

SARENE PLACE

4 UNIT APARTMENT BUILDING

429 SUTTER STREET
MANTECA, CA



PROJECT DESCRIPTION

CONTACT INFO

OWNERS: DANNY K METZ

51314 SKY ACRES CIRCLE
OAKHURST, CA 93644

PHONE: (559)760-8616
EMAIL: dworkmetz@sti.net

ARCHITECT

STUDIO SAN ARCHITECTS
CONTACT: JEREMY METZ

255 N. MARKET ST, STE 255
SAN JOSE, CA 95110

PHONE: (408)462-5332
EMAIL: jeremy@studio-san.com

CIVIL ENGINEER

MCR ENGINEERING
CONTACT: KEVIN LANG

1242 DUPONT COURT
MANTECA, CA 95336

PHONE: (209)239-6229
EMAIL: klang@mcreng.com

LANDSCAPE ARCHITECTS

RW STOVER AND ASSOCIATES
CONTACT: RICK STOVER

1620 N. MAIN ST, SUITE 4
WALNUT CREEK, CA 94596

PHONE: (925)933-2583
EMAIL: rstover@nwsia.com

LOCATED IN THE HEART OF MANTECA THIS PROPERTY ON SUTTER ST IS CURRENTLY ZONED FOR MULTI-FAMILY HOUSING AND HAS AN EXISTING SINGLE FAMILY HOUSE AND GARAGE AT THE BACK. THIS APPLICATION IS TO ADD A MULTI-FAMILY BUILDING AT THE FRONT OF THE LOT WITH PARKING AT THE REAR OF THE PROPERTY.

THIS SITE IS ALMOST HALF AN ACRE AND WAS INTENDED FOR MULTI-FAMILY HOUSING WITH ITS R-2 ZONING. IT IS ACROSS FROM ST. ANTHONY'S CATHOLIC SCHOOL AND CHURCH AND A SHORT WALK TO THE HEART OF MANTECA.

THE BUILDING IS DESIGNED TO BE CALIFORNIA MODERN MISSION ARCHITECTURAL STYLE WITH ITS USE OF MATERIALS, THAT WILL PASS THE TEST OF TIME. THREE FLOORS OF APARTMENTS ARE SUPPORTED BY ON-GRADE PARKING. BOTH COVERED AND UNCOVERED PARKING IS PROVIDED. EACH APARTMENT HAS A PRIVATE BALCONY AND A COMMON OUTDOOR SPACE IS PROVIDED WITH A BBQ FOR USE BY RESIDENTS. TWO BEDROOM APARTMENTS ARE PROVIDED WITH AN EXTERIOR STAIR AND COMMON SHARED OUTDOOR SPACE AT THE REAR OF THE PROPERTY.

SHEET INDEX

ARCHITECTURAL -

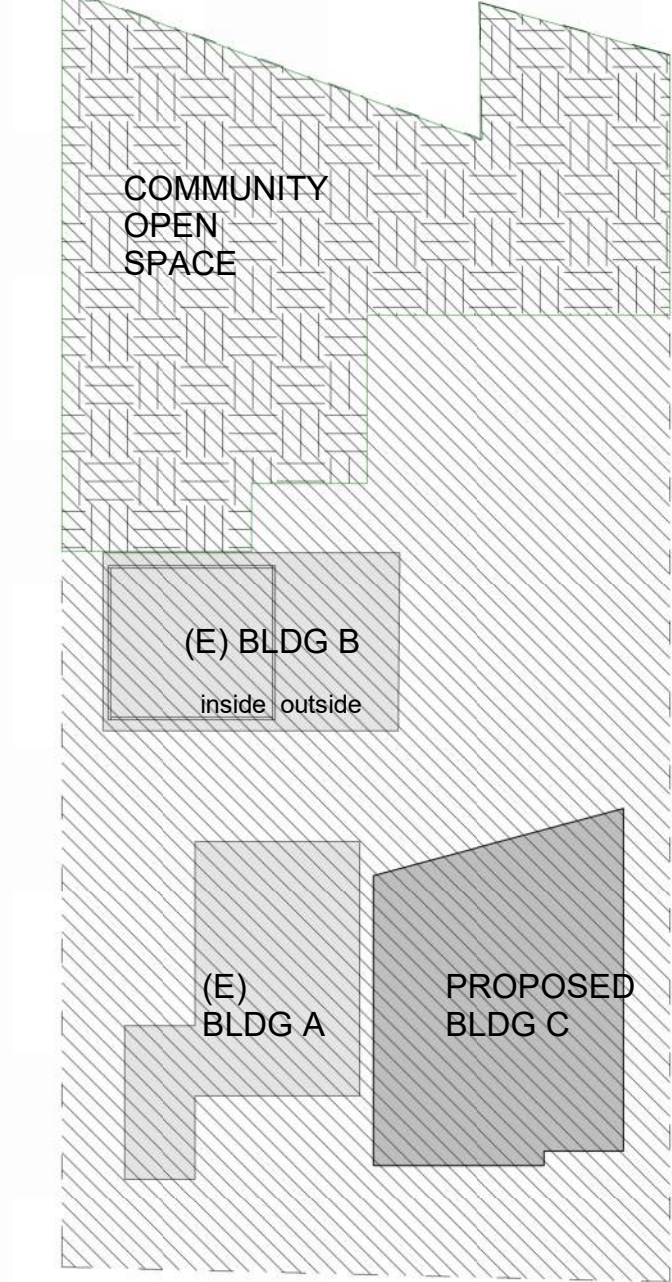
A0.0	COVER SHEET
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LANDSCAPE -

L1	PRELIMINARY LANDSCAPE PLAN
L2	IMAGES AND WELO



TOTAL SITE AREA: 18,604 SF

(E) BLDG A (HOUSE) 1,290 SF
(E) BLDG B (SHOP) 1,294 SF
(N) BLDG C (APTS) 1,952 SF
4,536 SF

COMMUNITY OPEN SPACE CALC
OPEN AREA 30% REQ'D 5,451 SF
OPEN AREA PROVIDED 5,460 SF

LOT COVERAGE CALC
(roofed area)
(E) BLDG A (HOUSE) 1,290 SF
(E) BLDG B (SHOP) 1,294 SF
(N) BLDG C (APTS) 1,952 SF
4,536 SF

ROOFED AREA / SITE AREA
4,536 / 18,604 = 24.4%

FLOOR AREA RATIO (FAR)
(not incl garages)
(E) LIVING + (N) LIVING
1048 SF + 3273 SF = 4,321 SF

LIVING AREA / SITE AREA
4,321 SF / 18,604 SF = 23.2%

2 OPEN COMMUNITY SPACE
1" = 30'-0"

AREA CALCULATION for details see:

Area Schedule (N) Living		
Level	Name	Area

1 - Living		
1 FL	APT 1	847 SF
2 & 2.5 FL	APT 2	767 SF
2 & 2.5 FL	APT 3	817 SF
3 FL	APT 4	838 SF
		3,270 SF

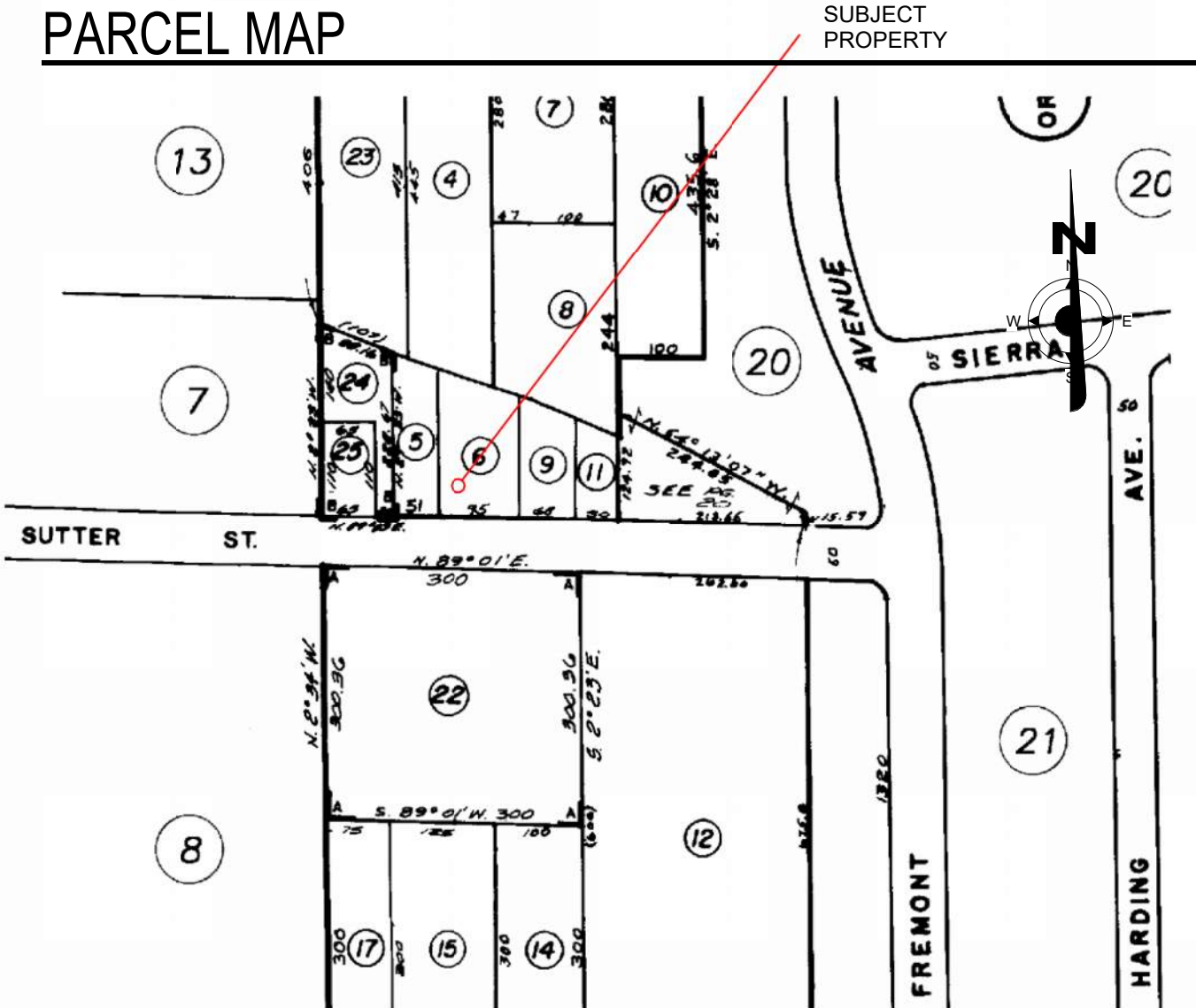
2 - Private Exterior		
1 FL	APT 1 - Yard	100 SF
2 & 2.5 FL	APT 2 - Balcony	102 SF
2 & 2.5 FL	APT 3 - Balcony	117 SF
3 FL	APT 4 - Balcony	102 SF
		420 SF

4 - (E) Living		
1 FL	(E) HOUSE	1,048 SF
		1,048 SF

5 - (E) Garage		
1 FL	(E) GARAGE	280 SF
1 FL	(E) SHOP	634 SF
		915 SF

SUBTOTAL	3,690 SF	1,963 SF
TOTAL	5,653 SF	

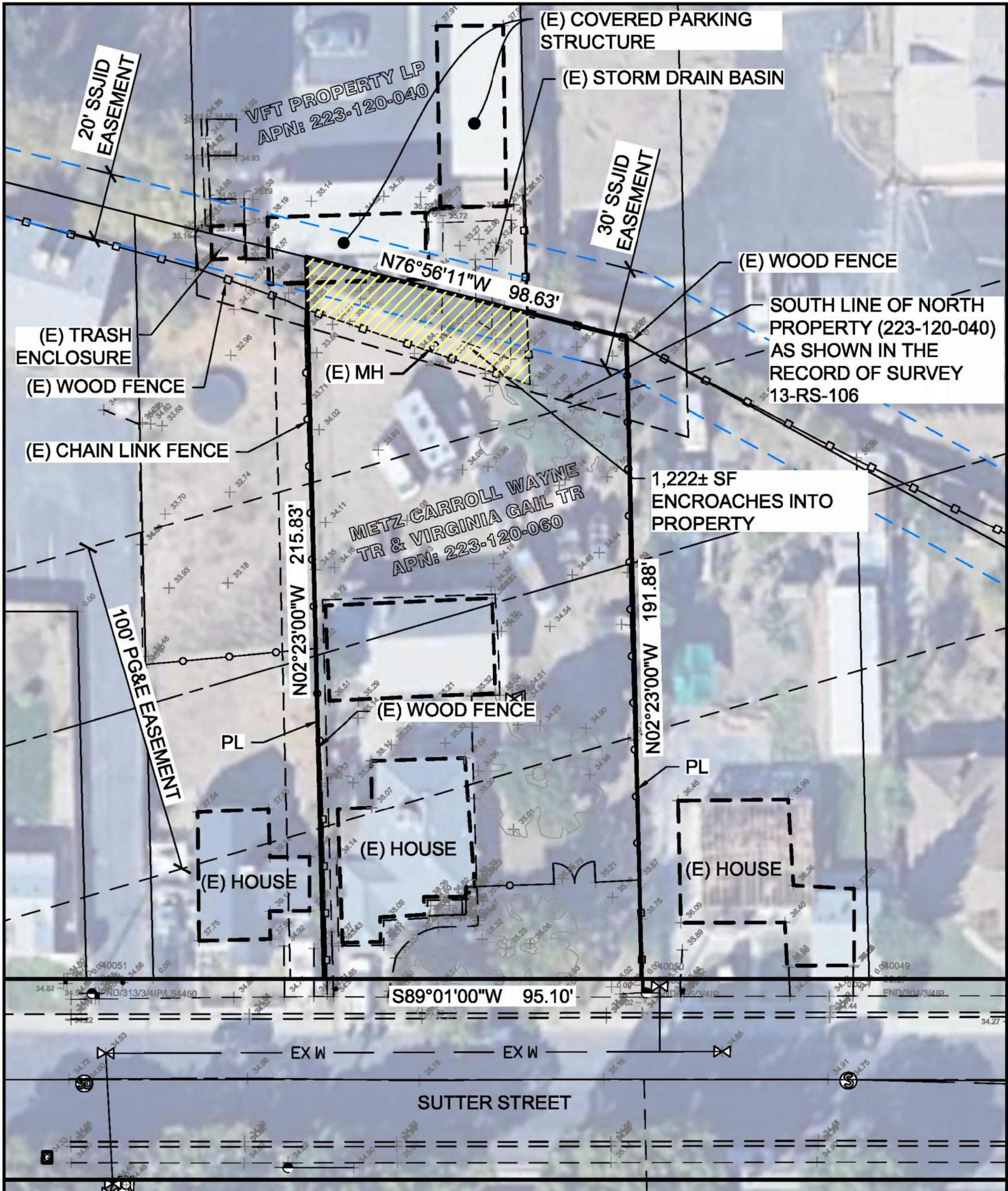
PARCEL MAP



BUILDING CODE DATA

OCCUPANCY: R-2
MAX BUILDING HEIGHT: 28'-9"
LOT AREA: 18,604 SF
FIRE SPRINKLERS: Not on Existing but YES for proposed
CONSTRUCTION TYPE: V-B
ALLOWABLE AREA: 21,000 SF
ACTUAL AREA: (E) 1,963 SF
(N) 3,690 SF
5,653 SF < 21,000 SF OK

AERIAL PHOTO

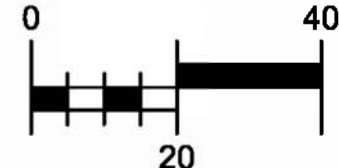


BOUNDARY & TOPOGRAPHY MAP

SARENE PLACE

429 SUTTER STREET, MANTECA, CA

DATE: JULY 2, 2024

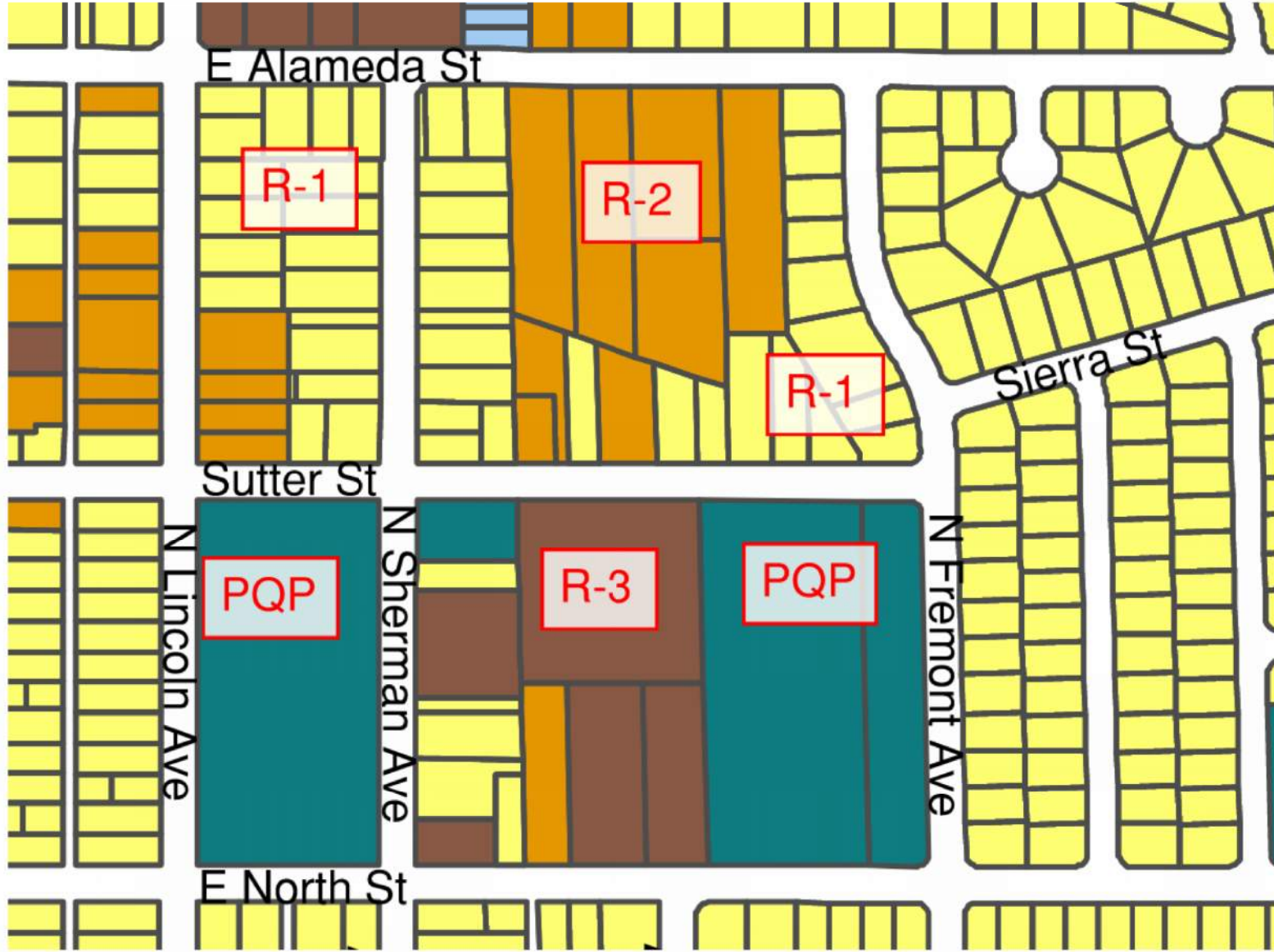


MCR ENGINEERING, INC.
1242 DUPONT COURT
MANTECA, CA 95336
TEL: (209) 239-6229
FAX: (209) 239-8839

ZONING

MAX DENSITY (du/ac) 15.0 x 0.427 Acres = 6.4 units
MAX HEIGHT 35' allowed - PROPOSED 29'-11"
FAR no max
OPEN SPACE 30%
FAR: 23.2%
DWELLING UNITS: 1 (E) + 4 NEW = 5 TOTAL
LOT COVERAGE: 24.4%

PARCEL ID: 22312006
ZONING: Limited Multiple-Family Dwelling (R-2)
LOT SIZE: 18,604 SF (0.427 Acres)



PARKING

TABLE 17.52.050-1
REQUIRED MINIMUM VEHICLE PARKING RATIOS

Land Use Type	Required Parking Spaces
Residential Uses	
Single-Family Dwelling Unit	2 covered spaces/dwelling
Secondary Residential Units	1 space/secondary unit
Small-Lot Single-Family	1 covered space/dwelling
Townhomes, Condominiums, and Apartment	1 covered space/dwelling unit plus 0.25 space/unit, 0.5 space/one bedroom, and 1 space per 2 or more bedrooms
Boardinghouses and Group Quarters	1 space/sleeping room or 1/100 of sleeping area
Residential Care Home	1 space/3 beds

EXISTING SINGLE FAMILY HOUSE
1 COVERED GARAGE
1 UNCOVERED DRIVEWAY

Multifamily UNIT	QUANTITY	COVERED	PARKING UNCOVERED	EV CAPABLE	EV READY
(E) HOUSE	1	1	1		
APT (2 bed)	4	4	4	2	3
REQUIRED		5	5		
+ ADA			1		1
TOTAL PARKING = 12					

