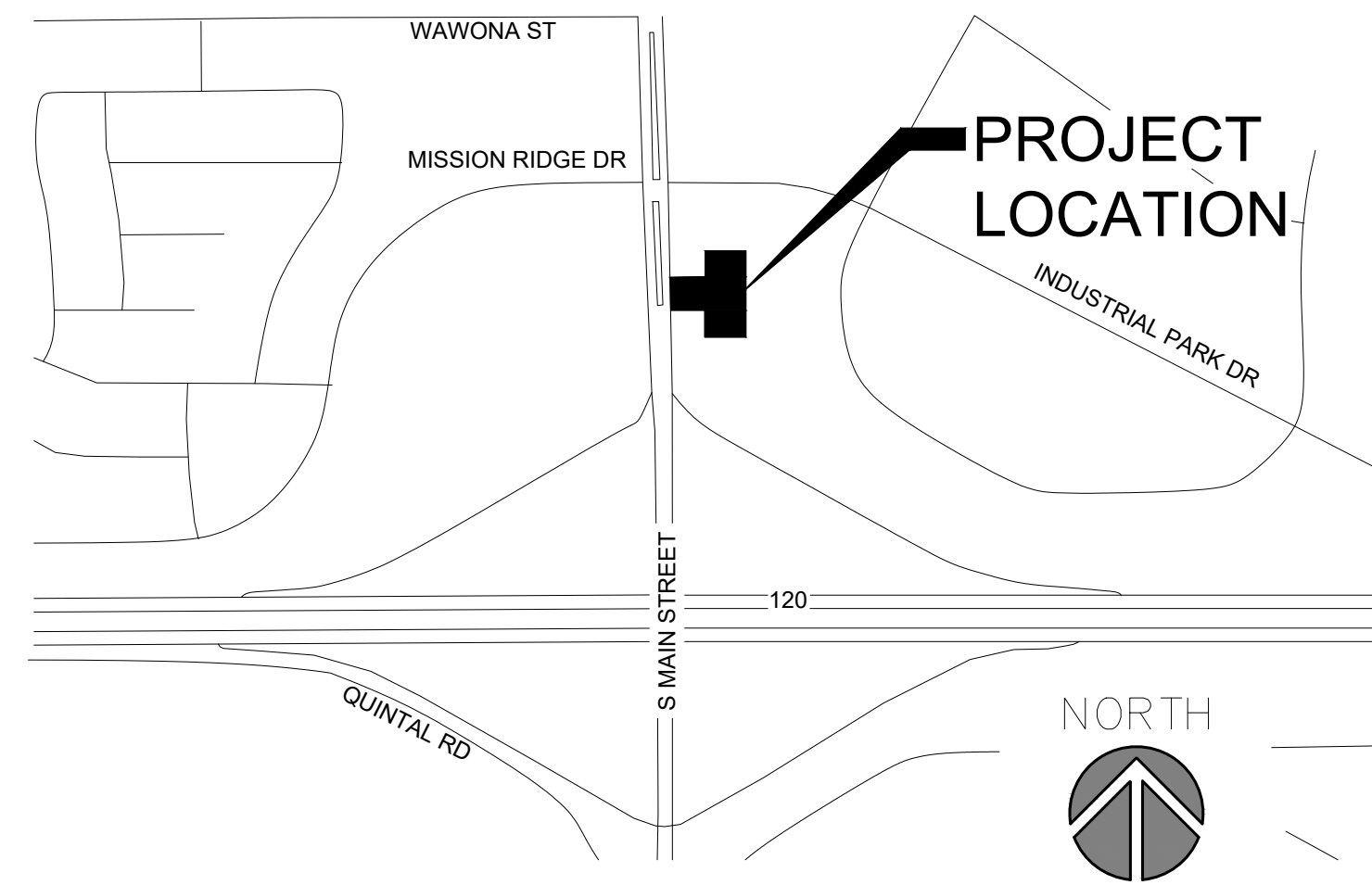
CANNABIS BUSINESS ACTIVITY NOTE:

- NO CANNABIS CULTIVATION WILL BE CONDUCTED
- ALL CANNABIS ACTIVITY LIMITED TO COMMERCIAL BUSINESS
- ALL CANNABIS ACTIVITY WILL BE CONDUCTED WITHIN BUILDING INTERIOR
- NO CANNABIS OR CANNABIS PRODUCTS OR GRAPHICS DEPICTING CANNABIS OR CANNABIS PRODUCTS SHALL BE VISIBLE FROM THE EXTERIOR OF ANY PROPERTY ISSUED A COMMERCIAL CANNABIS BUSINESS PERMIT, OR ON ANY OF THE VEHICLES OWNED OR USED AS PART OF THE CANNABIS RETAIL BUSINESS. NO OUTDOOR STORAGE OF CANNABIS OR CANNABIS PRODUCTS IS PERMITTED AT ANY TIME.

SITE ACCESSIBILITY NOTES

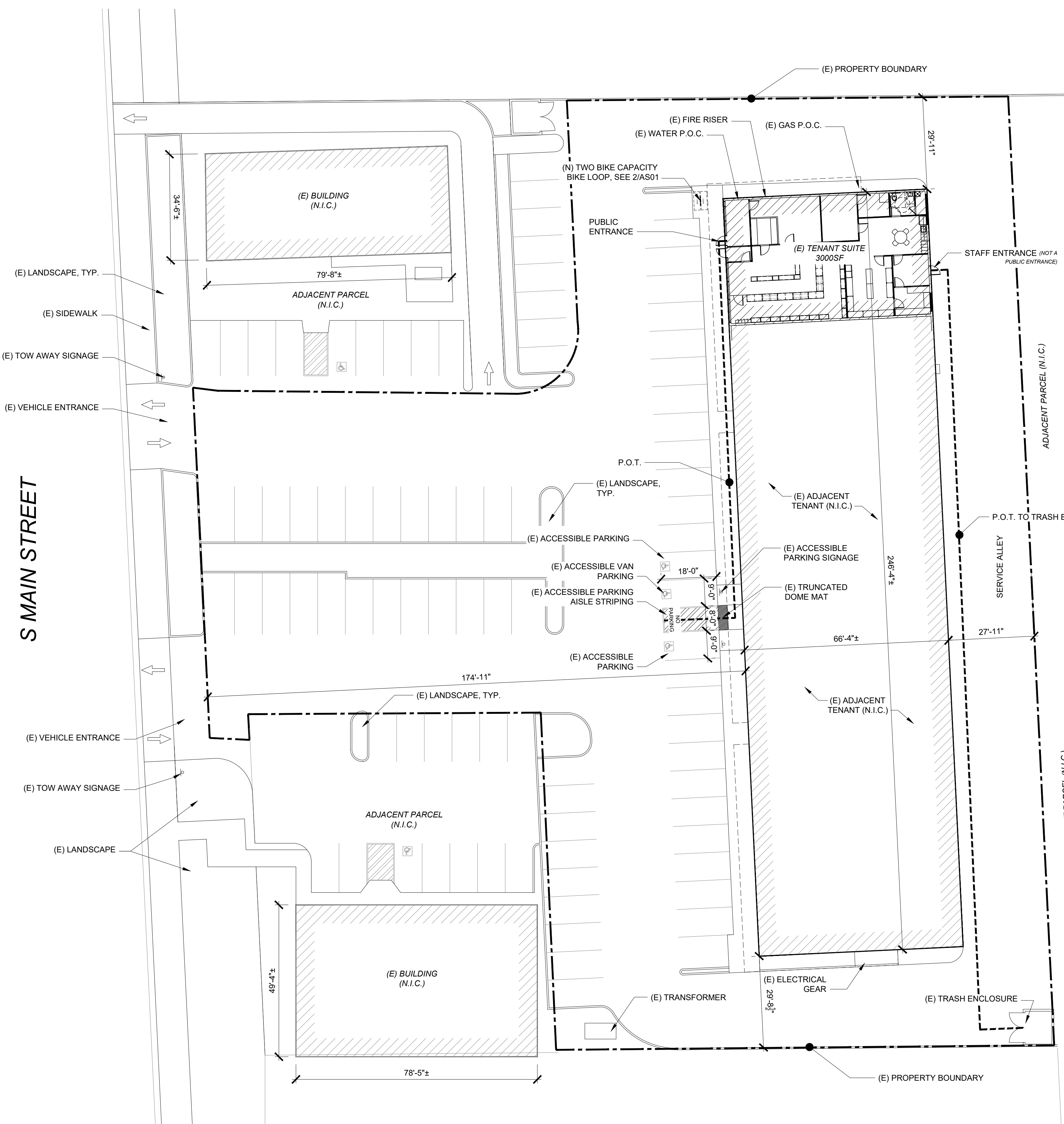
- ACCESSIBLE PATH OF TRAVEL (POT), AS INDICATED SHALL COMPLY WITH 11B-402 OF THE CALIFORNIA BUILDING CODE. POT SHALL BE AN IDENTIFIABLE ACCESSIBLE ROUTE WITHIN AN EXISTING SITE, BUILDING OR FACILITY BY MEANS OF WHICH A PARTICULAR AREA MAY BE APPROACHED, ENTERED AND EXITED, AND WHICH CONNECTS A PARTICULAR AREA WITH AN EXTERIOR APPROACH (INCLUDING SIDEWALKS, STREETS AND PARKING AREAS), AN ENTRANCE TO THE FACILITY, AND OTHER PARTS OF THE FACILITY. ACCESSIBLE PATH SHALL BE:
 - THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT EXCEED 1:20 EXCEPT FOR SIDEWALKS, WHICH SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET OR HIGHWAY)
 - CROSS SLOPE SHALL NOT EXCEED 1:48 (PER 11B-403.3).
 - CLEAR WIDTH OF SIDEWALKS AND WALKS SHALL BE 48" WIDE MINIMUM (PER 11B-403.5.1).
 - VERTICAL CHANGES IN LEVEL SHALL COMPLY WITH 11B-303.2 AND SHALL NOT EXCEED 1/2" MAXIMUM.
 - BEVELED CHANGES IN LEVEL SHALL COMPLY WITH 11B-303.3 AND SHALL NOT EXCEED 1/2" MAXIMUM, TO INCLUDE A 1/2" VERTICAL AND 1/2" BEVELED WITH A SLOPE NOT EXCEEDING 1:22
- DOORS, DOORWAYS, AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION 11B-404, INCLUDING ALL GROUND LEVEL ENTRANCES AND EXITS.
- PER 11B-203.5 MACHINERY SPACES, SPACES FREQUENTED ONLY BY SERVICE PERSONNEL FOR MAINTENANCE, REPAIR OR OCCASIONAL MONITORING OF EQUIPMENT SHALL NOT BE REQUIRED TO COMPLY WITH CHAPTER 11B OF THE CALIFORNIA BUILDING CODE.