TYPICAL PARKING STALL SIZE 9x18

DEVELOPMENT STANDARDS

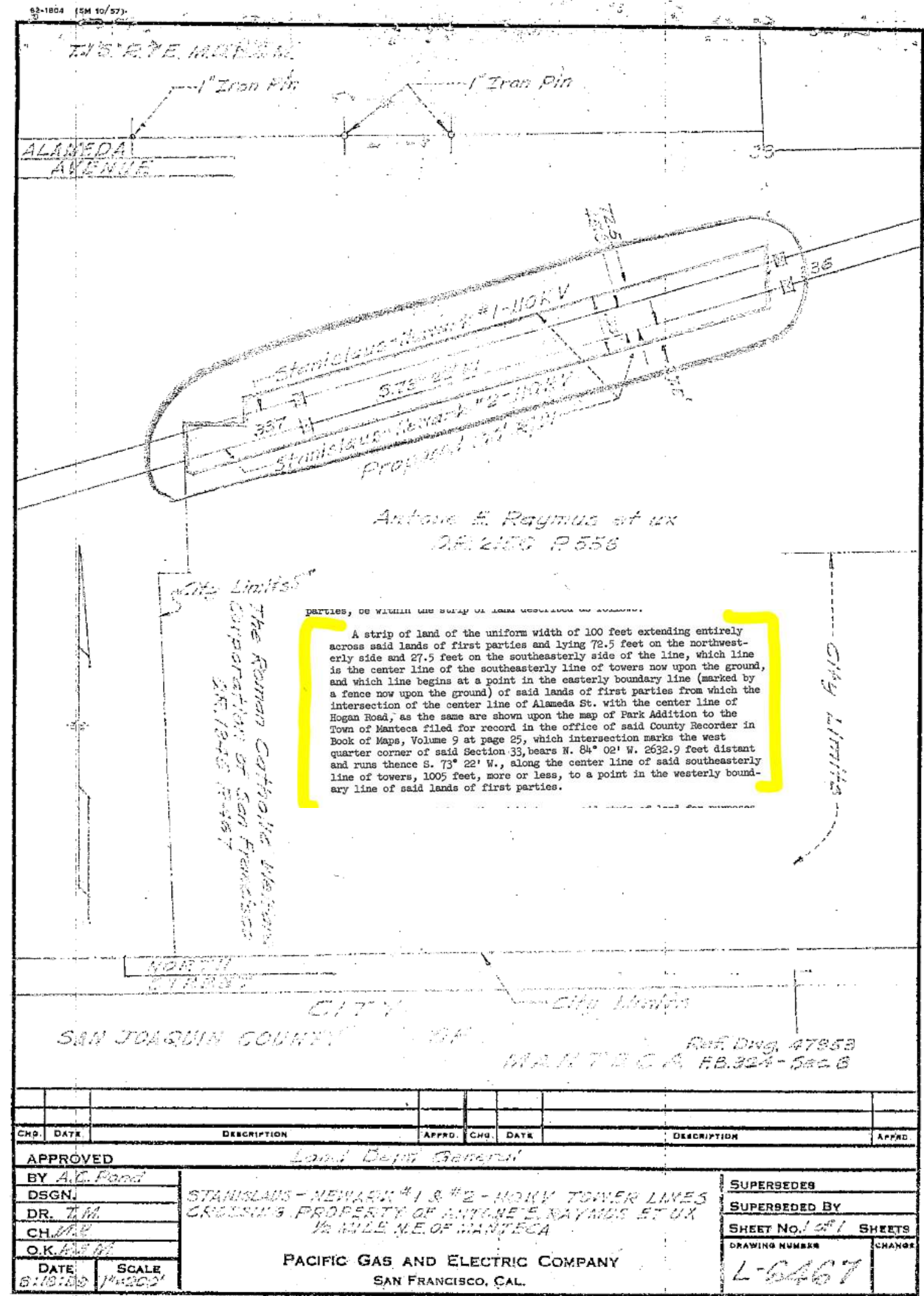
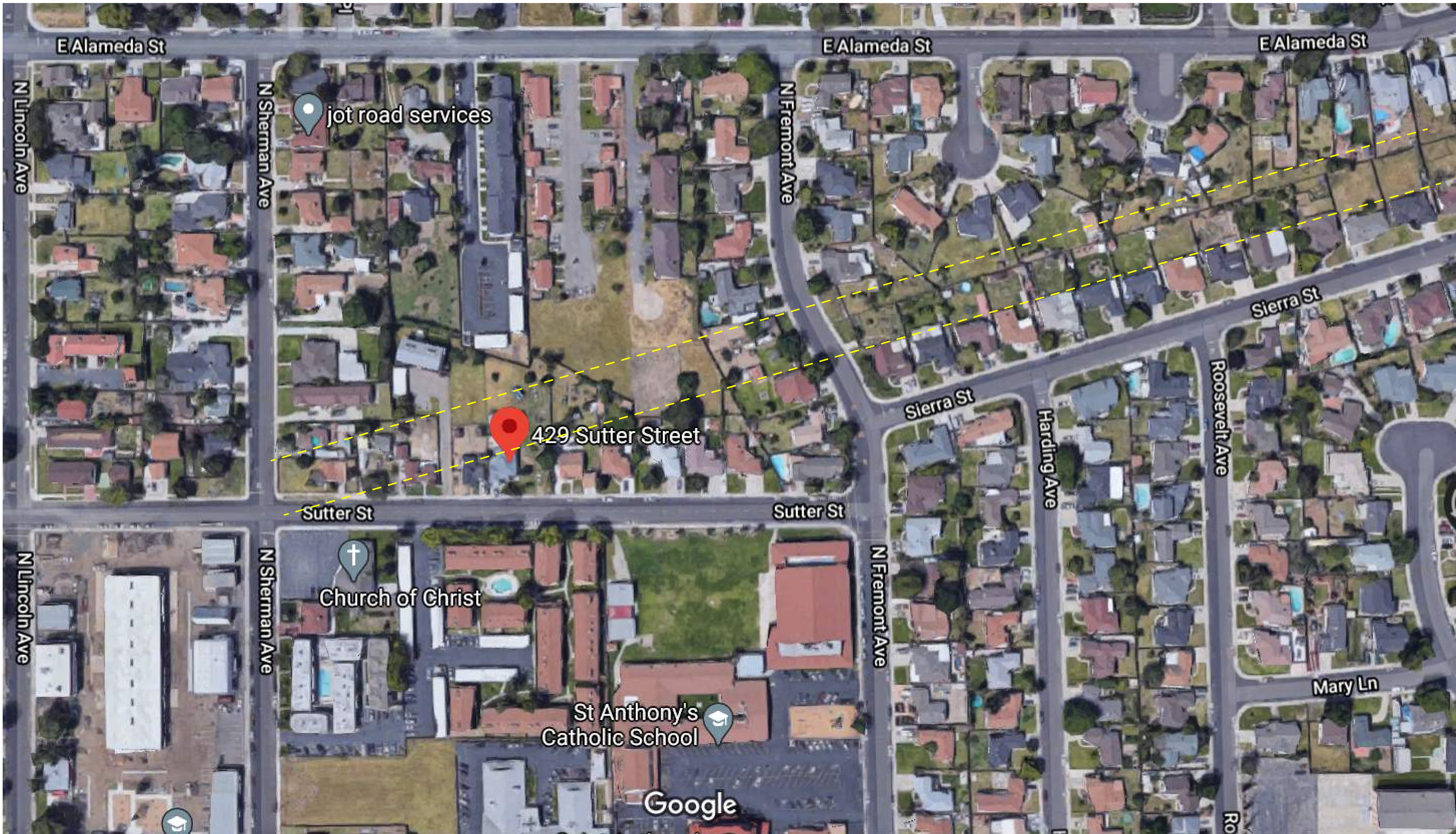
TABLE 17.26.020-1
DEVELOPMENT STANDARDS FOR
MANTECA'S BASE ZONING DISTRICTS

17.48.050 Design Requirements for
Specific Types of Landscaping

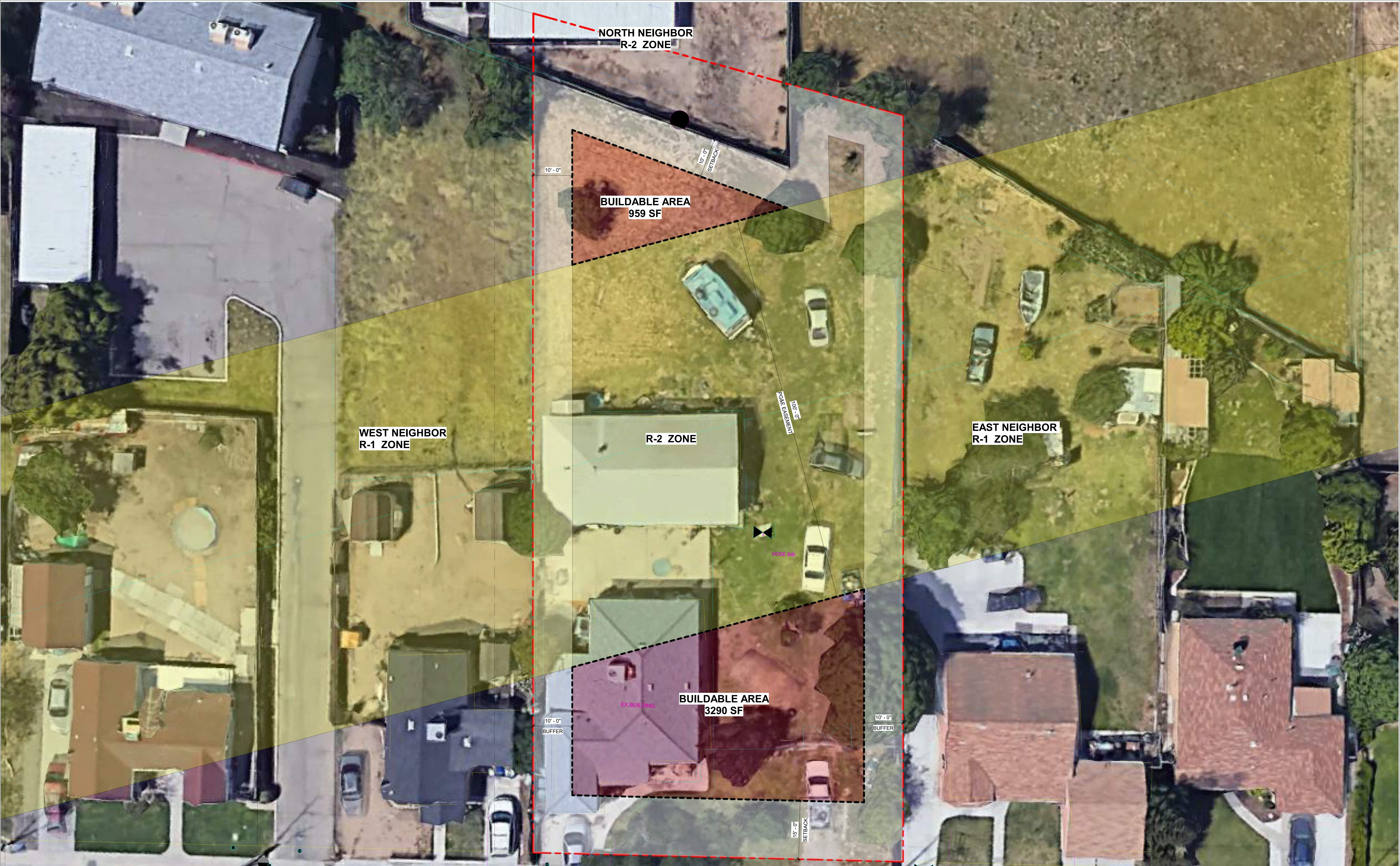
1. Buffering Between Uses. A landscape buffer shall be provided by nonresidential and multi-family uses adjacent to single-family uses. Buffer areas shall include a minimum 10-foot-wide planter strip with shrubs and both deciduous and evergreen trees. Landscaping shall be used to separate buildings from parking and vehicle circulation areas where practical.

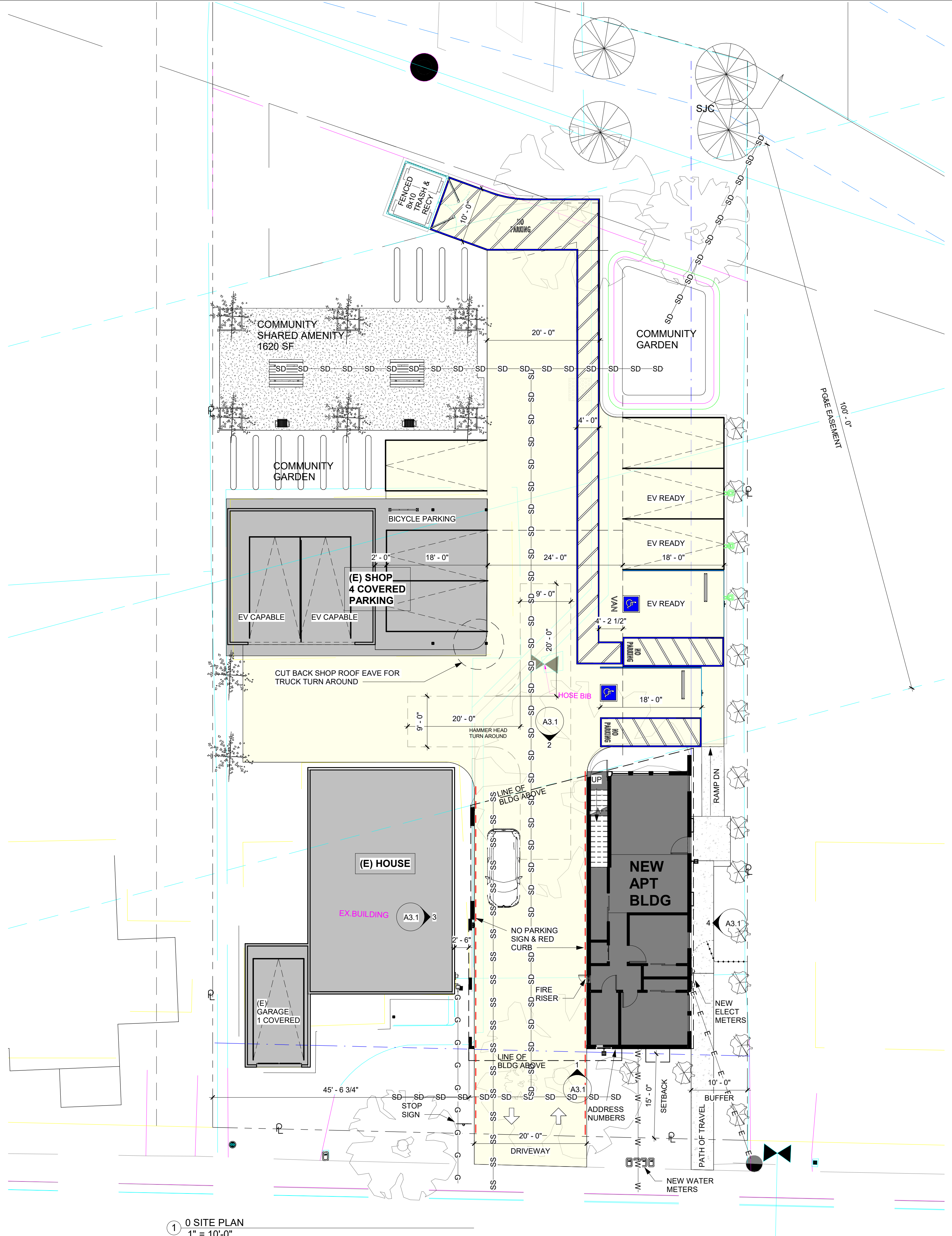
Development Standard/Zoning District	R-1 ¹	R-2	R-3
Allowed Density			
• Minimum Density (du/ac)	2.1	8.1	15.1
• Maximum Density (du/ac)	8	15	25
Setback (min. distance between structure and property line in feet) ²			
• Front Yard	20 ft	15 ft	
• Front Yard to Porch	10 ft	10 ft	
• Side Yard	5 ft	5 ft	
• Street Side Yard	10 ft	10 ft	
• Rear Yard	15 ft ⁴	10 ft ³	
Building Height (max.)			
• Building Height	30 ft	35 ft	45 ft
Floor Area Ratio (maximum ratio of building to lot square footage) and Open Space (min. per dwelling unit)		No max.	
• Floor Area Ratio			
• Open Space	40% of lot	30% of lot	30% of lot

Notes:
1. See additional standards for small-lot single-family development in Section 17.26.040.
2. Setbacks shall be the minimum required under the City's adopted Building Code.
3. When adjacent to a residential district, all structures shall match the setbacks of the adjacent residential district.
4. Garages attached to a main building may encroach into the required rear yard by not more than 10 feet if: (a) it is less than 600 square feet in area; and (b) it shares a common wall of 5 feet or more in length, or is located less than 6 feet from the main building and is connected to the main building by a roofed area (e.g., breezeway) a minimum of 5 feet in width.
5. Minimum 30 percent of multi-family projects shall be designed for community open space and each unit shall include 400 square feet of private open space as described in Section 17.26.030.



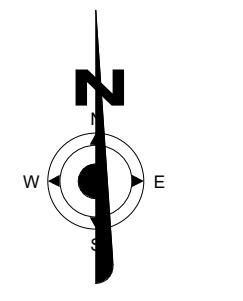




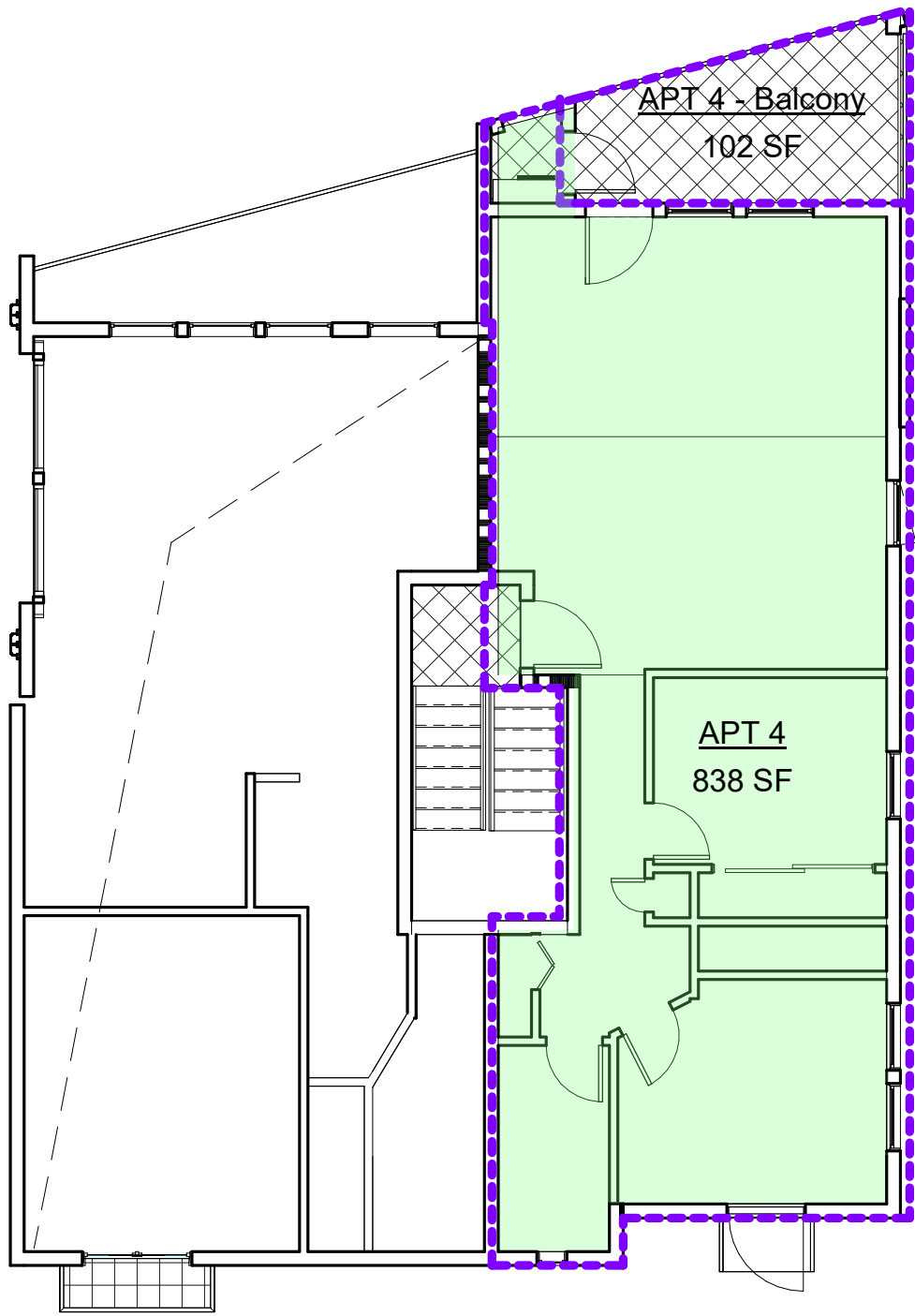


- PROPERTY LINES
--- SETBACK
- - - WOOD FENCE
W—W—W— WATER LINE, SEE CIVIL DWGS
G—G—G— (E) GAS LINE
SS—SS—SS— SANITARY SEWER LINE, SEE CIVIL DWGS
E—E—E— ELECTRICAL LINE
SD—SD—SD— STORM DRAIN LINE, SEE CIVIL DWGS
- SITE LEGEND - 10'
1" = 10'-0"

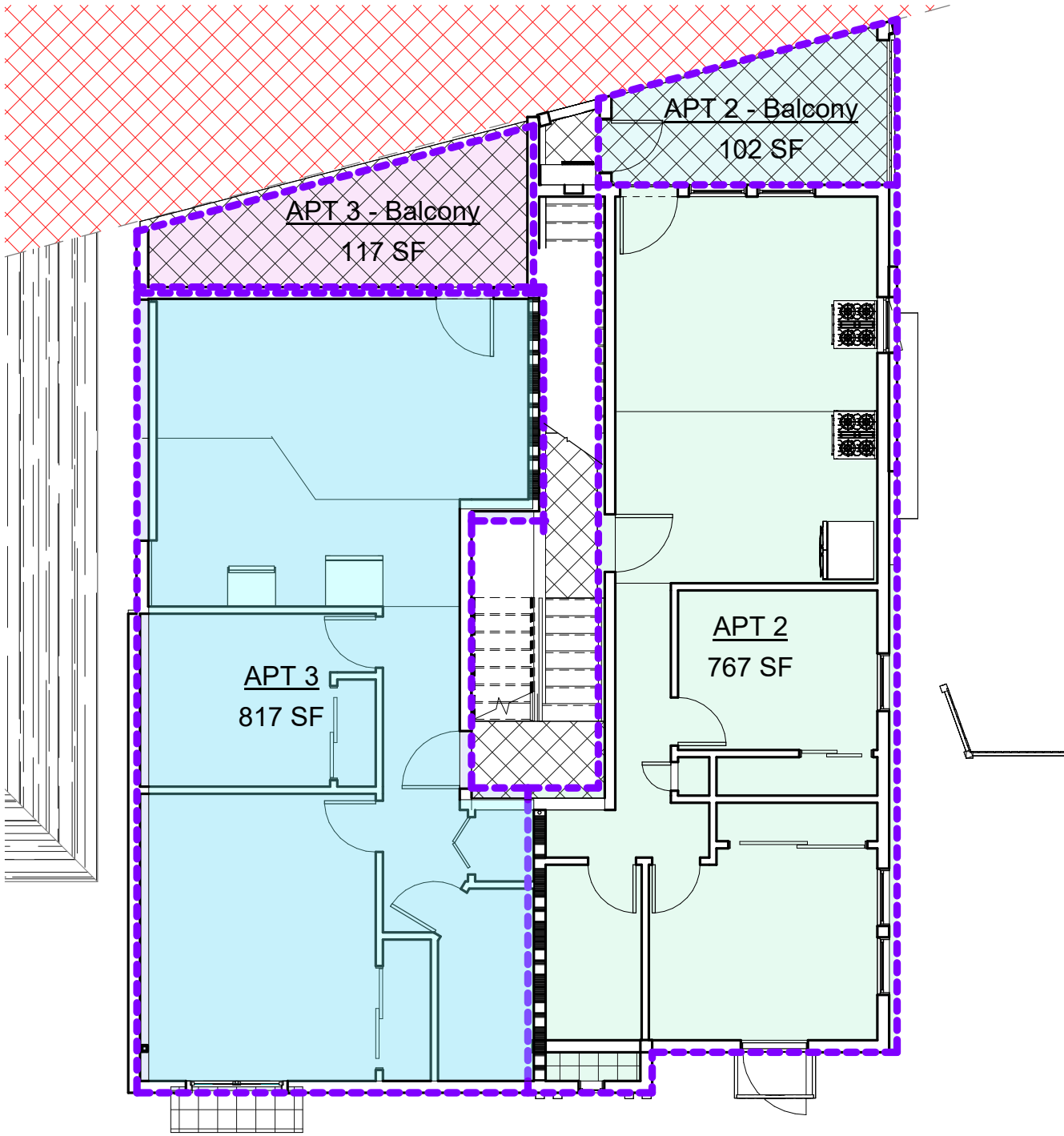
1 0 SITE PLAN
1" = 10'-0"



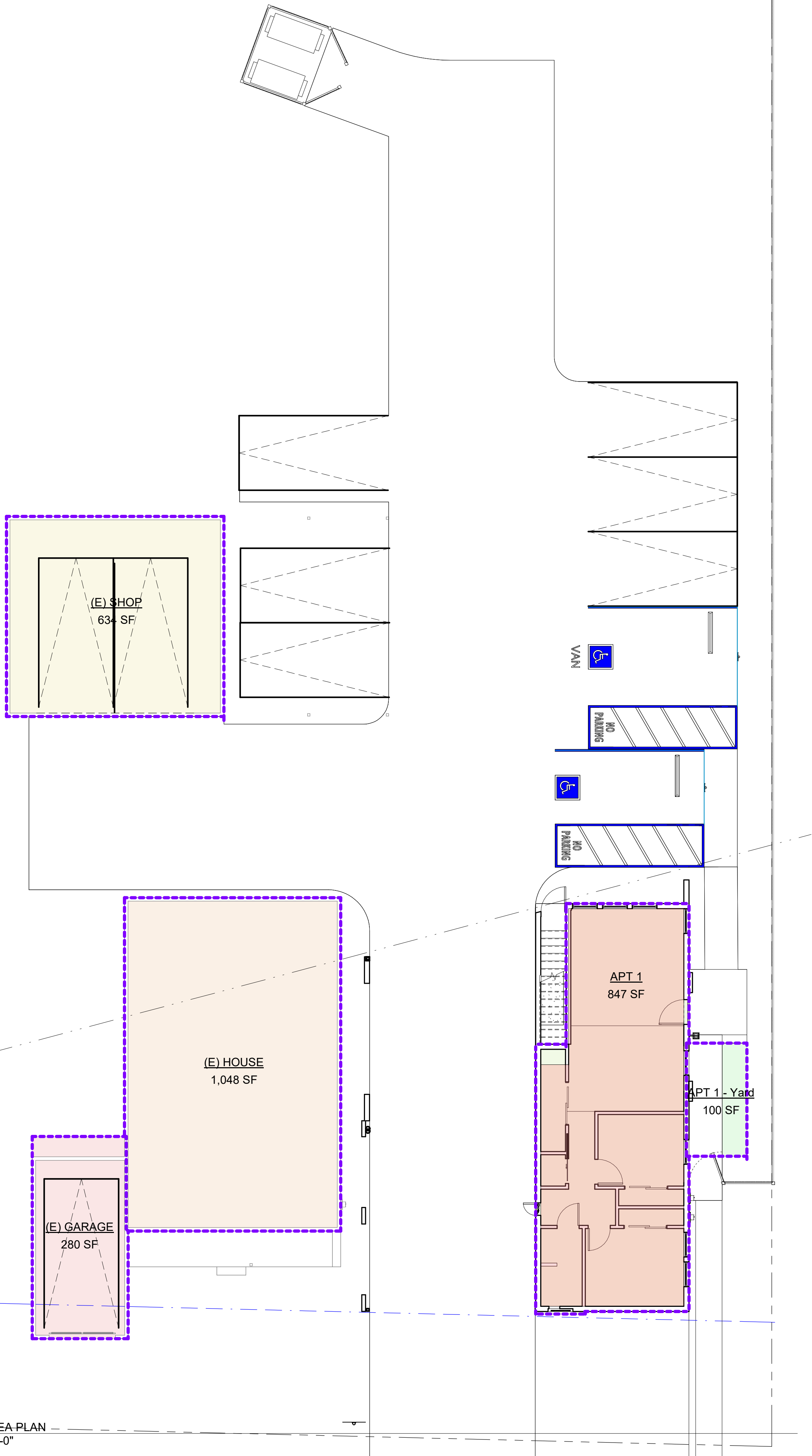
Area Schedule (ALL)		
Level	Name	Area
1 - Living		
1 FL	APT 1	847 SF
2 & 2.5 FL	APT 2	767 SF
2 & 2.5 FL	APT 3	817 SF
3 FL	APT 4	838 SF
2 - Private Exterior		
1 FL	APT 1 - Yard	100 SF
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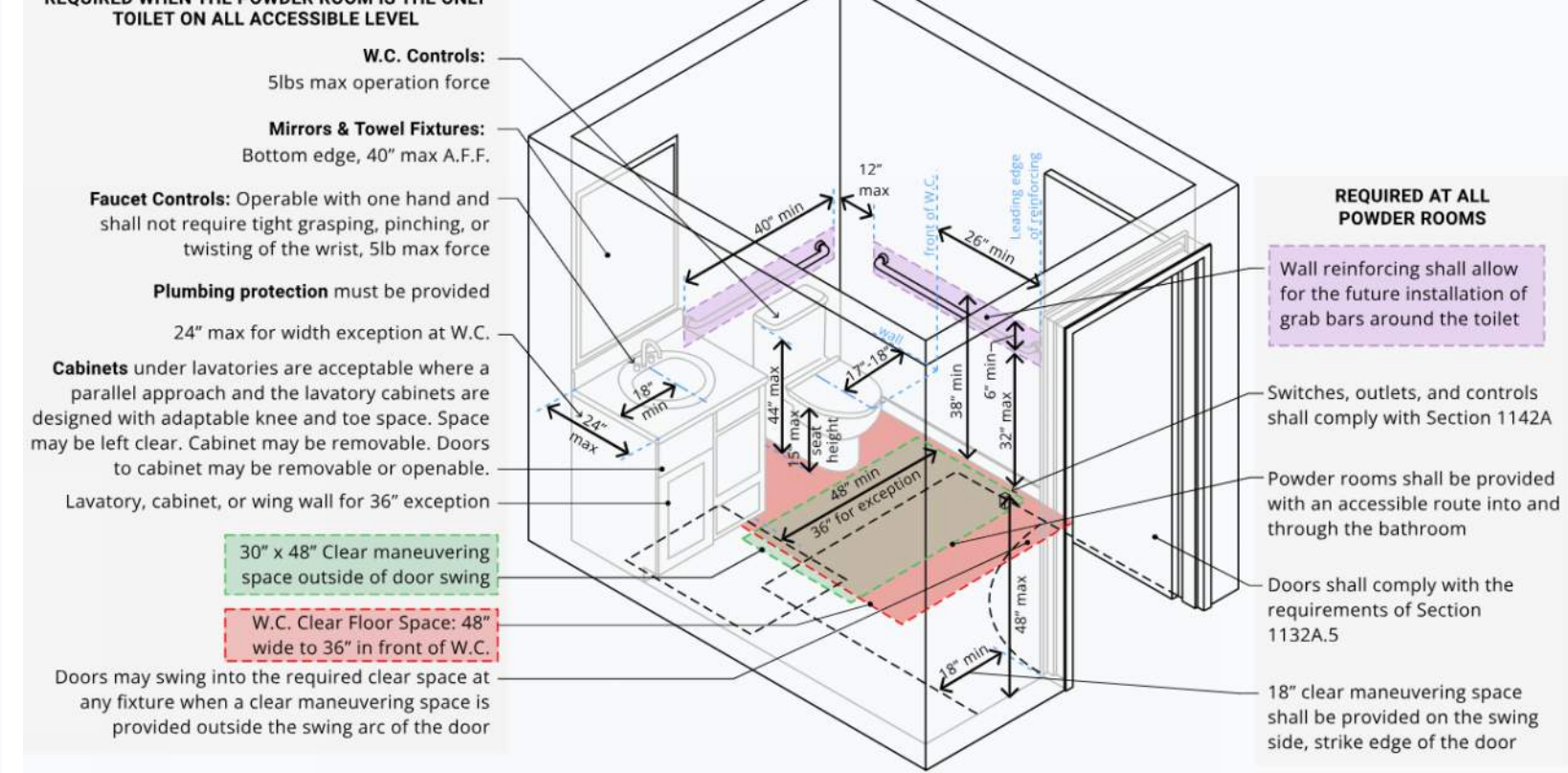
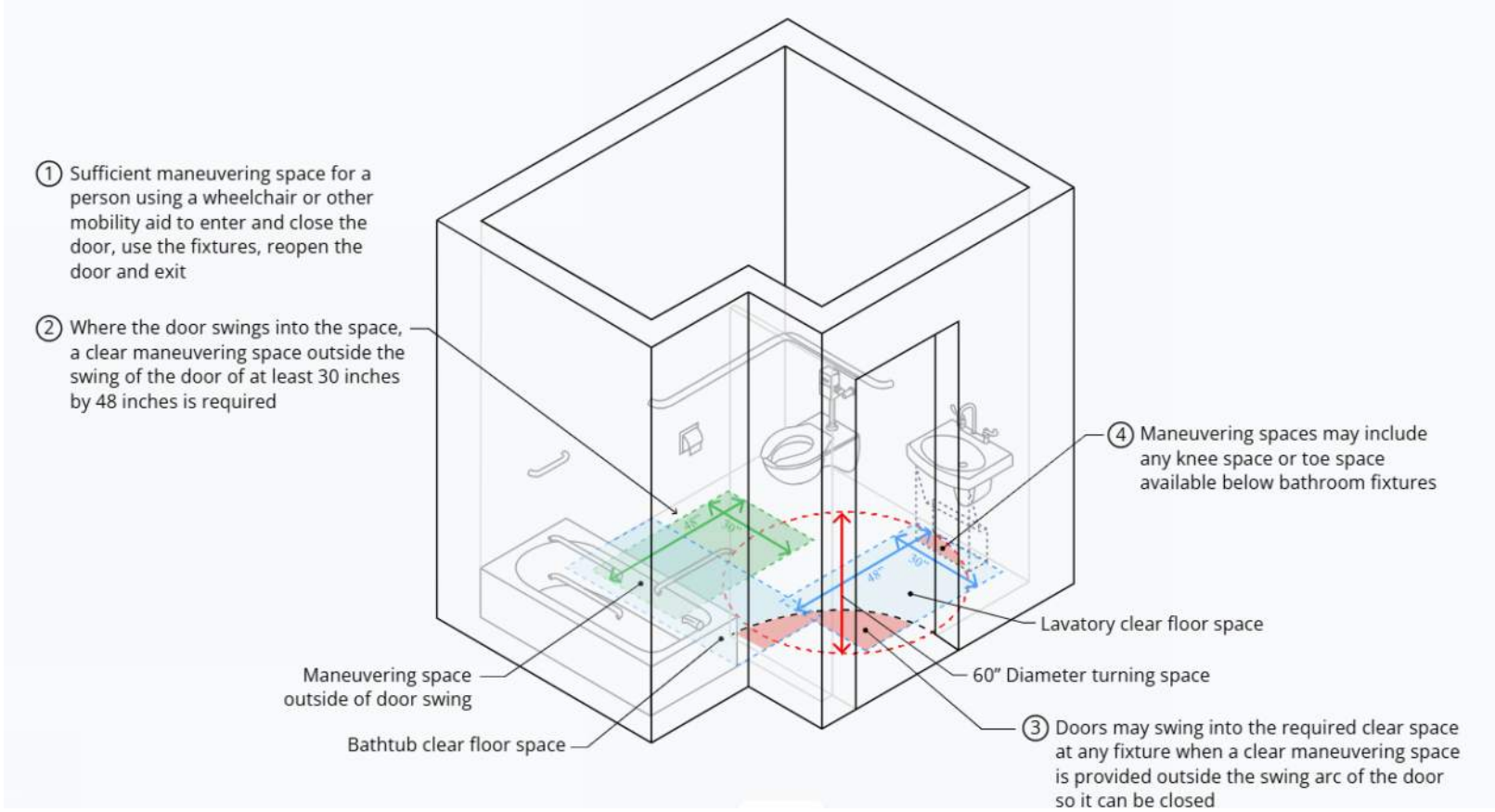
④ 3 FL
1/8" = 1'-0"



③ 2 & 2.5 FL
1/8" = 1'-0"



① 1 FL AREA PLAN
1/8" = 1'-0"

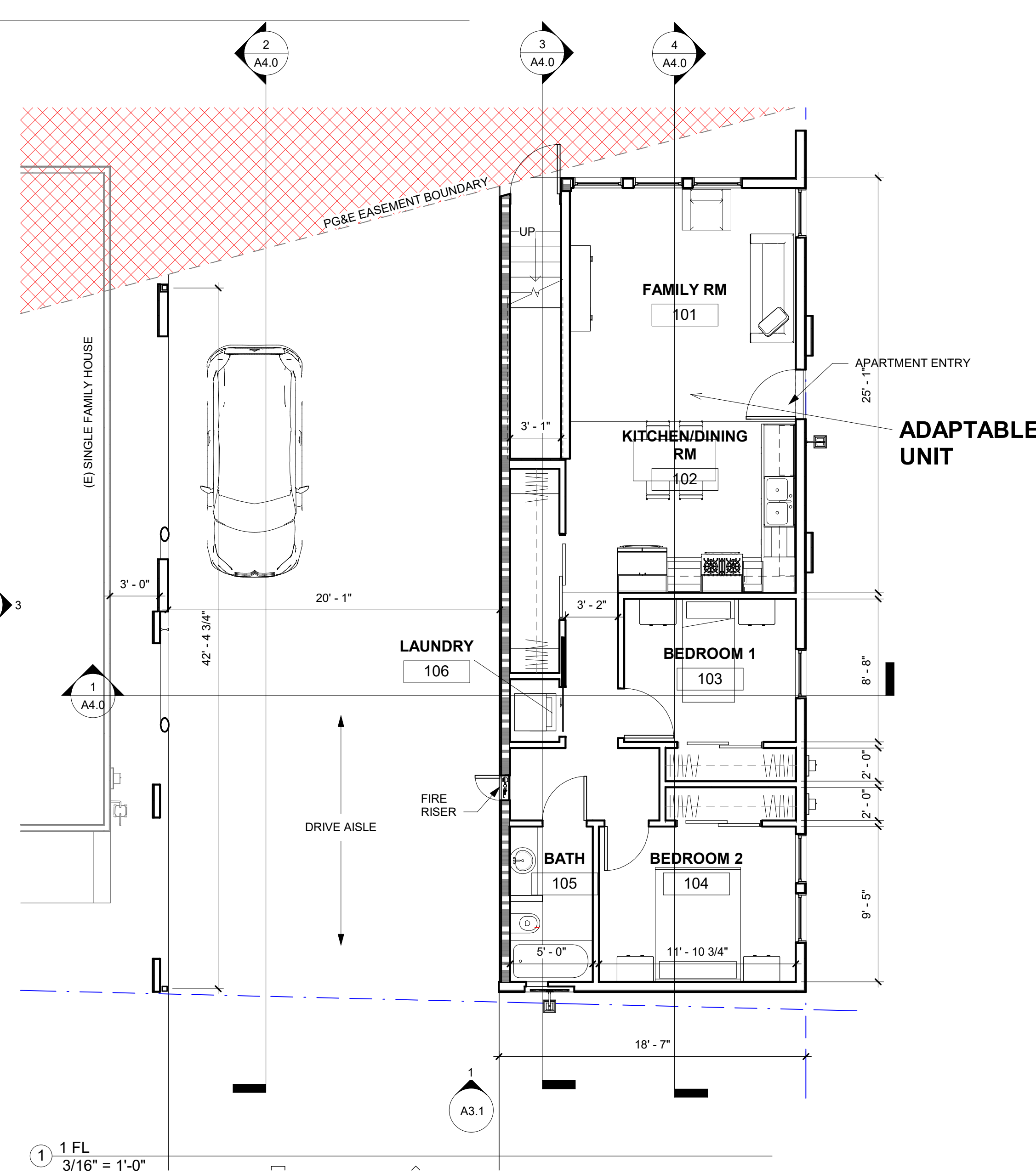
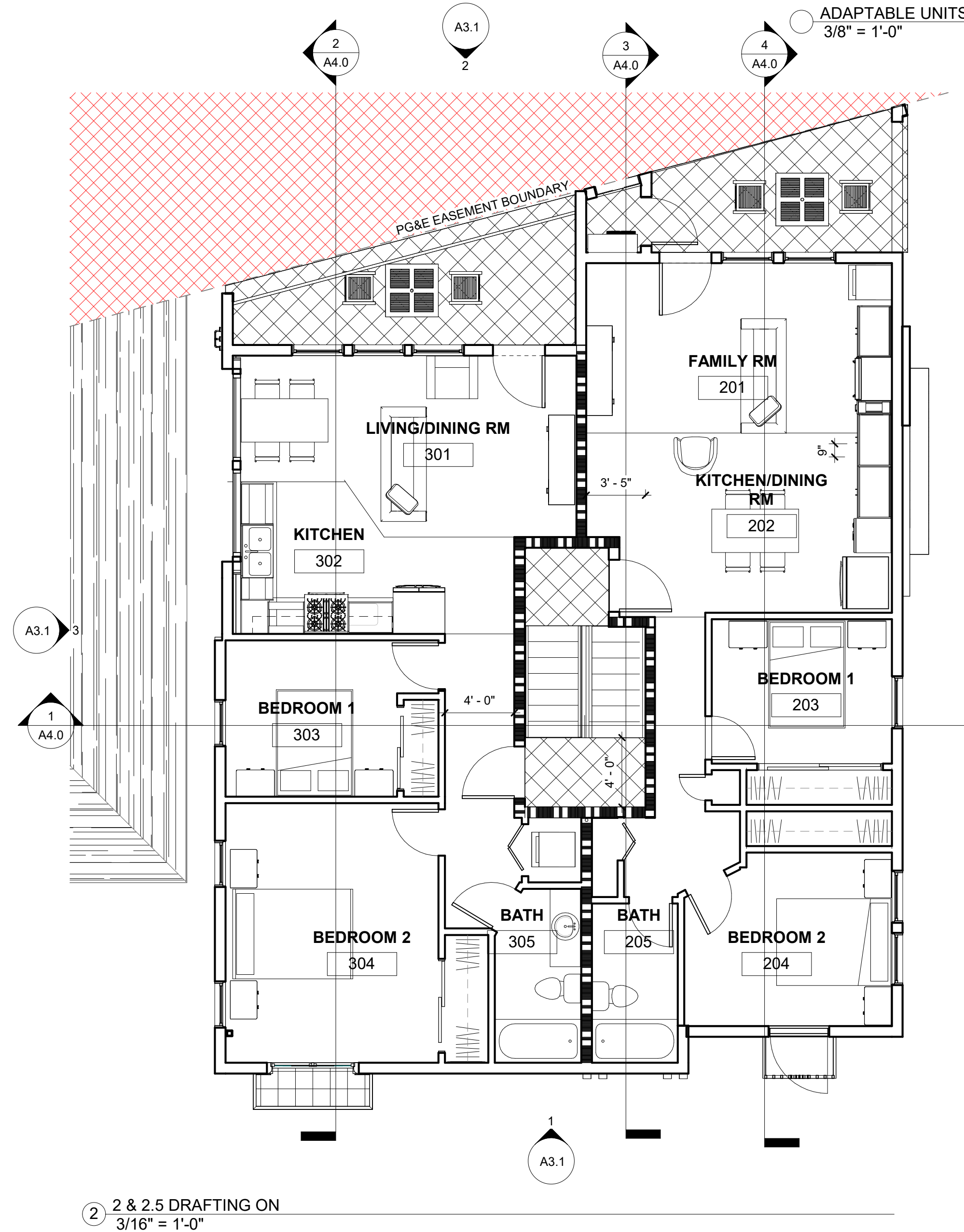
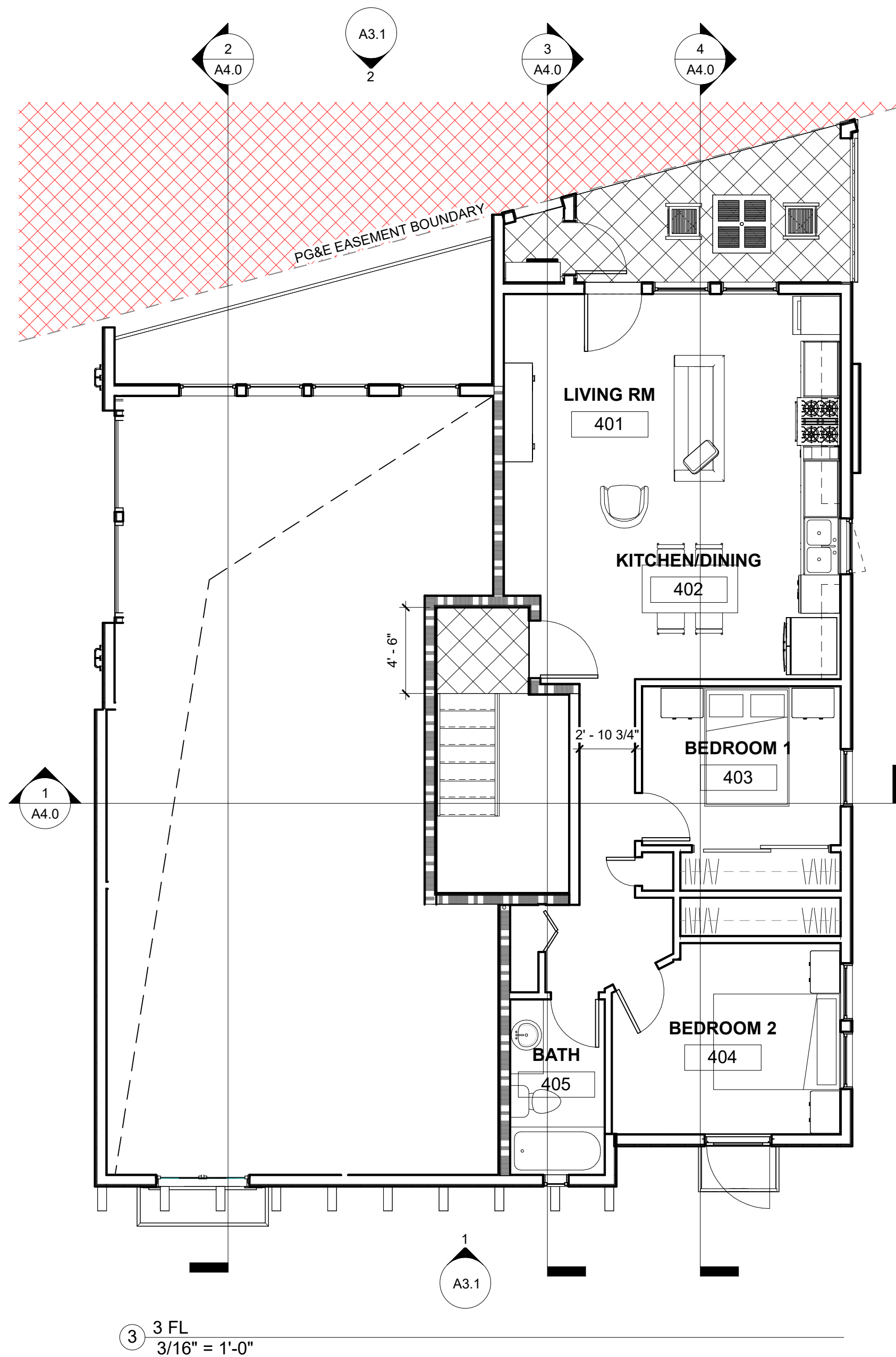
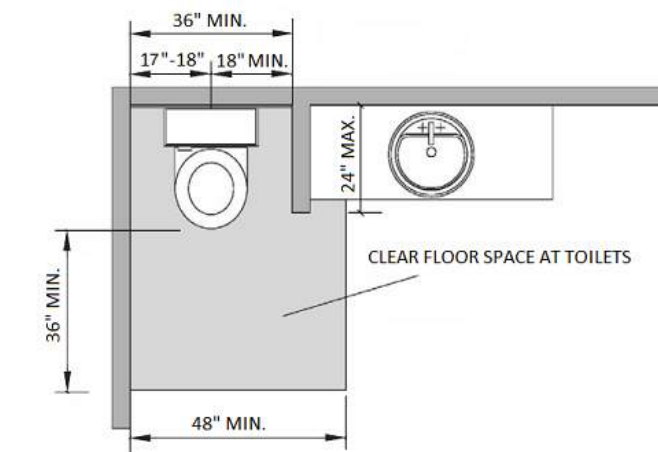