VICINITY MAP

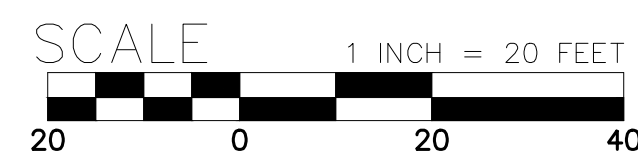


SITE PLAN DISCLAIMER:

ALL SITE INFORMATION NOTED ON THIS PAGE WAS COLLECTED THROUGH COUNTY IMAGERY, GIS DATA, AND PARCEL RECORDS. NO SURVEY OF THE PROPERTY HAS BEEN CONDUCTED.

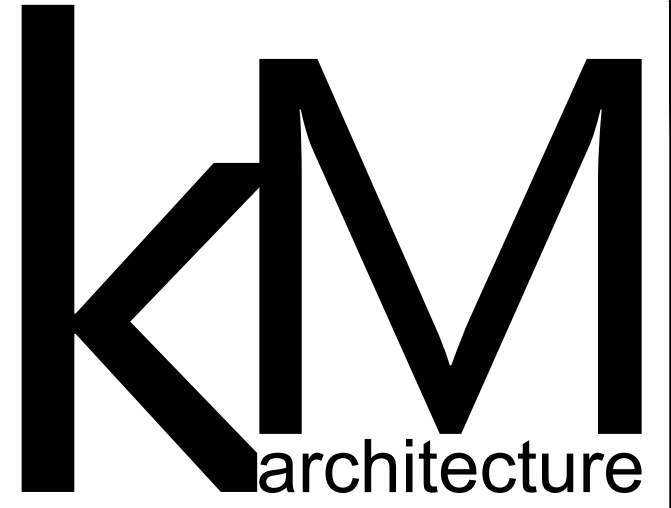


1 PROPOSED SITE PLAN
1:20



2 BIKE RACK DETAIL
N.T.S.

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF KM ARCHITECTURE, INC. AND MAY NOT BE DUPLICATED WITHOUT WRITTEN CONSENT OF KM ARCHITECTURE, INC.



KM Architecture, Inc.
A Full Service Architectural Practice
3420 COACH LN, SUITE 9
CAMERON PARK, CA 95682
(530) 344-4073

EMBARC
1140-1142 S MAIN ST,
MANTECA, CA
95337

CONDITIONAL USE PERMIT

APN:
22105026

Drawn By	JOSH / RAUL
Project Architect	KIRK MILLER
Scale	AS NOTED
Date	05/03/2023
Project Number	20112.20