1102A.3.1 - Multistory Apartment or Condominium Dwellings in Buildings With No Elevator

GROUND FLOOR UNIT ONLY -

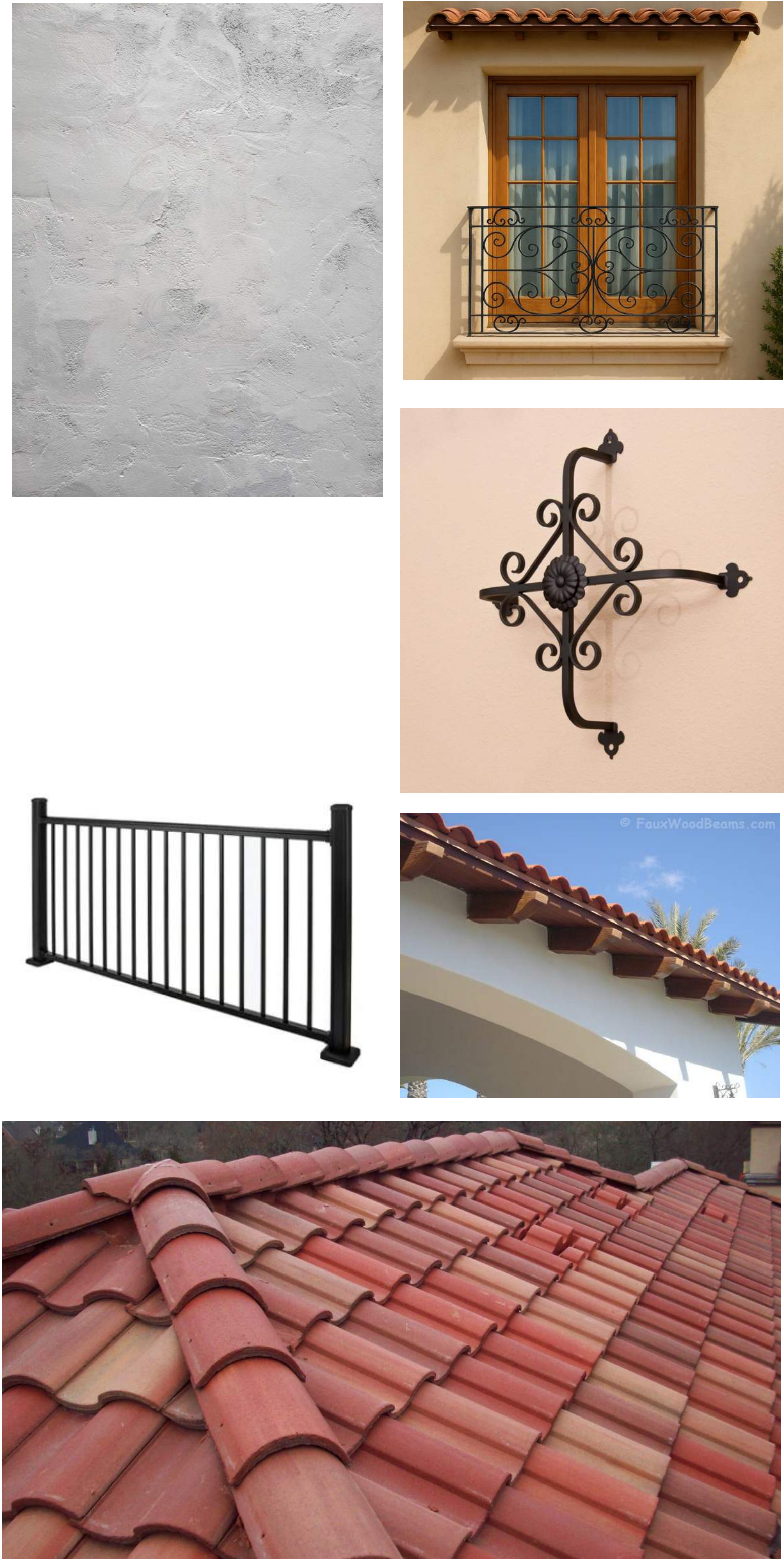
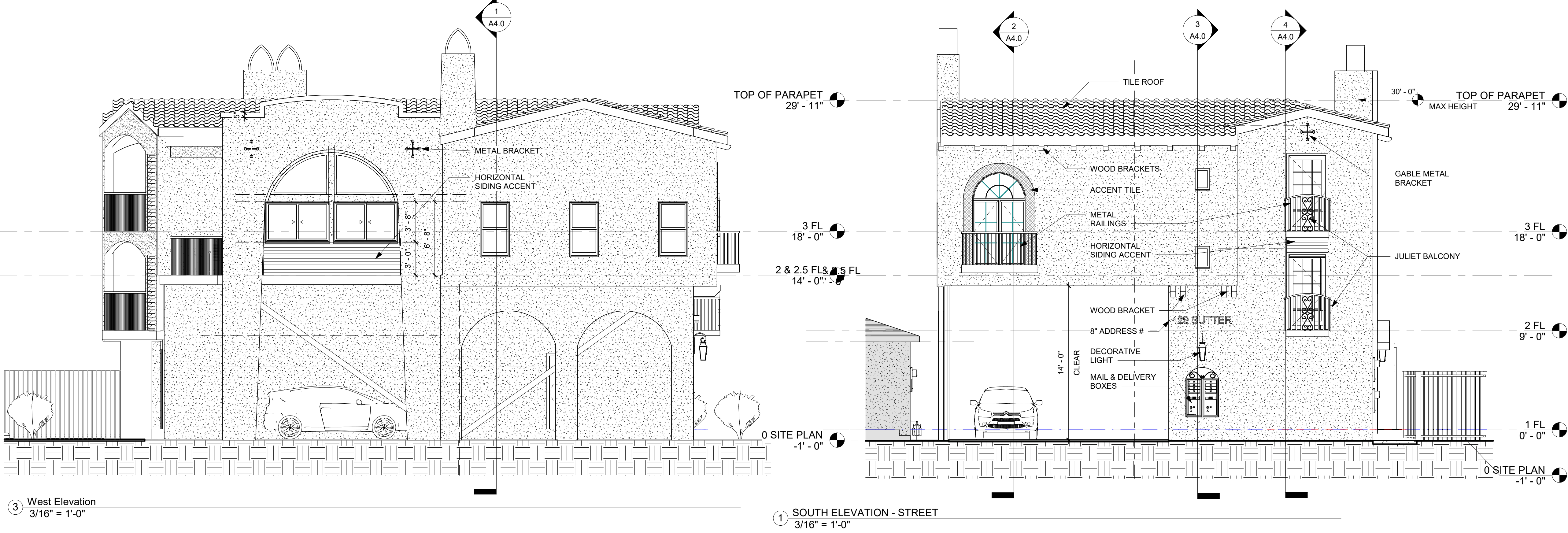
1. The primary entry to the dwelling unit shall be on an accessible route unless exempted by site impracticability tests in Section 1150A.
2. At least one powder room or bathroom shall be located on the primary entry level, served by an accessible route and shall comply with the provisions in Division IV.
3. All rooms or spaces located on the primary entry level shall be served by an accessible route and shall comply with the provisions in Division IV. Rooms and spaces located on the primary entry level and subject to this chapter may include but are not limited to kitchens, powder rooms, bathrooms, living rooms, bedrooms or hallways.
4. Common use areas covered by this section shall be accessible as required by this chapter. Public use areas as defined in Chapter 2 of this code are subject to provisions of the Division of the State Architect (DSA-AC) and are referenced in Section 1.9.1.1.

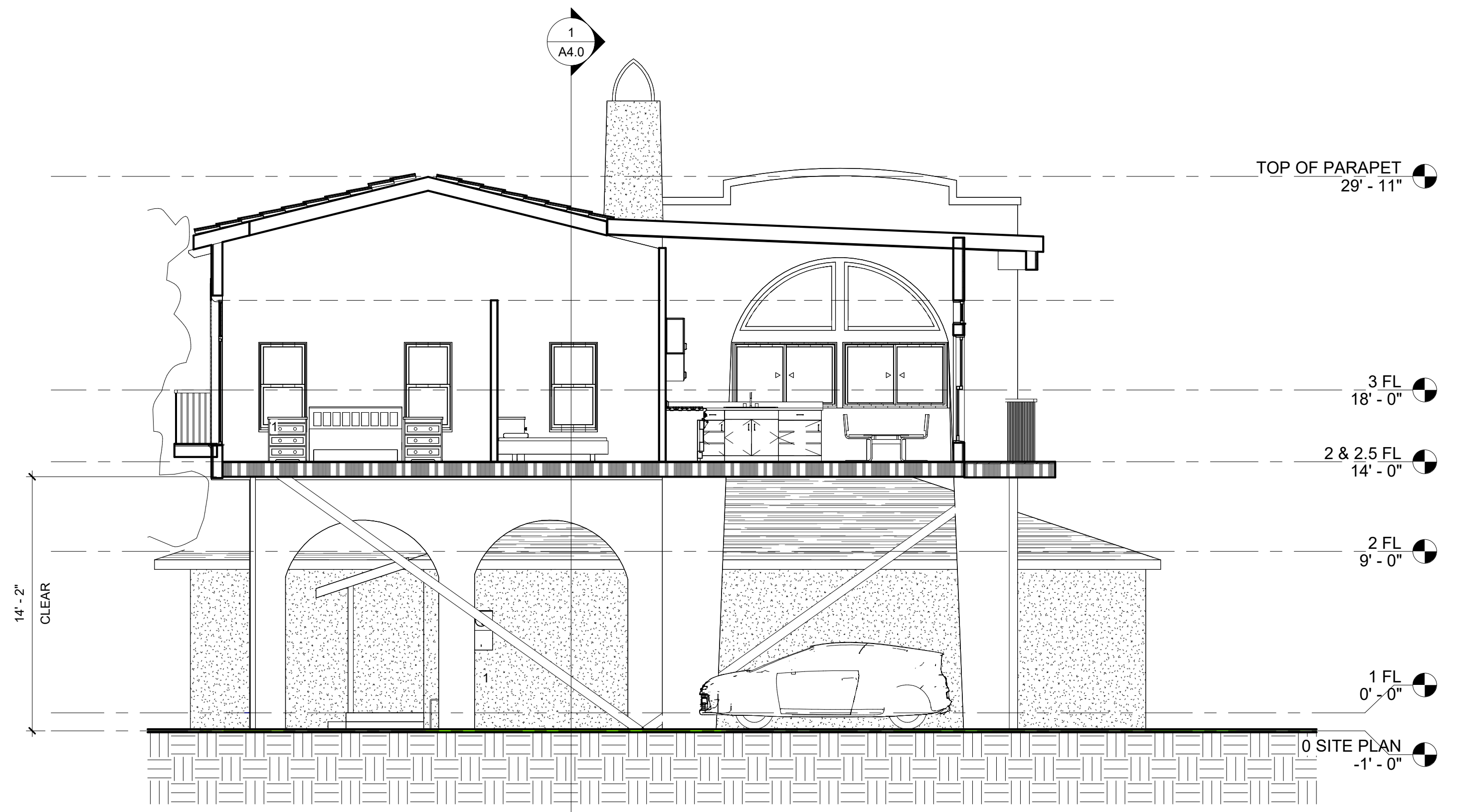
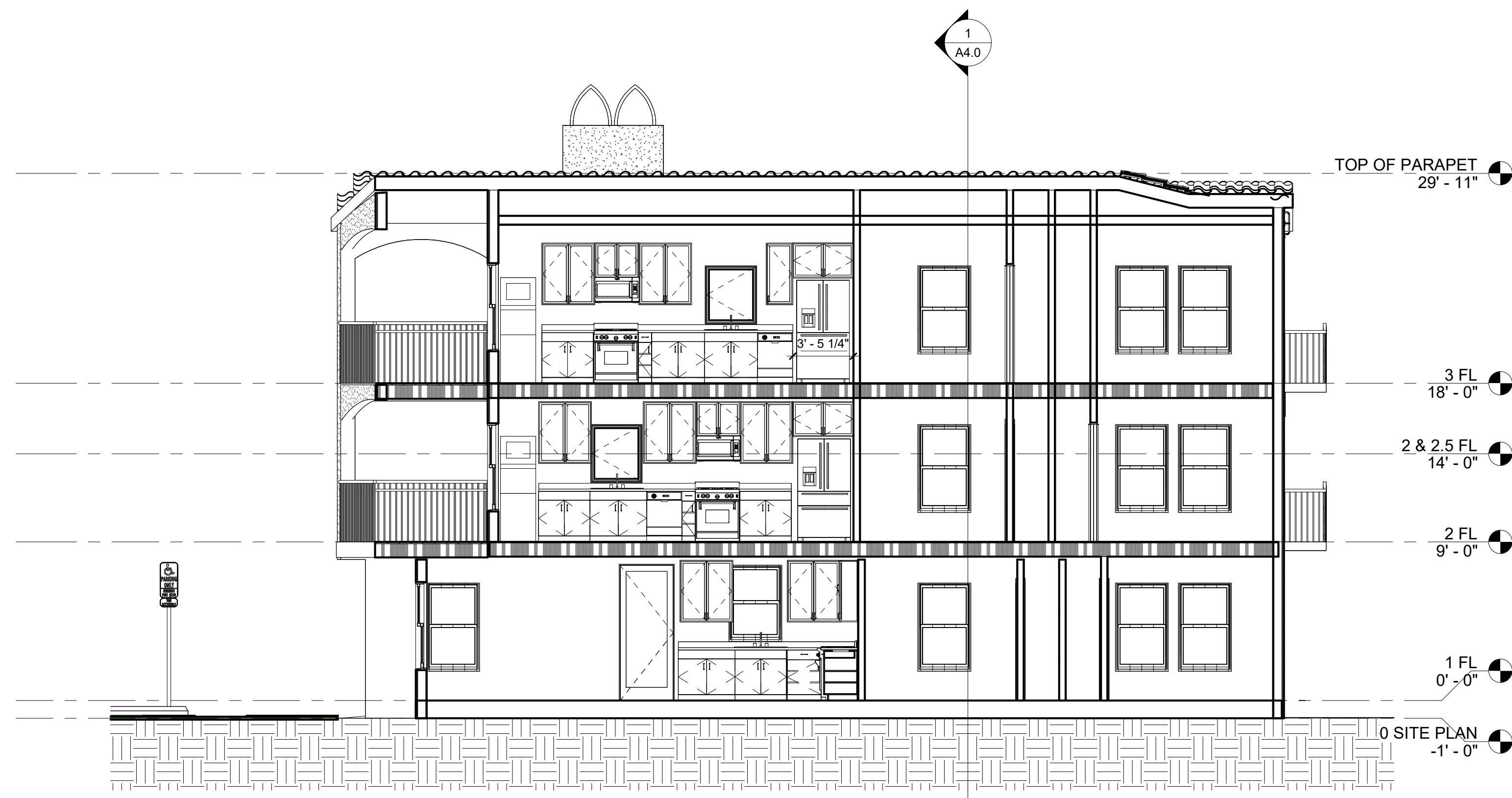
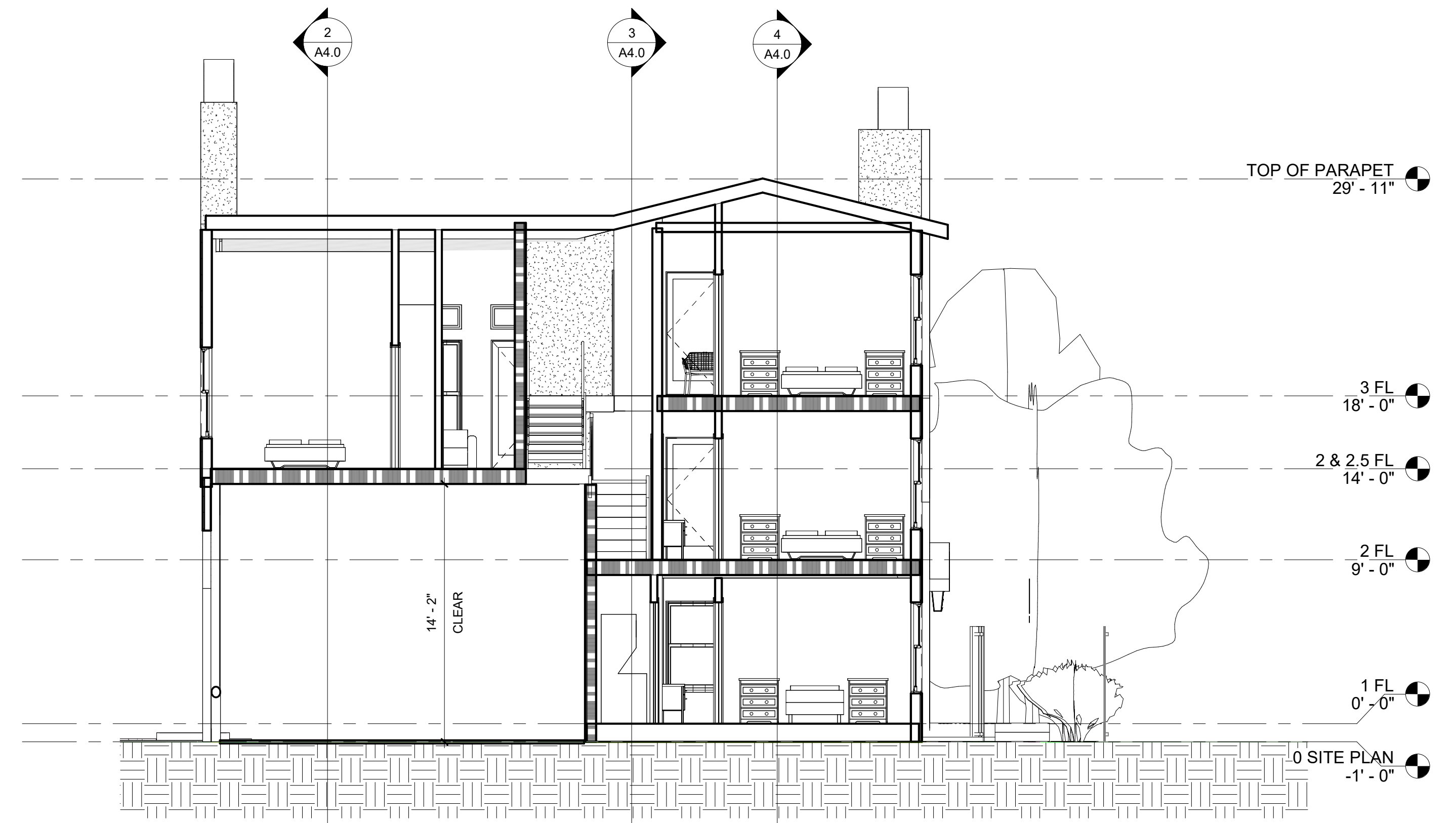
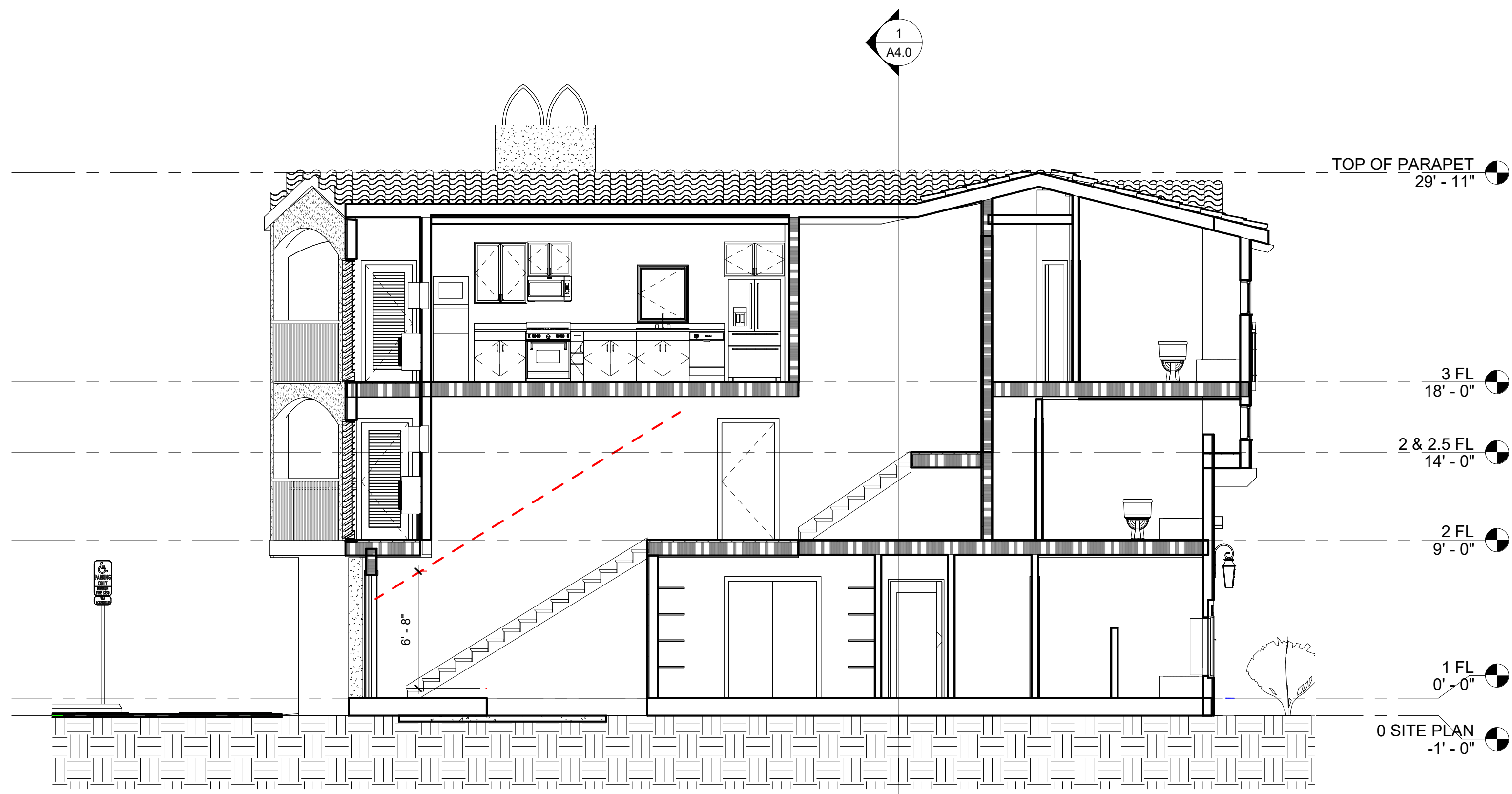
Figure 11A-9M Wing Wall or Cabinet at Water Close