SHEET TITLE
ARCHITECTURAL SITE PLAN

MARK	DESCRIPTION	DATE

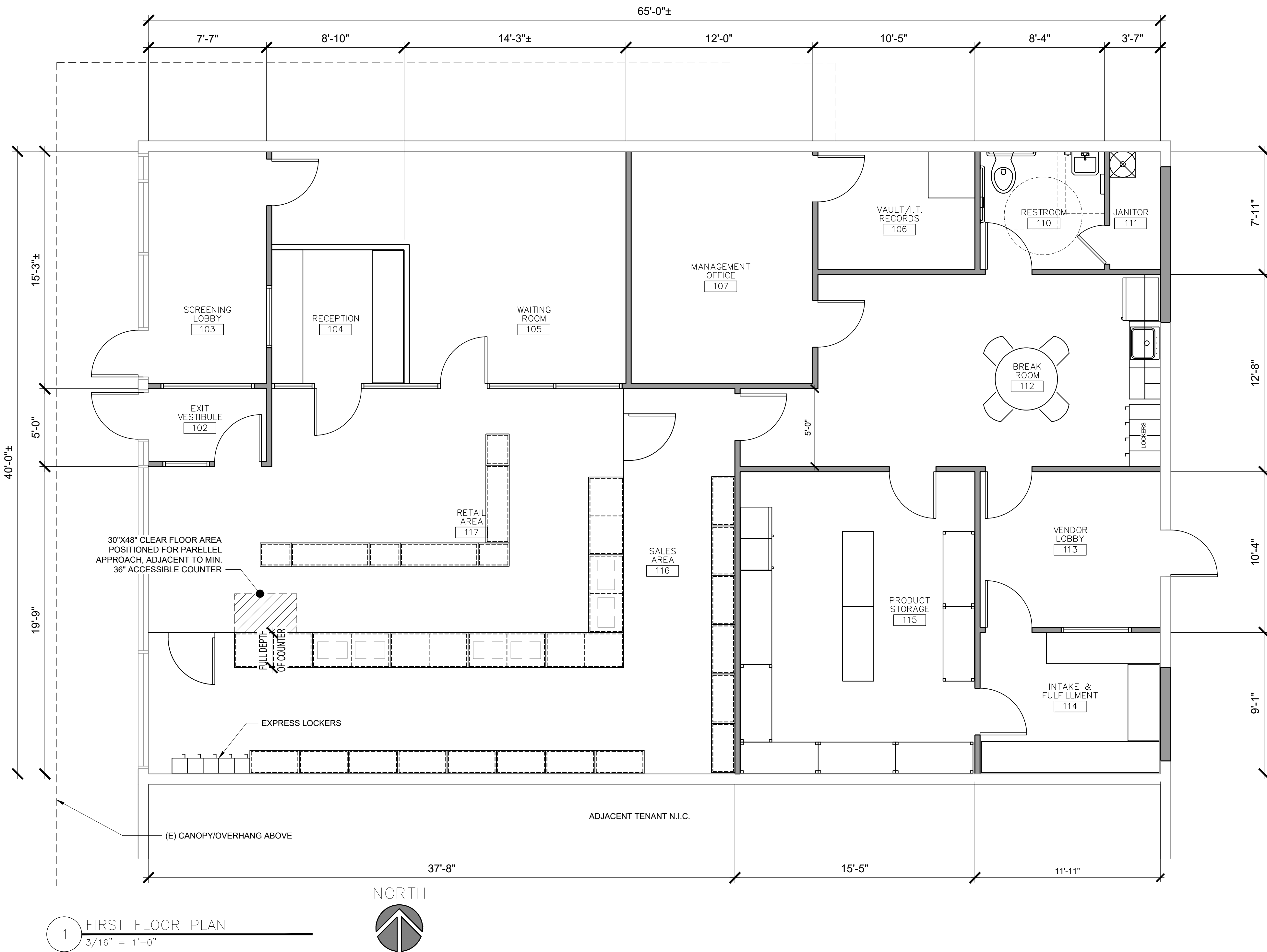
SHEET NO.
AS01

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO THE START OF WORK. NOTIFY THE ARCHITECT OF ANY SIGNIFICANT CHANGES IN DIMENSIONS OR CONDITIONS.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND NECESSARY FACILITIES, AND PERFORM ALL LABOR AND SERVICES OF EVERY DESCRIPTION AS MAY BE NECESSARY TO COMPLETE THE SCOPE OF WORK DEFINED ON THE DRAWINGS.
- THE CONTRACTOR SHALL ARRANGE FOR, OBTAIN AND PAY FOR ALL PERMITS, CERTIFICATES, INSPECTIONS, AGENCY APPROVALS, ETC. AND PAY ALL FEES LEVIED BY STATE, LOCAL AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER WORK PERFORMED UNDER THIS CONTRACT. PROVIDE COPIES OF ALL REQUIRED PERMITS, CERTIFICATES, INSPECTIONS AND AGENCY APPROVALS TO ADJACENT CONSTRUCTION.
- CONTRACTOR SHALL PROTECT THE FACILITY FROM WEATHER AND MAINTAIN SECURITY DURING ALL CONSTRUCTION WORK. PROTECT EXISTING PROPERTY DURING CONSTRUCTION. REPAIR OR REPLACE, WITHOUT ADDITIONAL CHARGE TO THE OWNER, ANY EXISTING WORK DAMAGED DURING THE COURSE OF CONSTRUCTION.
- THE WORK SHALL BE COORDINATED WITH THE PROJECT OWNER'S STAFF.
- UNLESS ITEMS OF MATERIAL, EQUIPMENT OR WORK ARE SPECIFICALLY NOTED TO BE PROVIDED OR FURNISHED BY OTHERS, THEY SHALL BE PROVIDED UNDER THIS CONTRACT.
- MATERIALS AND COMPONENTS AS SPECIFIED CONSTITUTE A STANDARD OF QUALITY, UNLESS OTHERWISE NOTED. EQUAL SUBSTITUTES WILL BE ACCEPTABLE ONLY WITH WRITTEN PRIOR APPROVAL BY THE ARCHITECT.
- ALL WORK SHALL BE PERFORMED BY SKILLED WORKERS IN A WORKMANLIKE AND PROFESSIONAL MANNER CONSISTENT WITH INDUSTRY STANDARDS.
- REQUIRED EXITS, EXISTING STRUCTURAL ELEMENTS, FIRE PROTECTION DEVICES, AND SANITARY SAFEGUARDS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.