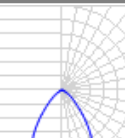
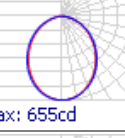
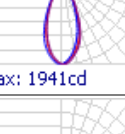
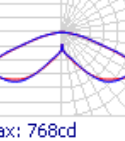
LEGEND

- OUT OF SCOPE, NO WORK
- LIGHT WEIGHT CONCRETE ROOF TILE
- STUCCO SIDING





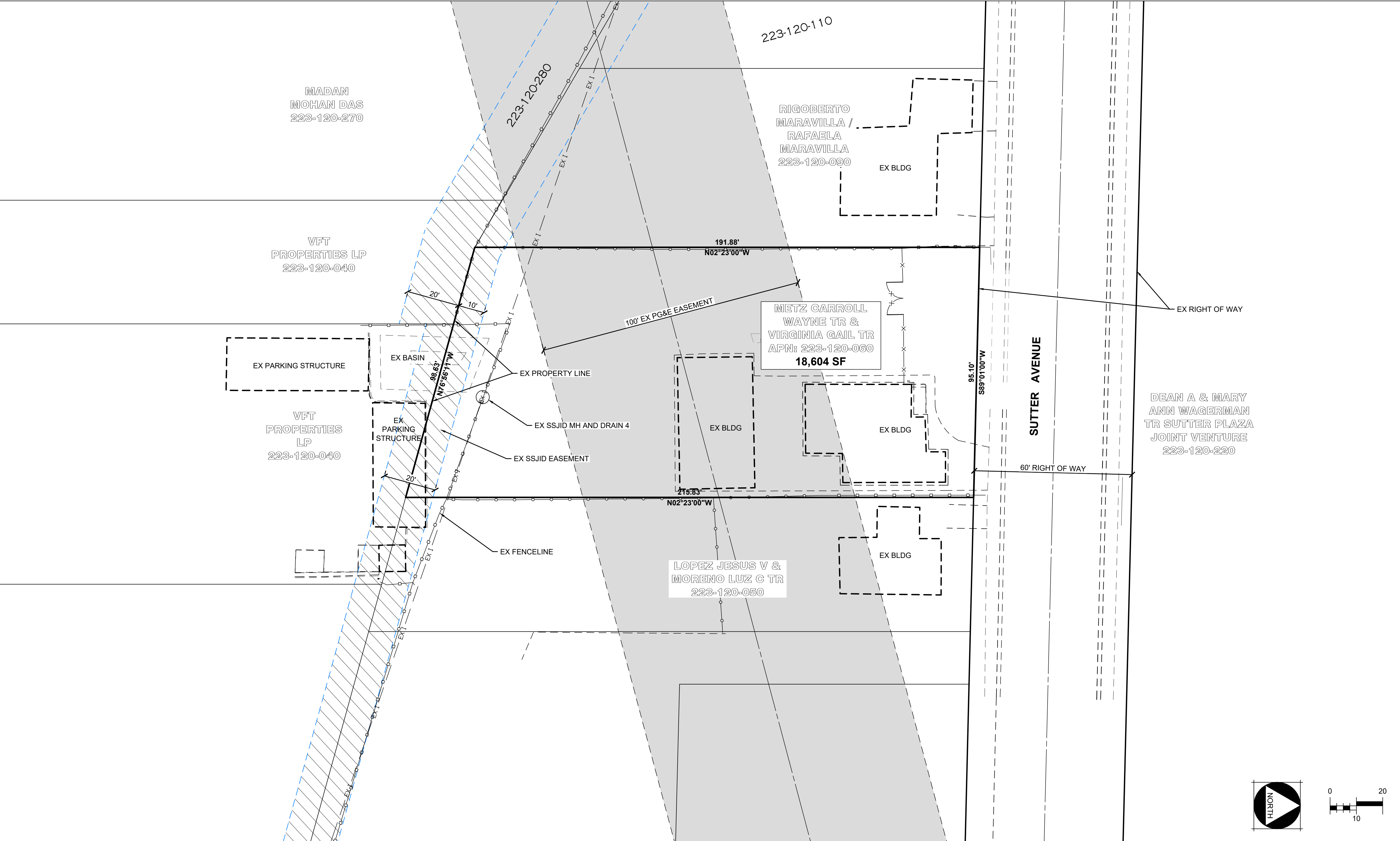


Schedule											
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
	A		6	HALO LIGHTING	HC410DD010-HM412835-41WDH	HALO COMMERCIAL 4" ROUND, NEW CONSTRUCTION FRAME, WITH 4" WIDE DISTRIBUTION, HAZE TRIM	1	948	0.85	10	 Max: 672cd
	B		8	AXIS LIGHTING	EX2S-400-80-35-SO-4	Extend 2 Surface with Spotless lens	1	1592	0.85	15.4	 Max: 655cd
	C		2	WAC LIGHTING	Surface-mounted Luminaires	W4R-FCS-WTWT-2700K	1	1131	0.9	15.2969	 Max: 1941cd
	D		3	MCRAW- EDISON LIGHTING	BRT6-A3-727-U-T5-XX-BK	BOLLARD 6INCH ROUND BASE, 3000LM, TYPE V SYMMETRICAL, BLACK FINISH	20	136	0.85	29.2	 Max: 768cd

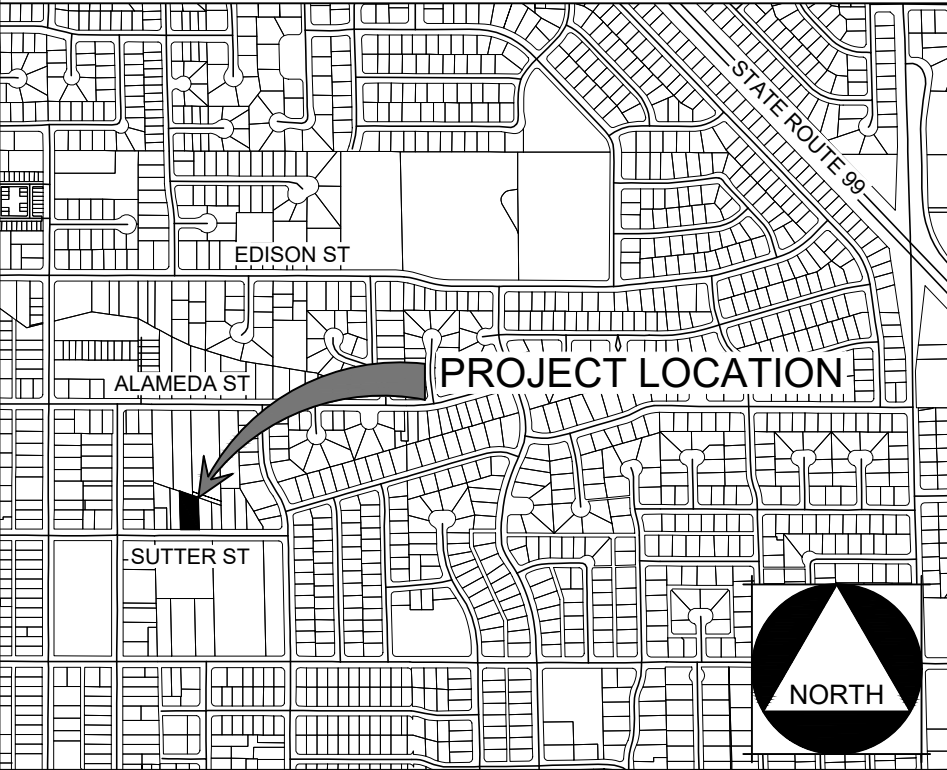
SEE ATTACHED LIGHT FIXTURE CUT SHEETS

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Eastside Off Property Area	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Site Area	+	1.8 fc	18.8 fc	0.0 fc	N/A	N/A

EXISTING BOUNDARY & EASEMENTS



VICINITY MAP



PROJECT INFORMATION

- PROPERTY OWNERS:
METZ FAMILY TRUST / DANNY K METZ / METZ KATHERINE L
255 N. MARKET STREET SUITE 255
SAN JOSE, CA 95110
- ENGINEERING:
MCR ENGINEERING INC.
1242 DUPONT COURT
MANTECA, CA 95336
(209) 239-6229
- CURRENT ZONING: R-2 - LIMITED MULTIPLE-FAMILY DWELLING
- CURRENT GENERAL PLAN: MDR - MEDIUM DENSITY RESIDENTIAL
- SCHOOL DISTRICT:
MANTECA UNIFIED SCHOOL DISTRICT
- SEWAGE DISPOSAL BY CONNECTION TO EXISTING CITY SEWER SYSTEM.
- STORM DRAINAGE SHALL BE COLLECTED BY ON-SITE SYSTEM AND DISCHARGED INTO SSJID LATERAL.
- DOMESTIC WATER BY CONNECTION TO CITY WATER SYSTEM.
- ALL IMPROVEMENTS TO CONFORM TO CITY OF MANTECA STANDARDS.

SHEET INDEX

SHEET #	SHEET TITLE
C1	COVER SHEET
C2	TOPOGRAPHIC MAP AND DEMOLITION PLAN
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C6	STORMWATER PLAN PLAN
C7	EROSION CONTROL PLAN

LEGEND

ITEM	EXISTING	PROPOSED	ITEM	EXISTING	PROPOSED
WATER VALVE			TYPICAL LUMINAIRE		
AIR RELEASE VALVE			ELECTRICAL VAULT		
BLOWOFF			SURVEY MONUMENT		
FIRE HYDRANT			UTILITY POLE		
WATER METER			SIGNAGE		
SEWER MANHOLE			ELEVATION		
STORM MANHOLE			DIRECTION OF FLOW		
DRAIN INLET			ORIGINAL GROUND		
CURB INLET			BARBED WIRE FENCE		
CLEANOUT			WOOD FENCE		
SEWER MANHOLE NUMBER			RETAINING WALL		
STORM MANHOLE NUMBER			MASONRY WALL		
WATER LINE			CURB, GUTTER & SIDEWALK		
SANITARY SEWER					
STORM DRAIN					
TYPICAL ELECTROLIER					

ABBREVIATION LIST

@	AT	FL	FLOW LINE	ROW/RW	RIGHT-OF-WAY
AB	AGGREGATE BASE	G	GROUND	RTW	RETAINING TOP OF WALL
AC	ASPHALT CONCRETE	GB	GRADE BREAK	RWL	RAIN WATER LEADER
ADA	AMERICAN DISABILITIES ACT	GW	GREASE WASTE	S	SLOPE
BC	BEGINNING OF CURVE	HGL	HYDRAULIC GRADE LINE	SD	STORM DRAIN
BDRY	BOUNDARY	HP	HIGH POINT	SHT	SHEET
BVC	BEGIN VERTICAL CURVE	INV	INVERT	SL	SECTION LINE
BW	BOTTOM WALL	IRR	IRRIGATION	STA	STATION
C & G	CURB AND GUTTER	LF	LINEAL FEET OR LINEAR FEET	STD	STANDARD
CB	CATCH BASIN	LP	LOW POINT	SW / S/W	SIDEWALK
CI	CURB INLET	MAX	MAXIMUM	SS	SANITARY SEWER
CIP	CAST IN PLACE PIPE	MH	MAINTENANCE HOLE		SOUTH SAN JOAQUIN IRRIGATION DISTRICT
CL	CENTER LINE	MIN	MINIMUM	S.S.J.I.D.	THRUST BLOCK
CO	CLEAN OUT	MS4	MUNICIPAL SEPARATE STORM SEWER SYSTEM	TB	TOP OF CURB
CONC	CONCRETE	NTS	NOT TO SCALE	TC	TEMPORARY
COM	CITY OF MANTECA	OG	ORIGINAL GROUND / GRADE	THRU	THROUGH
CR	CURB RETURN	OR	OFFICIAL RECORD	TI	TRAFFIC INDEX
CRN	ROAD CROWN	(P)	PROPOSED	TR	TRANSITION
DIA	DIAMETER	P	PAVEMENT	TW	TOP OF WALL
DIP	DUCTILE IRON PIPE	PIV	POST INDICATOR VALVE	TYP.	TYPICAL
DO	DRIVE OVER	PL	PROPERTY LINE	U.N.O.	UNLESS NOTED OTHERWISE
DW	DRIVEWAY		PARCEL MAP (SAN JOAQUIN COUNTY RECORDS)	V	6" VERTICAL CURB
EC	END OF CURVE	P.M.	POWER POLE	W	WATER
EG	EXISTING GROUND	PP	POINT OF REVERSE CURVATURE	WS	WATER SERVICE
ELEV	ELEVATION	PT	POINT	±	PLUS OR MINUS (NOT EXACT)
EP	EDGE OF PAVEMENT	PUE	PUBLIC UTILITY EASEMENT		
ESMT	EASEMENT	PVC	POLYVINYL CHLORIDE PIPE		
EVA	EMERGENCY VEHICLE ACCESS	R	RADIUS		
EVC	END OF VERTICAL CURVE	RBW	RETAINING BOTTOM OF WALL		
EX, (EX), EXIST	EXISTING	RCP	REINFORCED CONCRETE PIPE		
FG	FINISHED GRADE	RET	RETURN		
FH	FIRE HYDRANT				

APPROVALS

APPROVED BY THE CITY ENGINEER OF THE CITY OF MANTECA
THIS _____ DAY OF _____, 2025

CITY ENGINEER

mcr ENGINEERING
www.mcreng.com
1242 DUPONT COURT
MANTECA, CA 95336
TEL : (209) 239-6229
FAX : (209) 239-8839



APPROVED:

PLAN REVISIONS		
NO.	DESCRIPTIONS	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		

PRELIMINARY PLANS FOR:
SARENE PLACE APARTMENTS

COVER SHEET

MANTECA, CA

429 SUTTER STREET

811
Know what's below.
Call before you dig.
811 / 800-227-2600

JOB NO.: 24-043
DATE: 11/24/2025
SCALE: AS SHOWN
DR. BY: KRL
CK. BY: MS

SHEET NO.

C1

OF 7 SHEET

PLAN REVISIONS		
NO.	DESCRIPTIONS	DATE
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PRELIMINARY PLANS FOR:
SARENE PLACE APARTMENTS

TOPOGRAPHIC MAP AND DEMOLITION PLAN

429 SUTTER STREET
MANTECA, CA



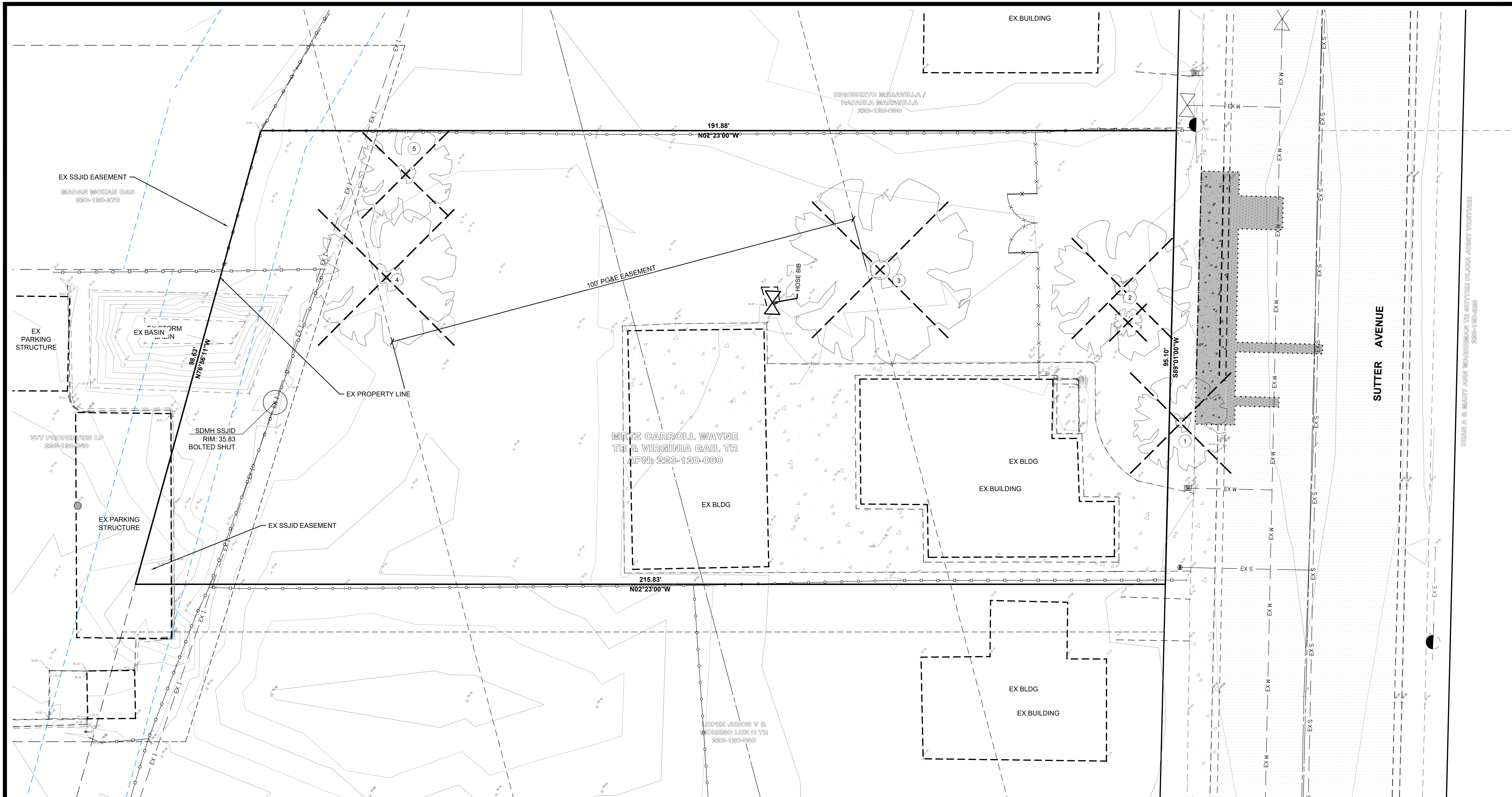
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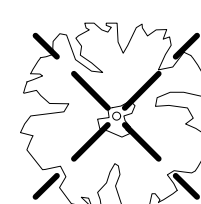
C2

OF 7 SHEET



	EXISTING PAVEMENT: (TO REMAIN)		DEMO AND REMOVE EXISTING PAVEMENT
	EXISTING CONCRETE: (TO REMAIN)		DEMO AND REMOVE EXISTING CONCRETE

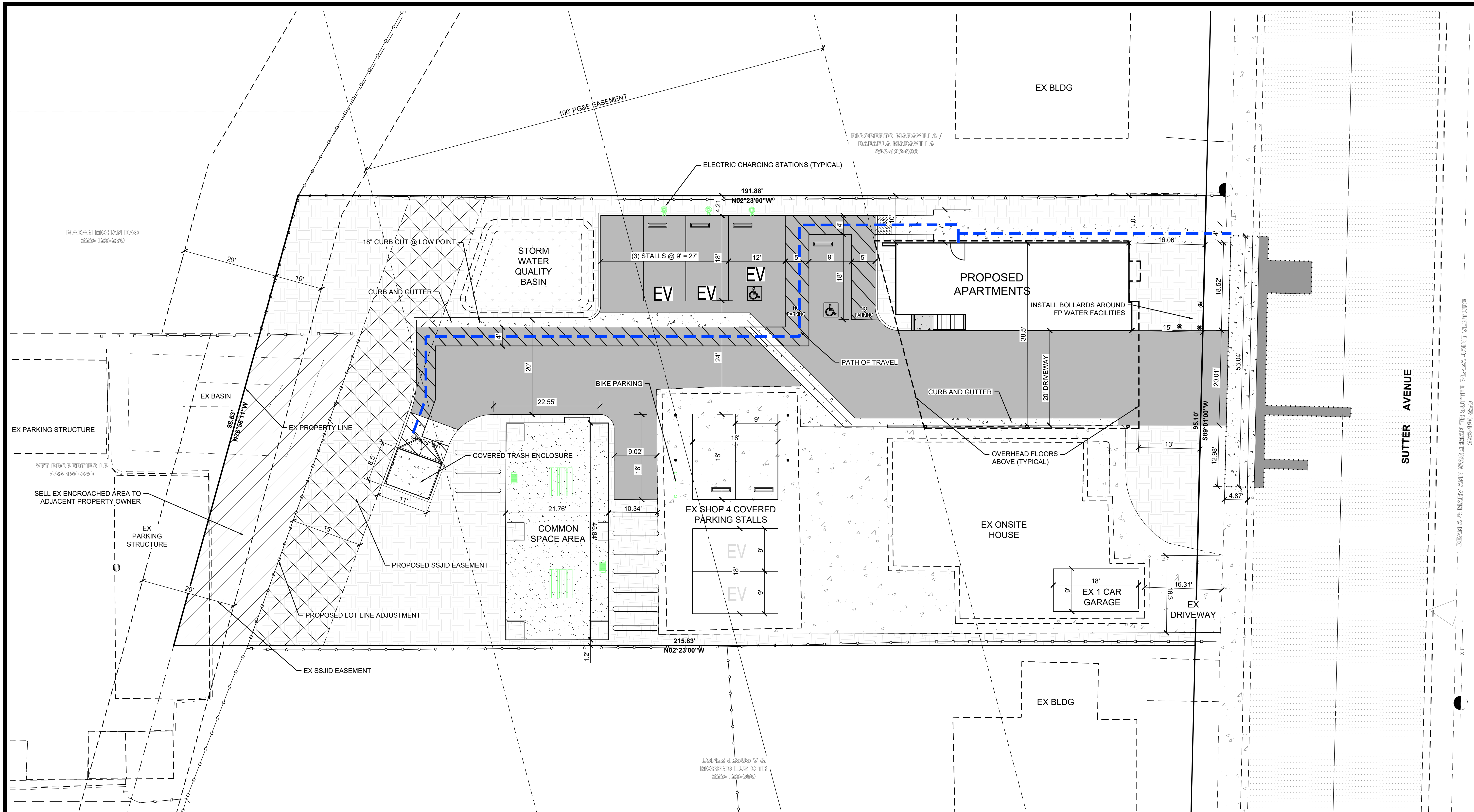
. SAWCUT LINE



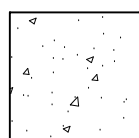
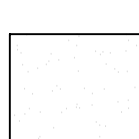
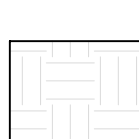
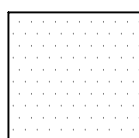
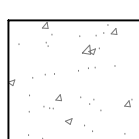
REMOVE EXISTING TREE