FINISH NOTES

- NOTE: INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803.1.1, CLASS A
- OFFICE, IT, RECEPTION, & AREAS NOT INDICATED BELOW:
- GWB WALLS TO BE PRIMED AND PAINTED SEE PAINT SCHEDULE, THIS NOTE
 - EXISTING CEILING GRID TO REMAIN, REPLACE MISSING OR DAMAGED CEILING TILES
 - EPOXY FINISH EXISTING CONCRETE SLAB, COLOR AS SELECTED BY OWNER
 - 4" BLACK RUBBER BASE
 - OPTION 1: PROVIDE OPTION AT VENDOR ENTRANCE, PROCESSING, & CORRIDORS TO POLISH (E) CONCRETE FLOORING
 - OPTION 2: PROVIDE OPTION AT OFFICE FOR LOW MAINTENANCE COMMERCIAL CARPET TILE BY ARMSTRONG FLOORING, OR EQUAL
- SECURE STORAGE AREA:
- GWB WALLS TO BE PRIMED AND PAINTED TO BE PRIMED AND PAINTED SEE PAINT SCHEDULE, THIS NOTE.
 - EXISTING CEILING GRID TO REMAIN, REPLACE MISSING OR DAMAGED CEILING TILES
 - EPOXY FINISH EXISTING CONCRETE SLAB, COLOR AS SELECTED BY OWNER
 - 4" BLACK RUBBER BASE
- BREAK ROOM:
- GWB WALLS TO BE PRIMED AND PAINTED TO BE PRIMED AND PAINTED SEE PAINT SCHEDULE, THIS NOTE
 - FLOOR FINISH TO BE LVT PLANK AS SELECTED BY OWNER
 - EXISTING CEILING GRID TO REMAIN, REPLACE MISSING OR DAMAGED CEILING TILES
 - EPOXY FINISH EXISTING CONCRETE SLAB, COLOR AS SELECTED BY OWNER
 - 4" BLACK RUBBER BASE
 - OPTION 1: PROVIDE OPTION TO POLISH (E) CONCRETE FLOORING
- EXISTING TOILET ROOM(S):
- WALLS TO BE PRIMED AND PAINTED TO BE PRIMED AND PAINTED SEE PAINT SCHEDULE, THIS NOTE. PROVIDE SMOOTH FINISH FRP TO 48" AFF ON WALLS, COLOR AS SELECTED BY OWNER
 - EXISTING VCT AND BASE TO REMAIN
 - OPTION 1: PROVIDE OPTION TO GRIND (E) CONCRETE AND INSTALL CERAMIC TILE FLOORING W/ 6" COVED BASE, SCHLUTER SS TRANSITION AT DOOR
 - OPTION 2: PROVIDE OPTION TO POLISH (E) CONCRETE FLOORING IN LIEU OF TILE OR LVT
 - OPTION 3: PROVIDE OPTION FOR CERAMIC TILE WAINSCOT TO 4'-0" AFF IN LIEU OF FRP (DEMO (E) GWB AND INSTALL CEMENT BOARD OR BLUE BOARD AT TILE AREAS)
- GENERAL:
- PRIME & PAINT ALL SIDES OF EXPOSED WOOD FINISHES
 - UNLESS OTHERWISE NOTED, PROVIDE 4" BLACK VINYL COVE BASE AT ALL WALLS TO RECEIVE GWB FINISH
 - ALL HM DOOR TRIM TO BE PAINTED BLACK SEMI-GLOSS
 - PROVIDE SCHLUTER SCHIENE TRANSITION STRIPS, 304 STAINLESS STEEL FINISH, AT ALL SAME-HEIGHT MATERIAL TRANSITIONS AND TERMINATIONS, PROVIDE SLOPED TRANSITIONS, 304 STAINLESS STEEL FINISH, WHERE CHANGE IN LEVEL IS REQUIRED (REFER TO SHEET T02 FOR THRESHOLD & CHANGE IN LEVEL REQUIREMENTS).
- PAINT SCHEDULE:
- DOORS AND FRAMES: BENJAMIN MOORE RANDOLF STONE CQ75
 - ALL INTERIOR WALLS: BENJAMIN MOORE CHANTILLY LACE OC-65 EGGSHELL
 - BATHROOM: BENJAMIN MOORE CHANTILLY LACE OC-65 SEMI GLOSS
 - EXTERIOR TRIM: BENJAMIN MOORE EBONY KING
 - EXTERIOR BUILDING: BENJAMIN MOORE ICE MIST



1 FIRST FLOOR PLAN
3/16" = 1'-0"



KM Architecture, Inc.
A Full Service Architectural Practice
3420 COACH LN, SUITE 9
CAMERON PARK, CA 95682
(530) 344-4073