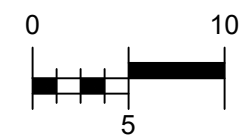
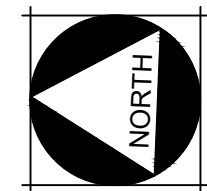
EXISTING TREE INFORMATION

- 1 SPECIES: BLACK WALNUT (JULGAS NIGRA)
TRUNK DIAMETER: 18" DIAMETER AT BREAST
HEIGHT (DBH)
SPAN: 35'
CONDITION: FAIR TO DECLINING
- 2 SPECIES: CHINABERRY (MELIA AZEDARACH)
TRUNK DIAMETER: 20" DBH
SPAN: 30'
CONDITION: FAIR HEALTH
- 3 SPECIES: CHINABERRY (MELIA AZEDARACH)
TRUNK DIAMETER: 25" DBH
SPAN: 33'
CONDITION: POOR HEALTH
- 4 SPECIES: CHINABERRY (MELIA AZEDARACH)
TRUNK DIAMETER: 26" DBH
SPAN: 35'
CONDITION: FAIR HEALTH
- 5 SPECIES: CHINABERRY (MELIA AZEDARACH)
TRUNK DIAMETER: 10" DBH
SPAN: 21'
CONDITION: FAIR HEALTH
- 6 SPECIES: CHINABERRY (MELIA AZEDARACH)
TRUNK DIAMETER: 12" DBH
SPAN: 21'
CONDITION: FAIR HEALTH



PAVEMENT SECTIONS:

-  ASPHALT PAVEMENT
-  CONCRETE
-  DECOMPOSED GRANITE
-  PROPOSED LANDSCAPE
-  PROPOSED STORM WATER QUALITY BASIN
-  EXISTING PAVEMENT
-  EXISTING CONC
-  EV ELECTRICAL VEHICLE
-  EV FUTURE ELECTRICAL VEHICLE



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www.mcreng.com
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MANTECA, CA 95336
TEL : (209) 239-6229
FAX : (209) 239-8839



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PRELIMINARY PLANS FOR:
SARENE PLACE APARTMENTS

SITE PLAN

MANTECA, CA

429 SUTTER STREET



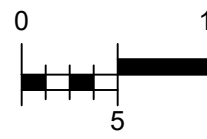
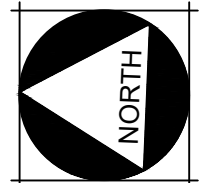
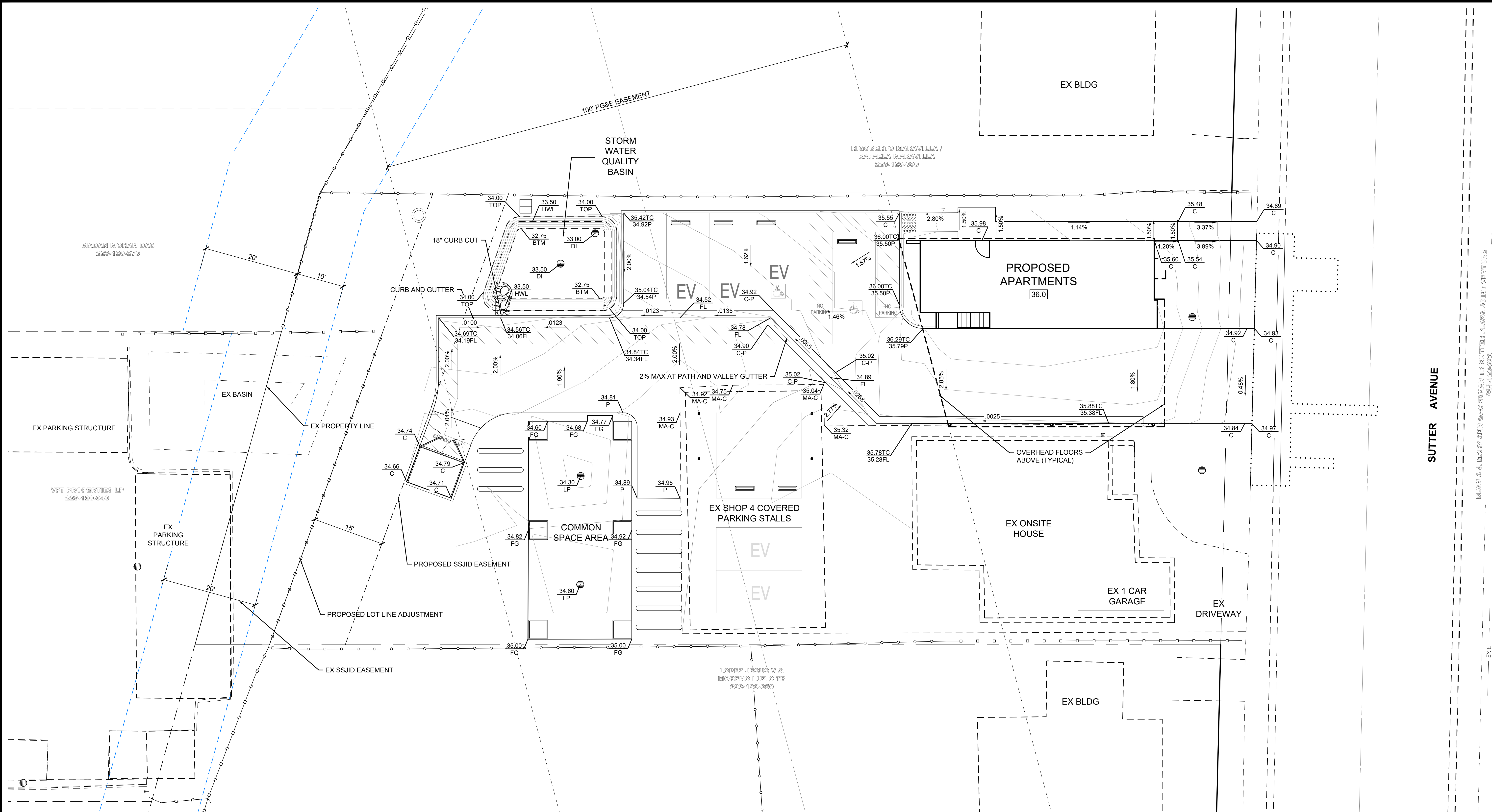
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SHEET NO.

C3

OF 7 SHEET



EXISTING		PROPOSED	
	ELEVATION		ELEVATION
	SLOPE		SLOPE
	EXISTING GROUND		DIRECTION OF FLOWLINE

ON-SITE PARKING AREA AND DRIVE AILSE NOTES:

1. MINIMUM 2% CROSS SLOPE ON ASPHALT CONCRETE
2. MINIMUM 1% CROSS SLOPE ON CONCRETE
3. MAXIMUM CROSS SLOPE SHALL BE 5%
4. CONCRETE VALLEY OR CURB GUTTERS SHALL HAVE A MINIMUM SLOPE OF 0.25%
5. THE PATH OF TRAVEL AND PAVEMENT SLOPES IN ADA AREAS SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE, CHAPTER 11B AND CALTRANS STANDARD PLANS A88A

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PRELIMINARY PLANS FOR:
SARENE PLACE APARTMENTS

GRADING & DRAINAGE PLAN

429 SUTTER STREET
MANTECA, CA

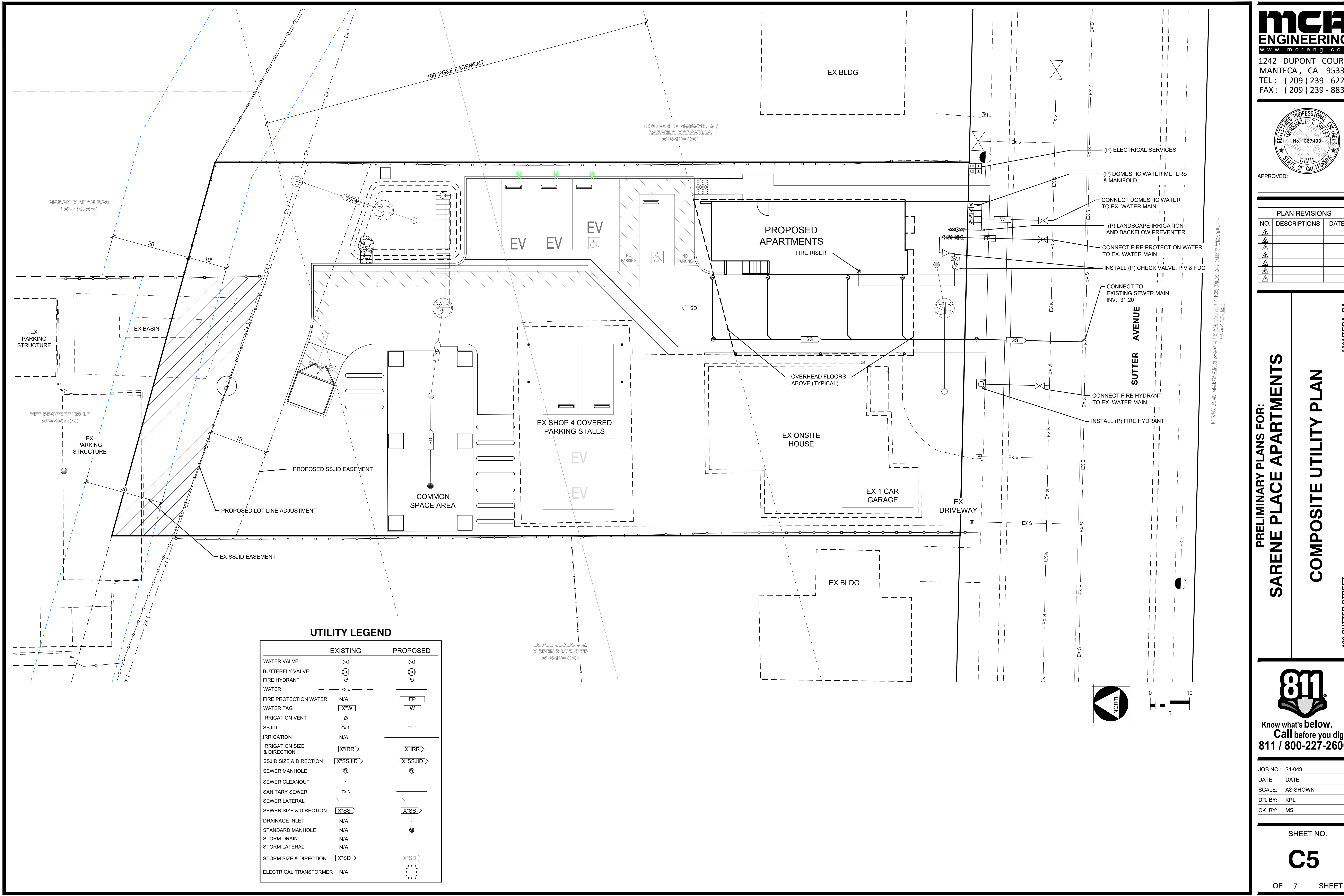
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DATE:	11/24/2025
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SHEET NO.

C4

OF 7 SHEET



UTILITY LEGEND

	EXISTING	PROPOSED
WATER VALVE		
BUTTERFLY VALVE		
FIRE HYDRANT		
WATER	— EX W —	
FIRE PROTECTION WATER	N/A	
WATER TAG		
IRRIGATION VENT		
SSJID	— EX I —	— EX I —
IRRIGATION	N/A	
IRRIGATION SIZE & DIRECTION		
SSJID SIZE & DIRECTION		
SEWER MANHOLE		
SEWER CLEANOUT		
SANITARY SEWER	— EX S —	
SEWER LATERAL		
SEWER SIZE & DIRECTION		
DRAINAGE INLET	N/A	
STANDARD MANHOLE	N/A	
STORM DRAIN	N/A	
STORM LATERAL	N/A	
STORM SIZE & DIRECTION		
ELECTRICAL TRANSFORMER	N/A	

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PRELIMINARY PLANS FOR:
SARENE PLACE APARTMENTS

COMPOSITE UTILITY PLAN

429 SUTTER STREET

MANTECA, CA

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C5

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PRELIMINARY PLANS FOR:
SARENE PLACE APARTMENTS

STORMWATER PLAN PLAN

MANTECA, CA

429 SUTTER STREET



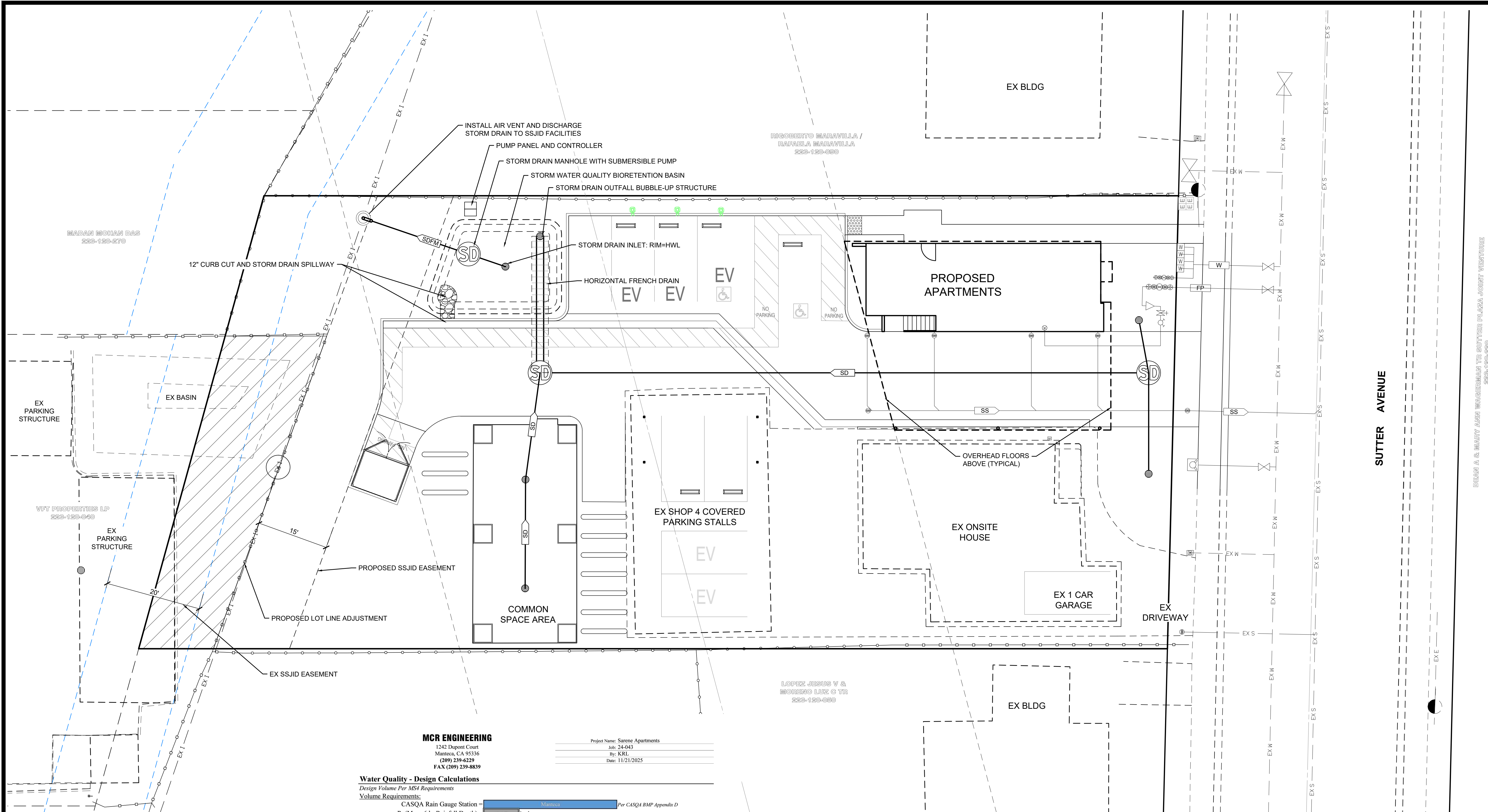
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MCR ENGINEERING

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Manteca, CA 95336
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Project Name: Sarene Apartments
Job: 24-043
By: KRL
Date: 11/21/2025

Water Quality - Design Calculations

Design Volume Per MS4 Requirements

Volume Requirements:

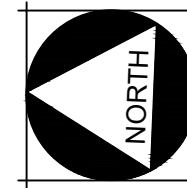
CASQA Rain Gauge Station = Manteca
Per CASQA BMP Appendix D
P₆ (Mean 6 hr Rainfall Depth) = 0.37 inches
Required Drawdown Time = 48 Hours
a (Regression Constant) = 1.96

Impervious Areas		Pervious Areas	
	A (ac)		A (ac)
Pavement	0.08	Landscape	0.13
Concrete	0.06	Access Road	0.00
Building Roof	0.12	Compacted Earth	0.02
Water Surface	0.01		
Totals:	0.27	Totals:	0.15

Total Area = 0.42 ac
P₀ (Unit Stormwater Volume) = 0.32 in
Required Volume of Storage = 0.01 ac-ft
Required Design Volume of Storage = 0.01 ac-ft
% Impervious = 63.7%
C_{BMP} = 0.44
P₀ = (a x C x P₆)
Credits = 0
See Post-Construction Calcs

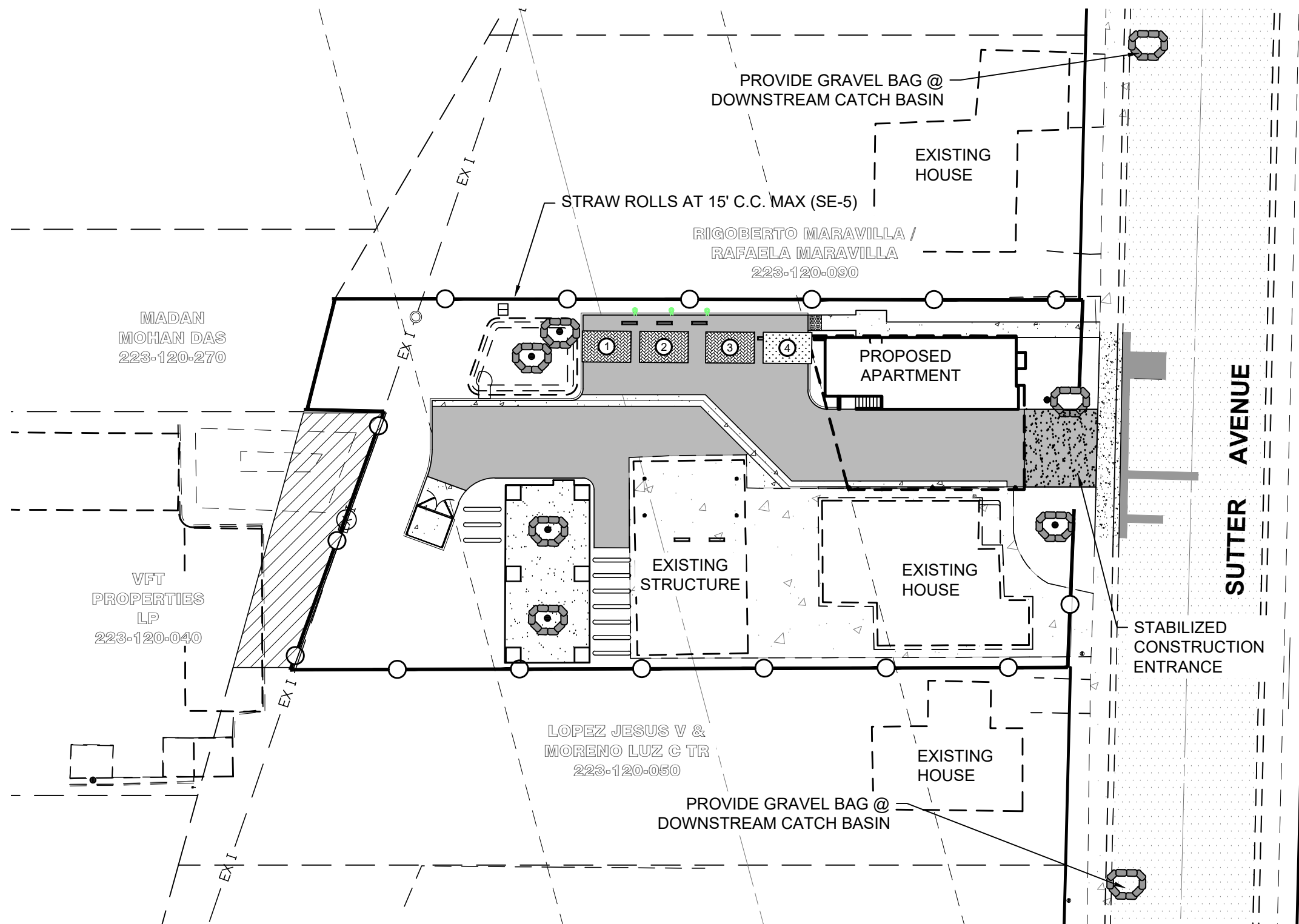
Bioretention Design Calculations: Designed SJC Multi-Agency MS4 Requirements

Required Design Volume of Storage = 0.01 ac-ft
f (Infiltration Rate) = 0.50 in/hr
d_p (Depth Ponding) = 0.75 ft (0.5-1.5 ft)
d_{pm} (Depth Planting Media) = 1.50 ft (1.5-3.0 ft)
d_g (Depth Gravel) = 1.00 ft (1.0 ft min.)
Total Design Depth = 1.60 ft
Drawdown Check = Drawdown Requirements Met
Required Bioretention Surface Area = 301 sf
design Bioretention Surface Area = 306 sf
n_{pm} (Porosity Planting Media) = 0.30
n_{pg} (Porosity Gravel) = 0.40
Max Drawdown Depth = 2.00 ft