EMBARC
1140-1142 S MAIN ST,
MANTECA, CA
95337

CONDITIONAL USE PERMIT

APN:
22105026

Drawn By	JOSH / RAUL
Project Architect	KIRK MILLER
Scale	AS NOTED
Date	05/03/2023
Project Number	20112.20

SHEET TITLE
PROPOSED FLOOR PLANS

MARK	DESCRIPTION	DATE

SHEET NO.
A01

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF KM ARCHITECTURE, INC. AND MAY NOT BE DUPLICATED WITHOUT WRITTEN CONSENT OF KM ARCHITECTURE, INC.



KM Architecture, Inc.
 A Full Service Architectural Practice
 3420 COACH LN, SUITE 9
 CAMERON PARK, CA 95682
 (530) 344-4073

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF KM ARCHITECTURE, INC. AND MAY NOT BE DUPLICATED WITHOUT WRITTEN CONSENT OF KM ARCHITECTURE, INC.

EMBARC
 1140-1142 S MAIN ST,
 MANTECA, CA
 95337

CONDITIONAL USE PERMIT

APN:
 22105026

Drawn By
 JOSH / RAUL
 Project Architect
 KIRK MILLER
 Scale
 AS NOTED
 Date
 05/03/2023
 Project Number
 20112.20

This drawing is not final, or to be used for construction until the Architect's seal and signature appear above.

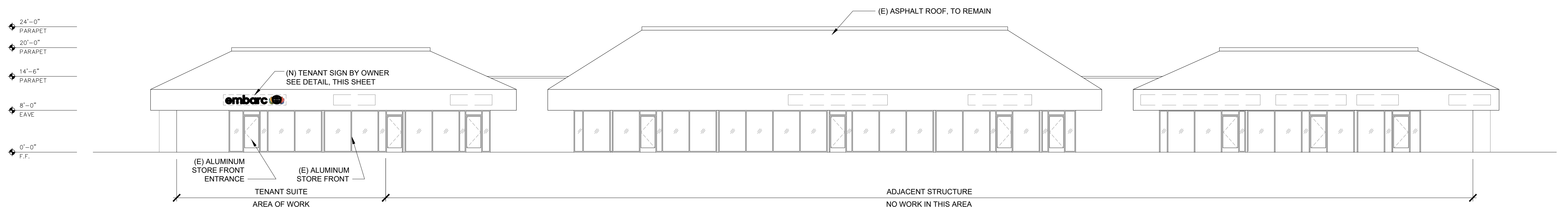
SHEET TITLE

EXTERIOR ELEVATIONS

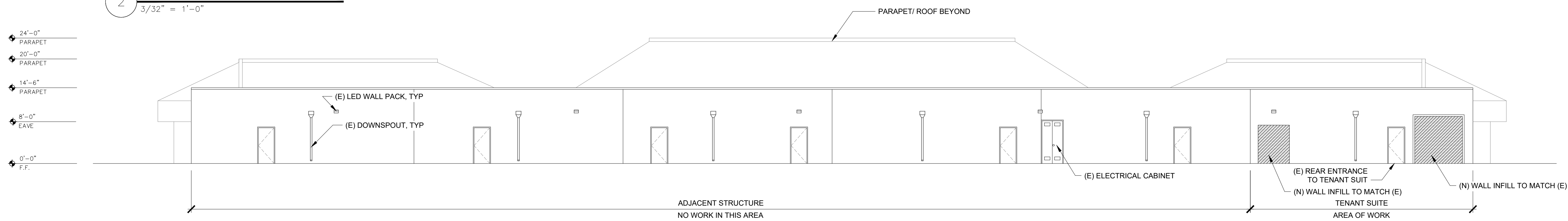
MARK	DESCRIPTION	DATE

SHEET NO.