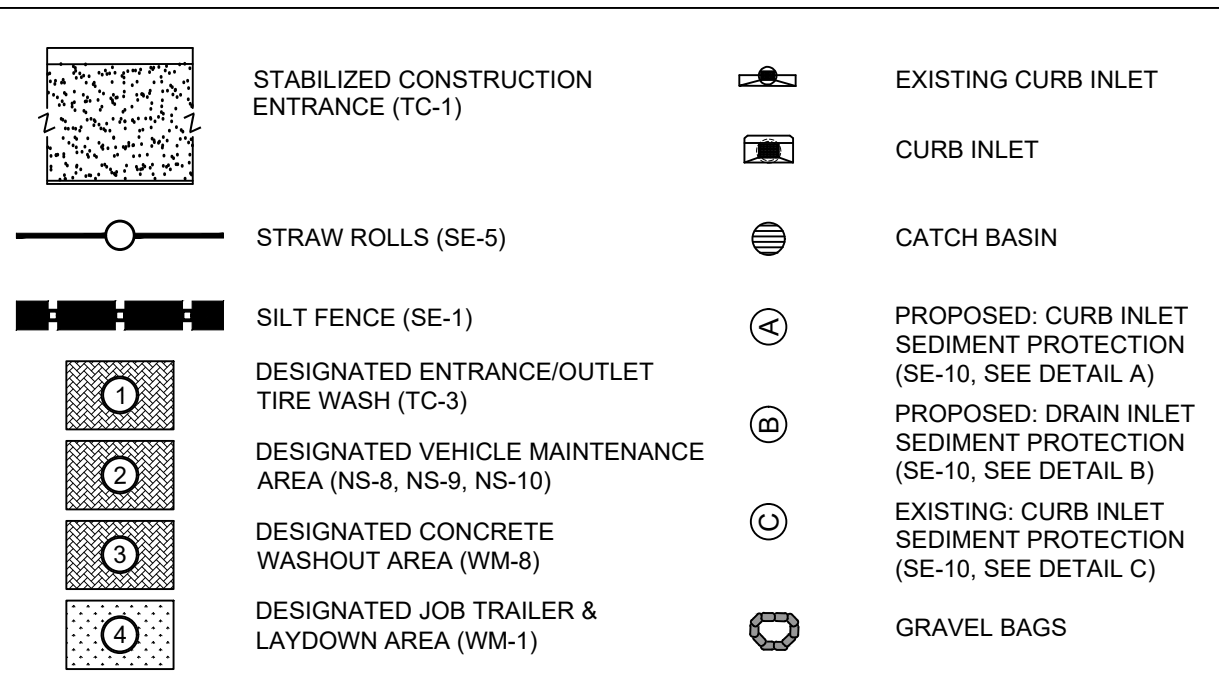


STORM DRAIN LEGEND

	EXISTING	PROPOSED
DRAIN INLET		
MANHOLE		
STORM DRAIN	EX SD	
STORM LATERAL		
STORM TAG FLOW	<XX"SD	<XX"SD
SSJD PIPE	<48"IR	<42"SSJD
IRRIGATION VENT		

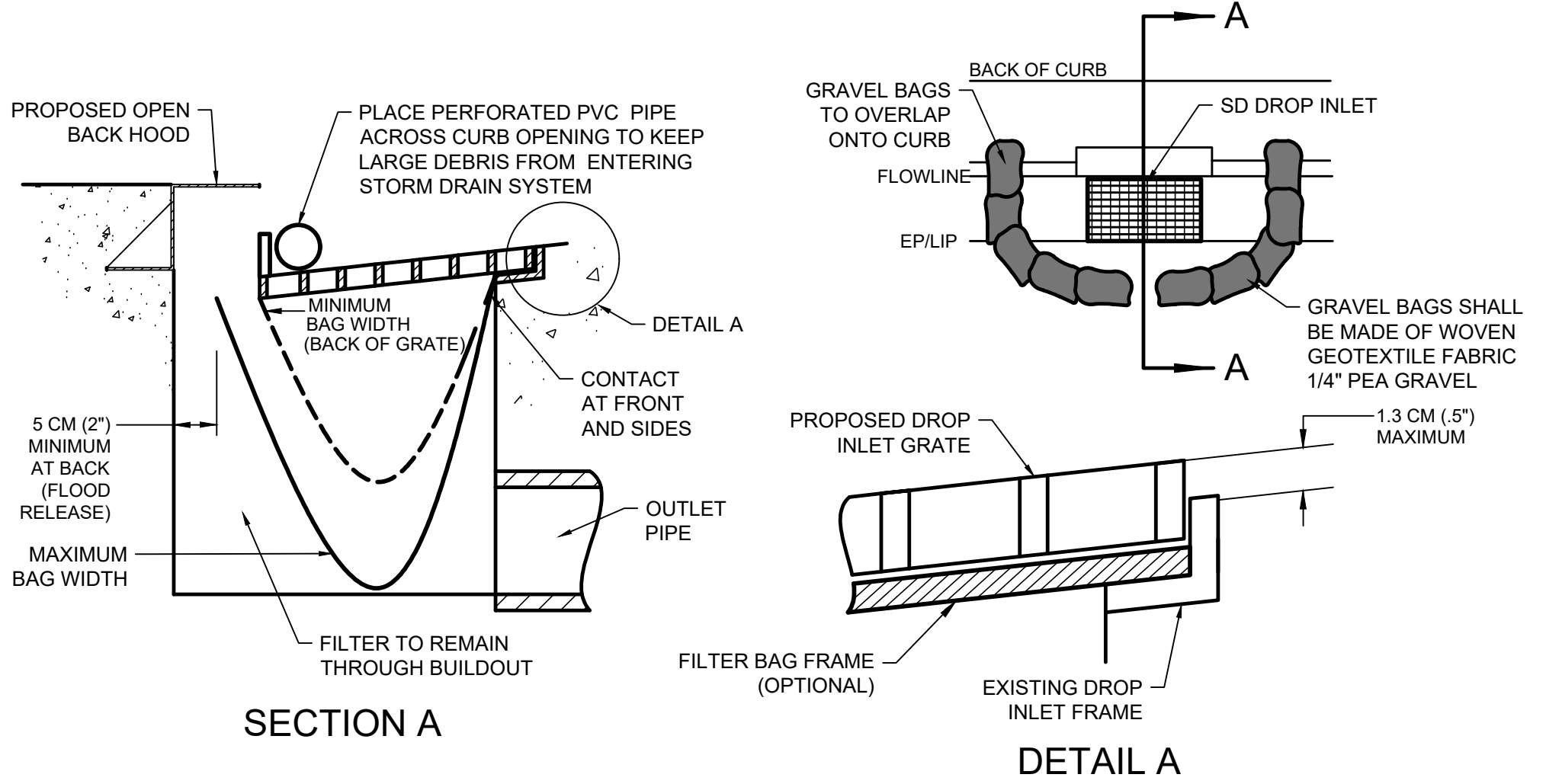


LEGEND



STORM DRAIN INLET FILTER BAG

- GRAVEL BAGS SHALL BE WOVEN GEOTEXTILE FABRIC
- CONSTRUCT ON GENTLY SLOPING STREETS WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE OUT OF SUSPENSION.
- LEAVE A GAP OF ONE BAG IN THE MIDDLE OF THE TOP ROW OF BAGS TO SERVE AS THE SPILLWAY. SPILLWAY HEIGHT SHALL BE LOWER THAN CURB HEIGHT & SUFFICIENT IN SIZE TO PASS FLOWS FROM SEVERE STORM EVENT.
- PLACE 2 LAYERS OF GRAVEL BAGS OVER LAPPING BAGS AND PACK THEM TIGHTLY TOGETHER TO MINIMIZE THE SPACE BETWEEN BAGS. FILL BAG WITH 1/4" PEA GRAVEL
- INSPECT & REPAIR FILTERS AFTER EA. STORM EVENT. REMOVE SEDIMENT WHEN 1/2 OF THE FILTER DEPTH HAS BEEN FILLED. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA TRIBUTARY TO A SEDIMENT BASIN OR OTHER FILTERING MEASURE.
- SEDIMENT & GRAVEL SHALL BE IMMEDIATELY REMOVED FROM TRAVELED WAY OF ROAD.
- GRAVEL BAG INLET PROTECTION ON ROADS OPEN TO PUBLIC WILL REQUIRE DELINEATION DEVICES TO ALERT MOTORISTS, BICYCLISTS AND PEDESTRIANS. THE USE OF SUCH DEVICES SHALL BE SUBJECT TO THE RESIDENT ENGINEERS APPROVAL.



SECTION A

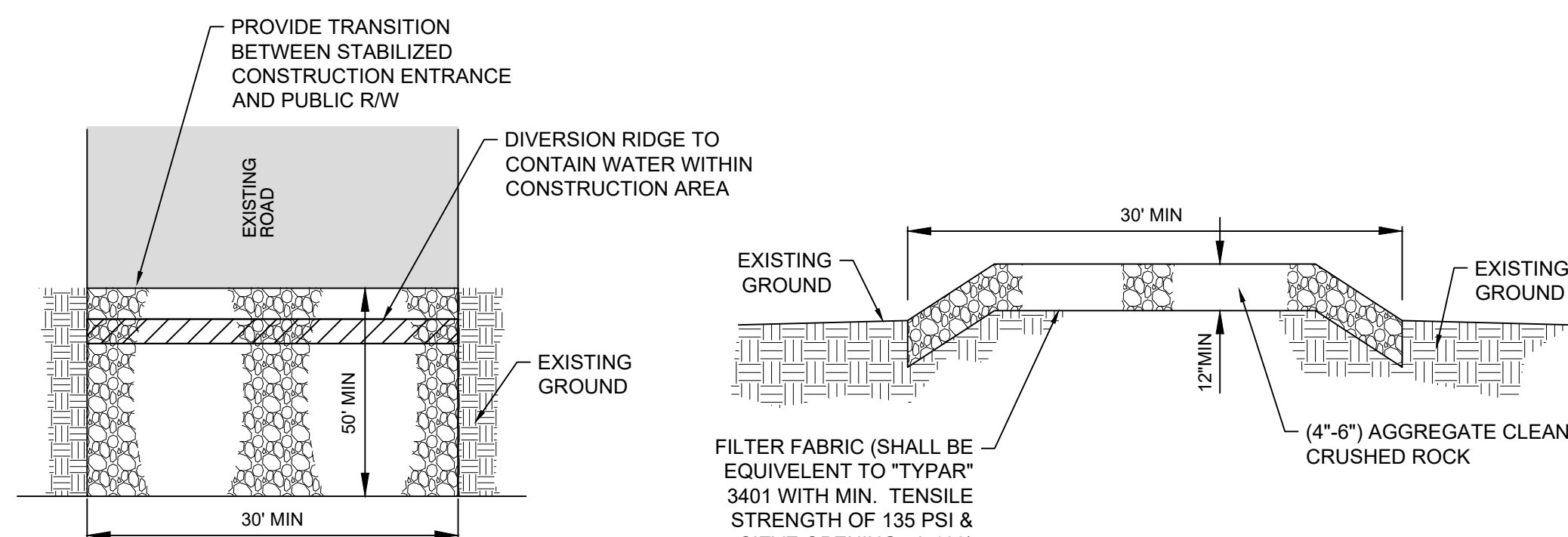
DETAIL A

A STORM DRAIN CURB INLET FILTER BAG DETAIL (SE-10)

NOT TO SCALE

STABILIZED CONSTRUCTION ENTRANCE

- THE MATERIAL FOR CONSTRUCTION OF THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE 4 TO 6 INCH STONE.
- THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12 INCHES.
- THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS, OR 30' MIN.
- THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP, OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SANDBAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS.
- CONTRACTOR TO REMOVE AND DISPOSE OF STABILIZED CONSTRUCTION ENTRANCE UPON COMPLETION OF CONSTRUCTION.



PLAN VIEW

PROFILE VIEW

1 STABILIZED CONSTRUCTION ENTRANCE (TC-1)

NOT TO SCALE

GENERAL NOTES:

- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE EFFECTIVE FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
- NO STORM RUNOFF WATER SHALL BE ALLOWED TO DRAIN DIRECTLY INTO THE EXISTING UNDERGROUND STORM SYSTEM BEFORE THE ON-SITE STORM DRAIN SYSTEM, LANDSCAPE, AND PAVING IS INSTALLED AND COMPLETED.
- AS SOON AS IS PRACTICAL AFTER THE NEW ON-SITE STORM DRAIN SYSTEM IS INSTALLED, THE CATCH BASINS SHALL BE INSTALLED AND GRAVEL BAGS AND SCREENS SHALL BE PLACED AROUND THE CATCH BASINS, AS SHOWN. THE CONTRACTOR SHALL HAVE AN OPTION TO INSTALL PREFABRICATED STEEL FRAMES WITH FILTER SCREEN OF FILTER FABRIC ATTACHED TO THE FRONT OF THE DRAIN INLET AND EXTEND 12 INCHES (12") ON EACH SIDE OF THE DRAIN INLET OPENING. FRAME SHALL BE APPROVED BY THE CITY ENGINEER AND SHALL FIT THE OPENING WITH LESS THAN ONE-QUARTER INCH (1/4") GAP AT ANY ONE POINT.
- THE NAME, ADDRESS AND 24-HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR IMPLEMENTATION OF THE EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE PROVIDED.
- A MINIMUM OF 50' OF DRAIN ROCK, 4" TO 6" DIAMETER, AT A MINIMUM DEPTH OF 12", SHALL BE INSTALLED AT EACH DRIVEWAY ENTRANCE TO THE SITE. THIS DOES NOT NEED TO BE DONE AT DRIVEWAYS, WHICH WILL BE CLOSED BY IMMOVABLE BARRICADES DURING CONSTRUCTION.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE CITY ENGINEER.
- ALL SIDEWALK AND PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF FROM ENTERING ANY STORM DRAINAGE SYSTEM.
- THE EROSION AND SEDIMENTATION CONTROL PLAN COVERS ONLY THE FIRST WINTER DURING WHICH CONSTRUCTION IS TO TAKE PLACE. PLAN AMENDMENTS SHALL BE PREPARED BY THE PROJECT QSD AS DEEMED NECESSARY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH WORK DAY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN OUT SEDIMENT BASINS WHENEVER THE LEVEL OF SEDIMENT REACHES THE MANUFACTURERS SEDIMENT CLEAN OUT LEVEL.
- IT IS THE RESPONSIBILITIES OF THE CONTRACTOR TO PROTECT TEMPORARY BORROW AREAS AND/OR STOCKPILES WITH APPROPRIATE EROSION CONTROL MEASURES.
- THE CLEANING OF PAVED STREETS, DURING AND AT THE COMPLETION OF CONSTRUCTION, SHALL BE PERFORMED WITH MECHANICAL SWEEPERS. THE USE OF WATER TRUCKS TO "WASH DOWN" THE STREET IS PROHIBITED.
- THE FOLLOWING PLANS ARE ACCURATE FOR EROSION CONTROL PURPOSES ONLY.
- THE INFORMATION ON THIS PLAN IS INTENDED TO BE USED AS A GUIDELINE FOR THE CONTRACTOR AND SUBCONTRACTORS TO COMPLY WITH THE REQUIREMENTS OF THE STATE WATER RESOURCES CONTROL BOARD. FIELD CONDITIONS MAY NECESSITATE MODIFICATIONS TO THIS PLAN.
- NO ON-SITE FUELING SHALL TAKE PLACE.
- ADDITIONAL STABILIZED CONSTRUCTION ENTRANCES MAY BE REQUIRED, OR LOCATIONS MAY BE DETERMINED, AS DETERMINED BY PROJECT CONSTRUCTION STAFF.
- ANY CHANGES TO THE PROJECT SWPPP SHALL BE APPROVED BY THE PROJECT QSD PRIOR TO BEING IMPLEMENTED.

CONCRETE WASTE MANAGEMENT NOTES

CONCRETE SLURRY WASTES

- PCC AND AC WASTE SHALL NOT BE ALLOWED TO ENTER STORM DRAINS OR WATERCOURSES.
- PCC AND AC WASTE SHALL BE COLLECTED AND DISPOSED OF IN A TEMPORARY CONCRETE WASHOUT FACILITY.
- A SIGN SHALL BE INSTALLED ADJACENT TO EACH TEMPORARY CONCRETE WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
- DO NOT ALLOW SLURRY RESIDUE FROM WET CORING OR SAW-CUTTING AC OR PCC TO ENTER STORM DRAINS OR RECEIVING WATERS.
- VACUUM SLURRY RESIDUE AND DISPOSE IN A TEMPORARY PIT AND ALLOW SLURRY TO DRY. DISPOSE OF DRY SLURRY RESIDUE IN ACCORDANCE WITH BMP WM-5.
- COLLECT RESIDUE FROM GROOVING AND GRINDING OPERATIONS IN ACCORDANCE WITH STANDARD SPECIFICATIONS SECTION 42-1.02 AND 42-2.02, "CONSTRUCTION."

ON-SITE TEMPORARY CONCRETE WASHOUT FACILITY, TRANSIT TRUCK WASHOUT PROCEDURES

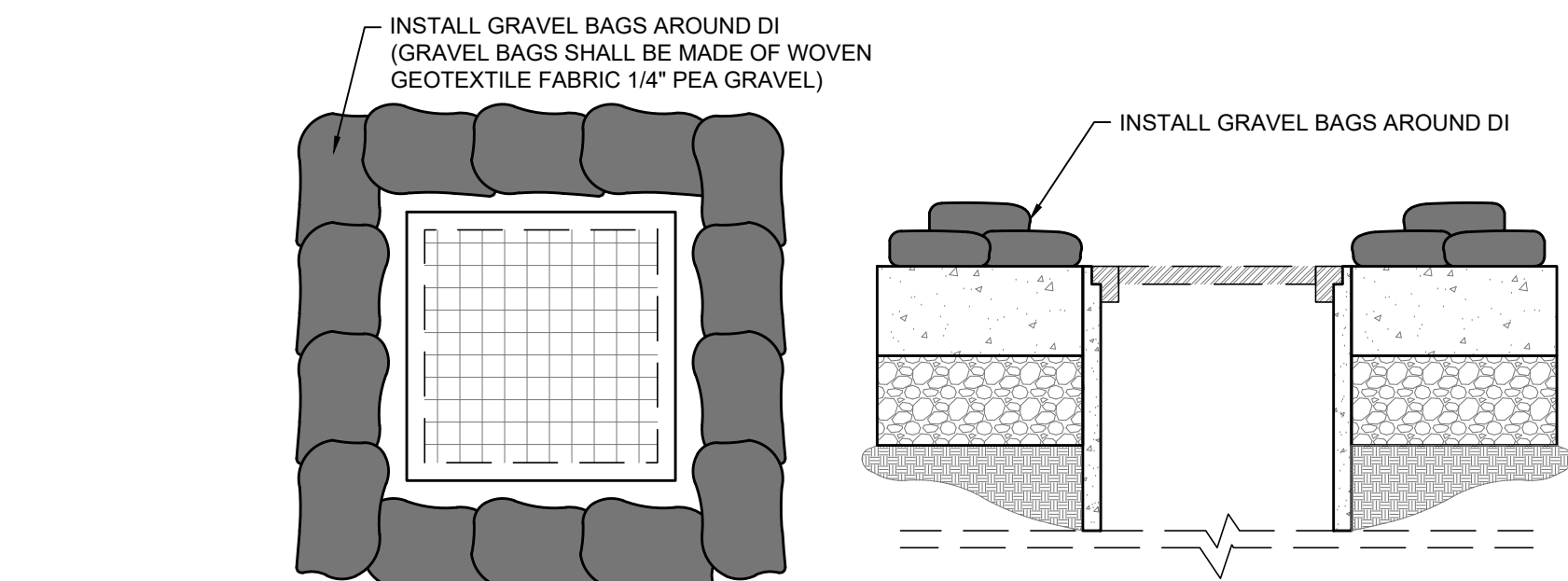
- TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES, UNLESS DETERMINED UNFEASIBLE BY THE ENGINEER. EACH FACILITY SHALL BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
- A SIGN SHALL BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
- TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED ABOVE GRADE. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
- TEMPORARY WASHOUT FACILITIES SHALL HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
- PERFORM WASHOUT OF CONCRETE TRUCKS IN DESIGNATED AREAS ONLY.
- ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHALL BE BROKEN UP, REMOVED, AND DISPOSED. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.