A02

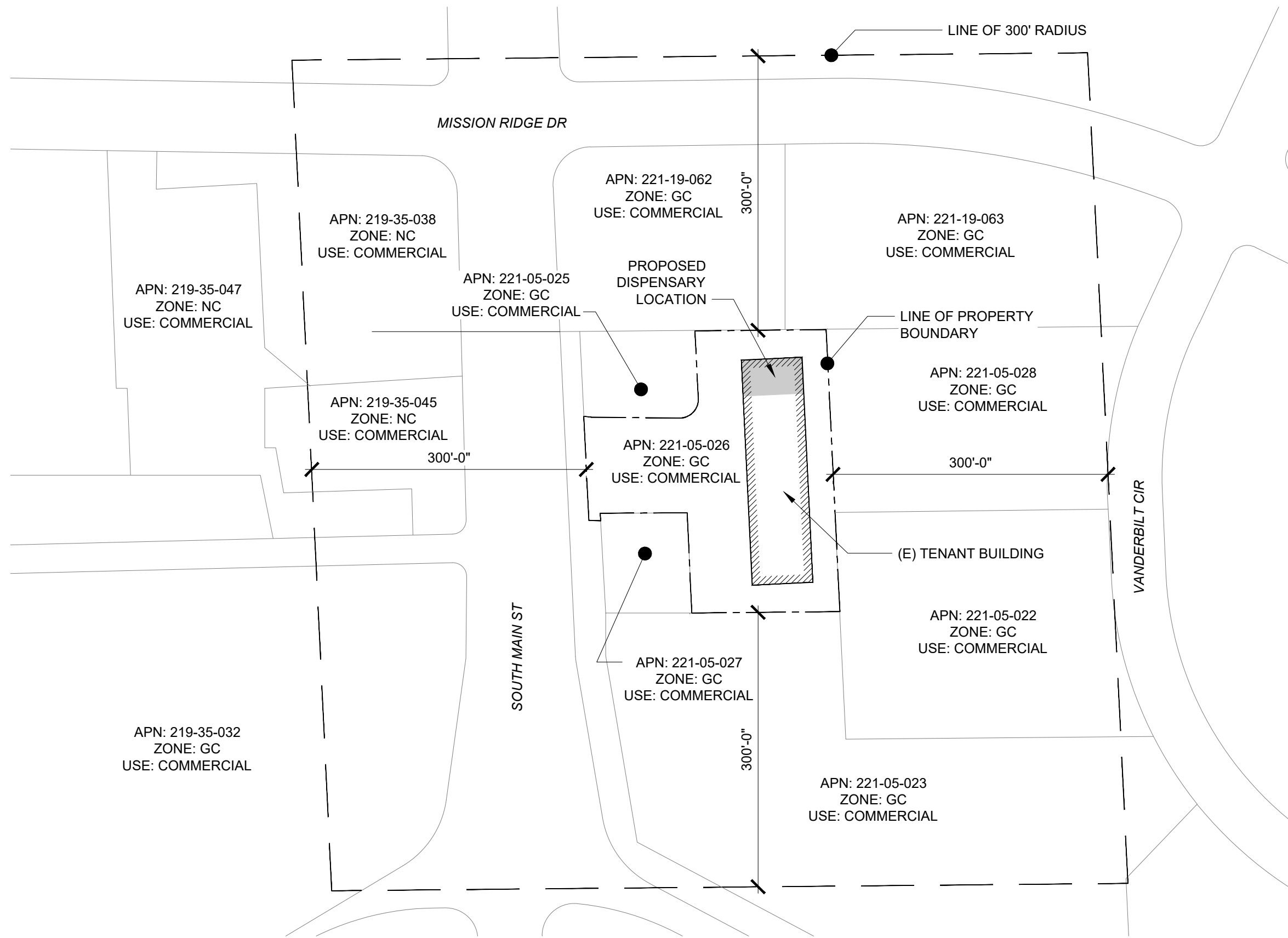


2 WEST ELEVATION
 3/32" = 1'-0"



1 EAST ELEVATION
 3/32" = 1'-0"

NOTE:
 EXISTING BUILDING COLORS AND MATERIALS TO
 REMAIN UNCHANGED



TITLE: AREA MAP

SCALE: 1:130

DATE: 01/23/2024

PROJ. #: 20112.20

PROJECT: EMBARC MANTECA

KM Architecture, Inc.
A Full Service Architectural Practice
3420 Coach Ln, Suite 9
Cameron Park, CA 95667
(530) 344-4073