TEMPORARY CONCRETE WASHOUT FACILITY (TYPE ABOVE GRADE)

- TEMPORARY CONCRETE WASHOUT FACILITY (TYPE ABOVE GRADE) SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS, WITH A RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 10 FEET, BUT WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. THE LENGTH AND WIDTH OF A FACILITY MAY BE INCREASED, AT THE CONTRACTOR'S EXPENSE, UPON APPROVAL OF THE ENGINEER.
- PLASTIC LINING MATERIAL SHALL BE A MINIMUM OF 60 ML POLYETHYLENE SHEETING AND SHALL BE FREE OF HOLES, TEARS OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

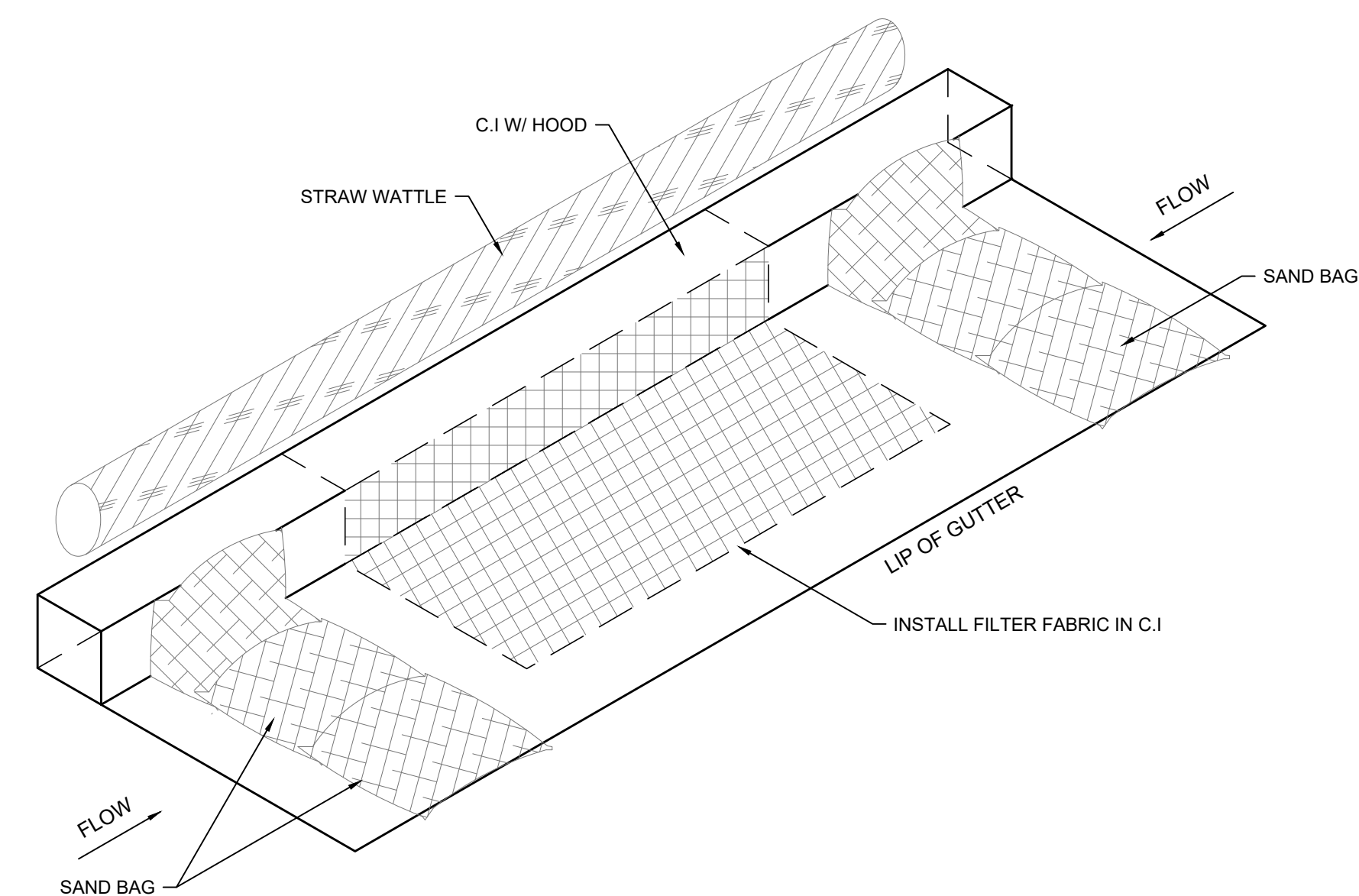
REMOVAL OF TEMPORARY CONCRETE WASHOUT FACILITIES

- WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, AS DETERMINED BY THE ENGINEER, THE HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BECOME THE PROPERTY OF THE CONTRACTOR, SHALL BE REMOVED FROM THE SITE OF THE WORK, AND SHALL BE DISPOSED OF.
- HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED AND REPAIRED IN CONFORMANCE WITH THE PROJECT SPECIFICATIONS.
- THE CONTRACTOR'S WASTE POLLUTION CONTROL MANAGER (WPCM) SHALL MONITOR ON SITE CONCRETE WASTE STORAGE AND DISPOSAL PROCEDURES AT LEAST WEEKLY.
- THE WPCM SHALL MONITOR CONCRETE WORKING TASKS, SUCH AS SAW CUTTING, CORING, GRINDING AND GROOVING AT LEAST WEEKLY TO ENSURE PROPER METHODS ARE EMPLOYED.
- TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 4" FOR ABOVE GRADE FACILITIES AND 12" FOR BELOW GRADE FACILITIES. MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHALL INCLUDE REMOVING AND DISPOSING OF HARDENED CONCRETE AND RETURNING THE FACILITIES TO A FUNCTIONAL CONDITION. HARDENED CONCRETE MATERIALS SHALL BE REMOVED AND DISPOSED OF IN CONFORMANCE WITH THE PROVISIONS IN SECTION 15-3.02, "REMOVAL METHODS", OF THE STANDARD SPECIFICATIONS.
- EXISTING FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.



B STORM DRAIN INLET FILTER BAG DETAIL (SE-10)

NOT TO SCALE



C EXISTING CURB INLET FILTER DETAIL (SE-10)

NOT TO SCALE



APPROVED:

PLAN REVISIONS

NO.	DESCRIPTIONS	DATE
1		
2		
3		
4		
5		
6		
7		

PRELIMINARY PLANS FOR:
SARENE PLACE APARTMENTS

EROSION CONTROL PLAN

MANTECA, CA

429 SUTTER STREET



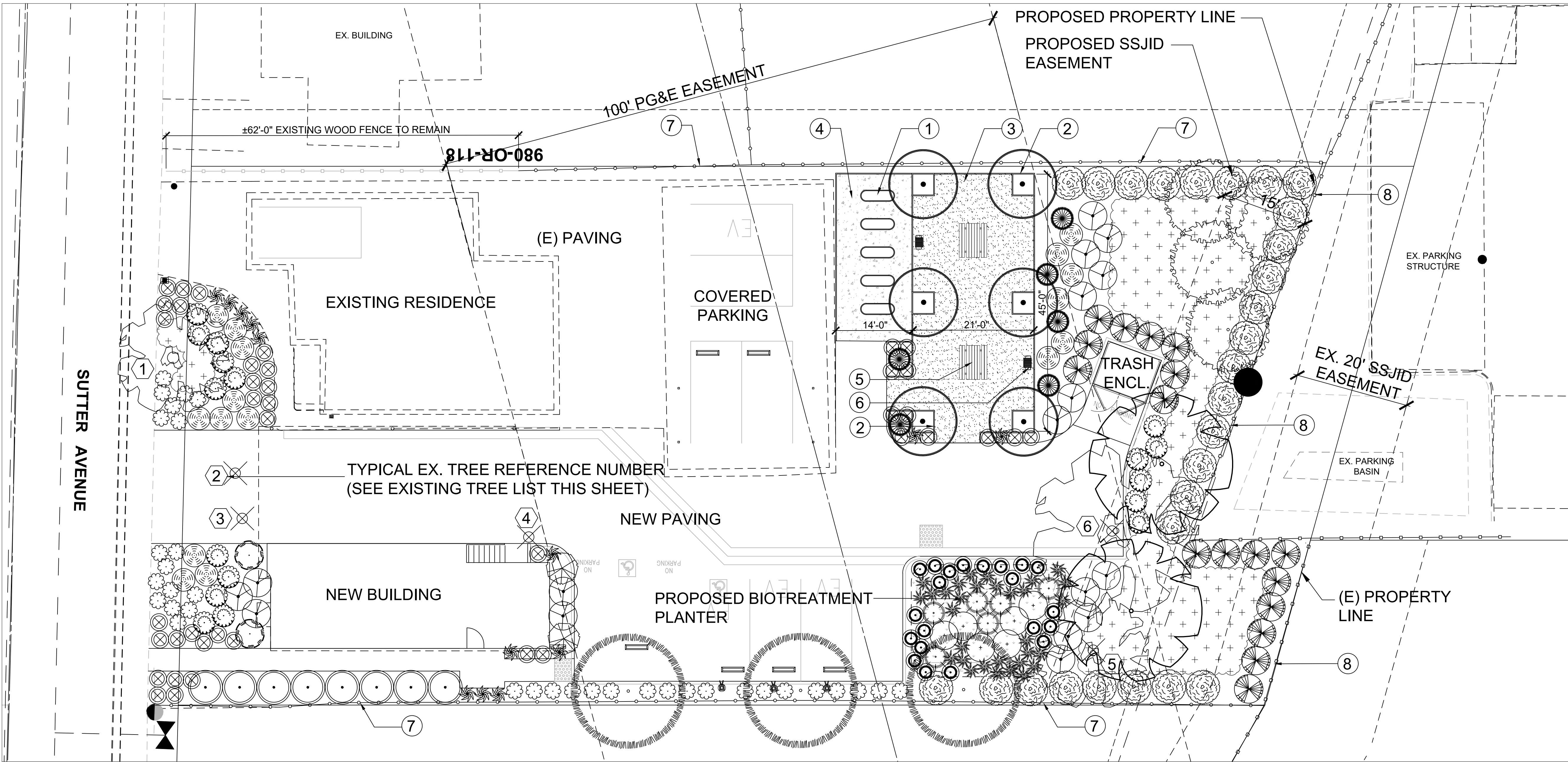
Know what's below.
Call before you dig.
811 / 800-227-2600

JOB NO.: 24-043
DATE: 11/24/2025
SCALE: AS SHOWN
DR. BY: KRL
CK. BY: MS

SHEET NO.

C7

OF 7 SHEET



EXISTING TREE LIST: (#)

SYMBOL	BOTANICAL NAME	COMMON NAME	DBH (INCHES)	QUALITY	STATUS
1	JUGLANS NIGRA	BLACK WALNUT	18	DECLINING	REMAIN
2	MELIA AZEDARACH	CHINABERRY	20	FAIR	REMOVE
3	MELIA AZEDARACH	CHINABERRY	25	POOR	REMOVE
4	MELIA AZERADACH	CHINABERRY	26	FAIR	REMOVE
5	MELIA AZERADACH	CHINABERRY	10	FAIR	REMOVE
6	MELIA AZERADACH	CHINABERRY	12	FAIR	REMOVE

NOTES:

- ANY TREE WITH A DBH OF 11" OR GREATER IS DEFINED AS A PROTECTED TREE.
- ALL EXISTING LOW GROWING VEGETATION ON SITE SHALL BE REMOVED WITH SITE IMPROVEMENTS.
- FOR ADDITIONAL INFORMATION ON THE EXISTING TREES, REFER TO ARBORIST REPORT, PREPARED BY 'NORCAL CERTIFIED ARBORISTS', DATED OCTOBER 10, 2021

SITE AMENITIES:

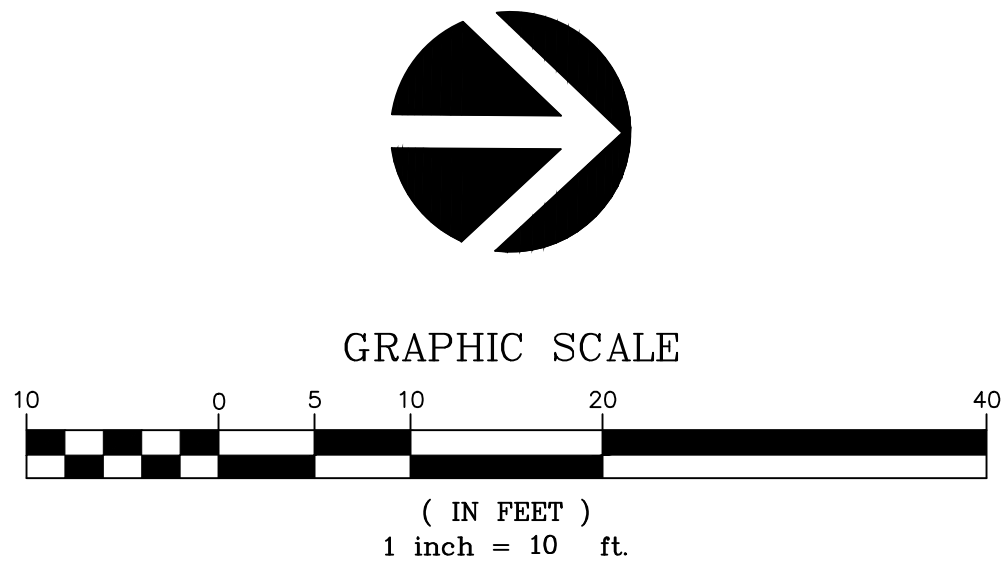
- RAISED CORRUGATED METAL GARDEN BED: 'VEGO GARDEN BEB', 17"Hx24"Wx78"L; SET ON GRADE; WATERED WITH CENTRAL HOSE BIBB; TYPICAL OF 5 BEDS.
- REDWOOD HEADER: 2x4 REDWOOD HEADER WITH WOOD STAKES FOR PERIMETER OF PICNIC AREA, RAISED GARDEN BED AREA AND FRUIT TREE TREE WELLS.
- 3" DEEP LAYER OF DECOMPOSED GRANITE (1/4" MINUS) WITH POLYMER BINDER, TAN COLOR.
- 3" DEEP LAYER OF 3/8" CRUSHED GOLD GRAVEL SURFACE AROUND RAISED GARDEN BEDS.
- 6 FT. LONG WOOD PICNIC TABLE (TYPICAL OF 2 TABLES).
- PEDESTAL-MOUNTED BARBEQUE CHARCOAL GRILL (TYPICAL OF 2 GRILLS).
- NEW 6 FT. HEIGHT SOLID WOOD FENCE; SEE DETAIL ON SHEET L2.
- EXISTING 6 FT. HEIGHT WOOD FENCE ALONG NEIGHBORING PROPERTY.

PLANT MATERIALS LIST

TREES:			WATER USE			
SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS	SIZE	MATURE SIZE	QUANTITY
	ARBUTUS 'MARINA' (STANDARD)	MARINA ARBUTUS	LOW	15 GA	20'Hx18'W	3
	BETULA PENDULA	EUROPEAN WHITE BIRCH	HIGH	15 GA	40'Hx25'W	4
	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	LOW	24" BOX	40'Hx5'W	2
	PODOCARPUS MACROPHYLLUS	YEW PINE	MED	24" BOX	20'Hx5'W	8
	FRUIT TREES (OWNER SELECT)		MED	15 GA	15'Hx15'W	6
	QUERCUS COCCINEA	SCARLET OAK	MED	15 GA	35'Hx35'W	2
SHRUBS:						
	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	LOW	5 GA	3'Hx5'W	16
	CARPENTERIA CALIFORNICA	BUSH ANEMONE	LOW	5 GA	5'Hx5'W	6
	CISTUS PURPUREUS	LAVENDER ROCKROSE	LOW	5 GA	4'Hx5'W	17
	ELAEAGNUS PUNGENS 'MACULATA'	SILVERBERRY	LOW	5 GA	6'Hx6'W	27
	NERIUM OLEANDER 'PETITE SALMON'	DWARF OLEANDER	LOW	5 GA	5'Hx6'W	17
	RHAPHIOLEPIS 'MAJESTIC BEAUTY' (STD)	MAJESTIC BEAUTY STANDARD	LOW	15 GA	10'Hx6'W	2
	TEUCRIUM AZUREUM	AZUREUM GERMANDER	LOW	5 GA	3'Hx4'W	17
PERENNIALS AND GRASSES:						
	ACHILLEA MILLEFOLIUM	COMMON YARROW	LOW	1 GA	3'Hx3'W	21
	ERIGERON KARVINSKIANUS 'MOERHEIMII'	SANTA BARBARA DAISY	LOW	1 GA	2'Hx3'W	40
	JUNCUS PATENS	GRAY RUSH	LOW	1 GA	3'Hx3'W	31
	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	LOW	5 GA	3'Hx3'W	35
	MUHLENBERGIA RIGENS	DEER GRASS	LOW	5 GA	4'Hx4'W	6
	PHORMIUM 'SURFER'	DWARF FLAX	LOW	5 GA	3'Hx2'W	13
	SALVIA 'HOT LIPS'	HOT LIPS SAGE	LOW	5 GA	4'Hx4'W	6

GENERAL NOTES:

- ALL PLANTING AREAS, EXCEPT BIOTREATMENT PLANTER, SHALL RECEIVE A 3" MINIMUM DEEP LAYER OF FIR BARK DRESSING.
- BIOTREATMENT PLANTER BASINS SHALL RECEIVE A 2" LAYER DEEP LAYER OF 3/8" DIAMETER PEBBLES.
- ALL PLANTING SHALL BE WATERED BY FULLY AUTOMATIC, WATER-CONSERVING IRRIGATION SYSTEM WITH WEATHER-BASED CONTROLLER OPERATION.



REFER TO SHEET L2 FOR IMAGES AND WELO CALCULATIONS

REVISIONS

NO.	DATE	BY	COMMENT
1	03-25-26		

RW Stover & Associates, Inc.

Landscape Architecture

16201 Walnut Street, Suite 4

Walnut Creek, CA 94596

Ph: 925.933.2383

LANDSCAPE ARCHITECT

3017

Signature

Professional Seal

DATE

OF

SARENE PLACE

429 SUTTER STREET

MANTECA, CALIFORNIA

PRELIMINARY

LANDSCAPE PLAN

DESIGNED:

DRAWN:

CHECKED:

JOB NO:

DATE

11-25-25

SCALE

SHEET

L1

OF

SHEETS

WATER EFFICIENT LANDSCAPE WORKSHEET - BY HYDROZONE										
REFERENCE EVAPOTRANSPIRATION (ET ₀):				54.4						
HYDROZONE #	HYDROZONE / (PLANT WATER USE)	PLANT TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (sq. ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)	% OF TOTAL LANDSCAPE AREA
REGULAR LANDSCAPE AREA:										
1	LOW WATER USE	SHRUBS	0.3	DRIP	0.81	0.37037037	5,622	2082.22222	70229.2	96%
2	MEDIUM WATER USE	TREES	0.5	BUBBLER	0.81	0.61728395	180	111.1111111	3747.6	3%
3	HIGH WATER USE	TREES	0.7	BUBBLER	0.81	0.86419753	45	38.8888889	1311.6	1%
TOTALS:							5,847	2232		100%
a										
REC. AREA						1		0	0	
POOL						1		0	0	
WATER FEATURE 2						1		0	0	
TOTALS:							0	0		
ETWU TOTAL:									75,288	
MAXIMUM ALLOWED WATER ALLOWANCE (MAWA):									88,743	
ETAF CALCULATIONS:										
REGULAR LANDSCAPE AREAS:										
TOTAL ETAF x AREA					2,232					
TOTAL LANDSCAPE AREA					5,847					
AVERAGE ETAF					0.38					
ALL LANDSCAPE AREAS:										
TOTAL ETAF x AREA					2,232					
TOTAL LANDSCAPE AREA					5,847					
SITEWIDE ETAF					0.38					
NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.										

TREE IMAGES:



DECIDUOUS CANOPY TREE
Betulus pendulus
(European White Birch)



NARROW CONIFER TREE
Cupressus sempervirens
(Italian Cypress)



BROADLEAF EVERGREEN TREE
Arbutus 'Marina' (standard)
(Arbutus Marina)



BROADLEAF EVERGREEN
Podocarpus macrophyllus
(Yew Pine)



DECIDUOUS CANOPY TREE
Quercus coccinea
(Scarlet Oak)

SHRUB IMAGES:



Callistemon 'Little John'
(Dwarf Bottlebrush)



Carpenteria californica
(Bush Anemone)



Cistus purpureus
(Lavender Rockrose)



Elaeagnus pungens
(Silverberry)



Nerium oleander 'Petite Salmon'
(Dwarf Oleander)



Rhamphiolepis 'Majestic Beauty' (STD)
(Majestic beauty Standard)



Teucrium fruitcans 'Azereum'
(Germander)



Achillea millefolium
(Common Yarrow)



Erigeron karvinskianus 'Moerheimii'
(Santa Barbara Daisy)



Juncus patens
(Gray Rush)



Lomandra longifolia
(Dwarf Mat Rush)



Muhlenbergia rigens
(Deer Grass)



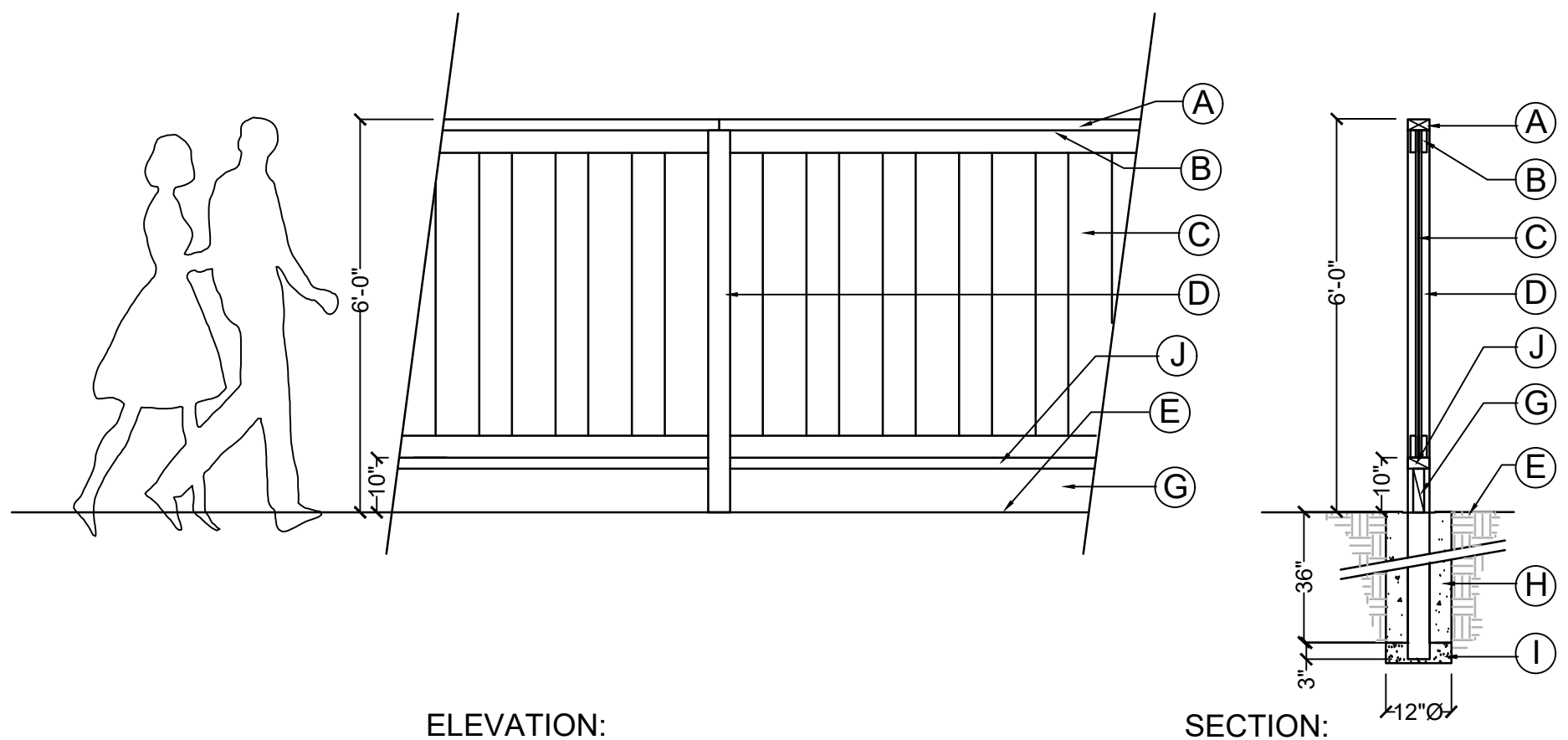
Phormium 'Surfer'
(Dwarf Flax)



Salvia 'Hot Lips'
(Sage)



Arctostaphylos 'Point Reyes'
(Manzanita Ground Cover)



ELEVATION:

SECTION:

6 FT. HEIGHT SOLID WOOD FENCE DETAIL

NO SCALE

REVISIONS

	City	Comment
1	City	03-25-26
2		
3		
4		
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6		
7		
8		
9		
10		

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SARENE PLACE

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MANTECA, CALIFORNIA

IMAGES AND WELO

DESIGNED:	DRAWN:
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SCALE	

SHEET

L2

OF SHEETS