

Exhibit "A"
W. ATHERTON DR.

S. MAIN ST.

LIMIT OF WORK
SEE SHEET A1.01

OVERALL SITE PLAN
SCALE: 1" = 30'-0"

PROJECT DESCRIPTION

CONSTRUCTION OF:
NEW CAR WASH FACILITY, INCLUDING BUT NOT LIMITED TO: NEW CONCRETE
WALKS, DRIVE AISLES, CURBS, LANDSCAPING, VACUUM STATIONS, UTILITIES,
AND ALL ASSOCIATED FIXTURES, FURNISHINGS AND EQUIPMENT.

PROJECT INFORMATION

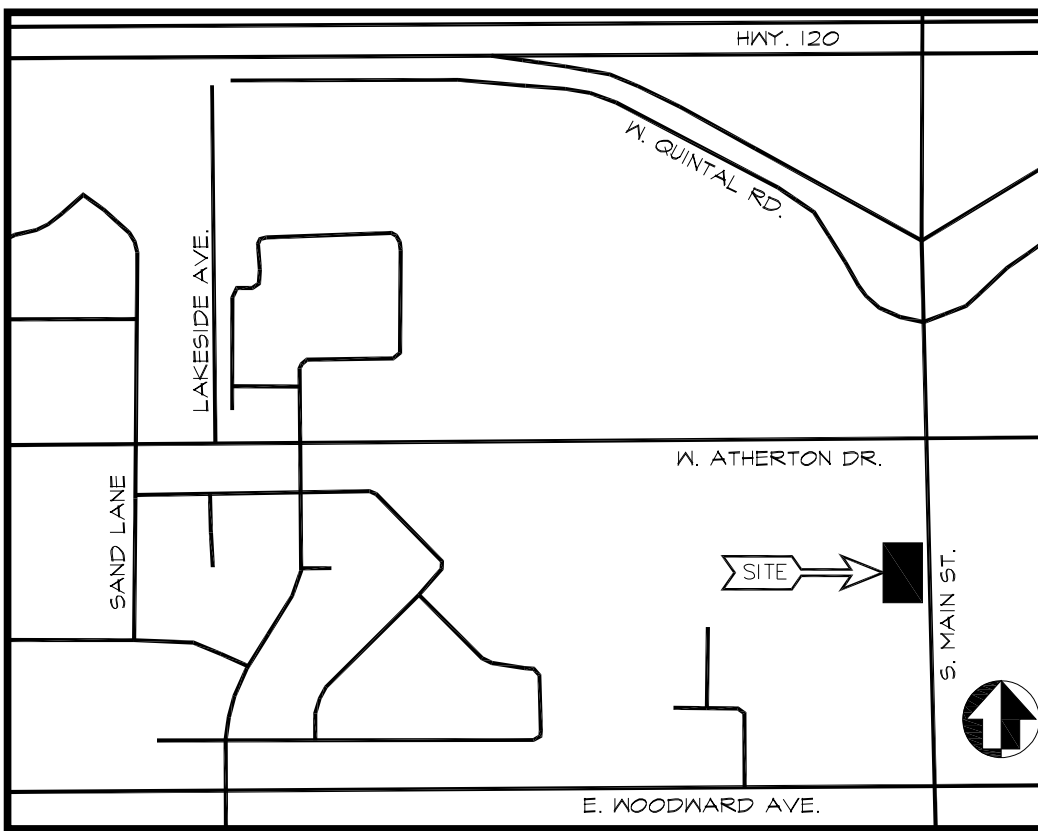
CONDITIONAL USE PERMIT
PARCEL NUMBER: 224-021-470-000
ZONING CLASSIFICATION: CG (GENERAL COMMERCIAL)
LAND USE TYPE: COMMERCIAL
JURISDICTION: CITY OF MANTECA
PARCEL SIZE: ±1.151 ACRES

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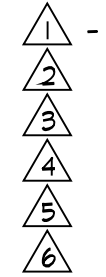
VICINITY MAP



1380 LEAD HILL BLVD., STE. 260, ROSEVILLE, CA 95661

QUICK QUACK
STORE #: 24-138
ATHERTON DR. & MAIN ST.
MANTECA, CA 95337

| REVISIONS | DESCRIPTION |
|-----------|-------------|
| # DATE | |

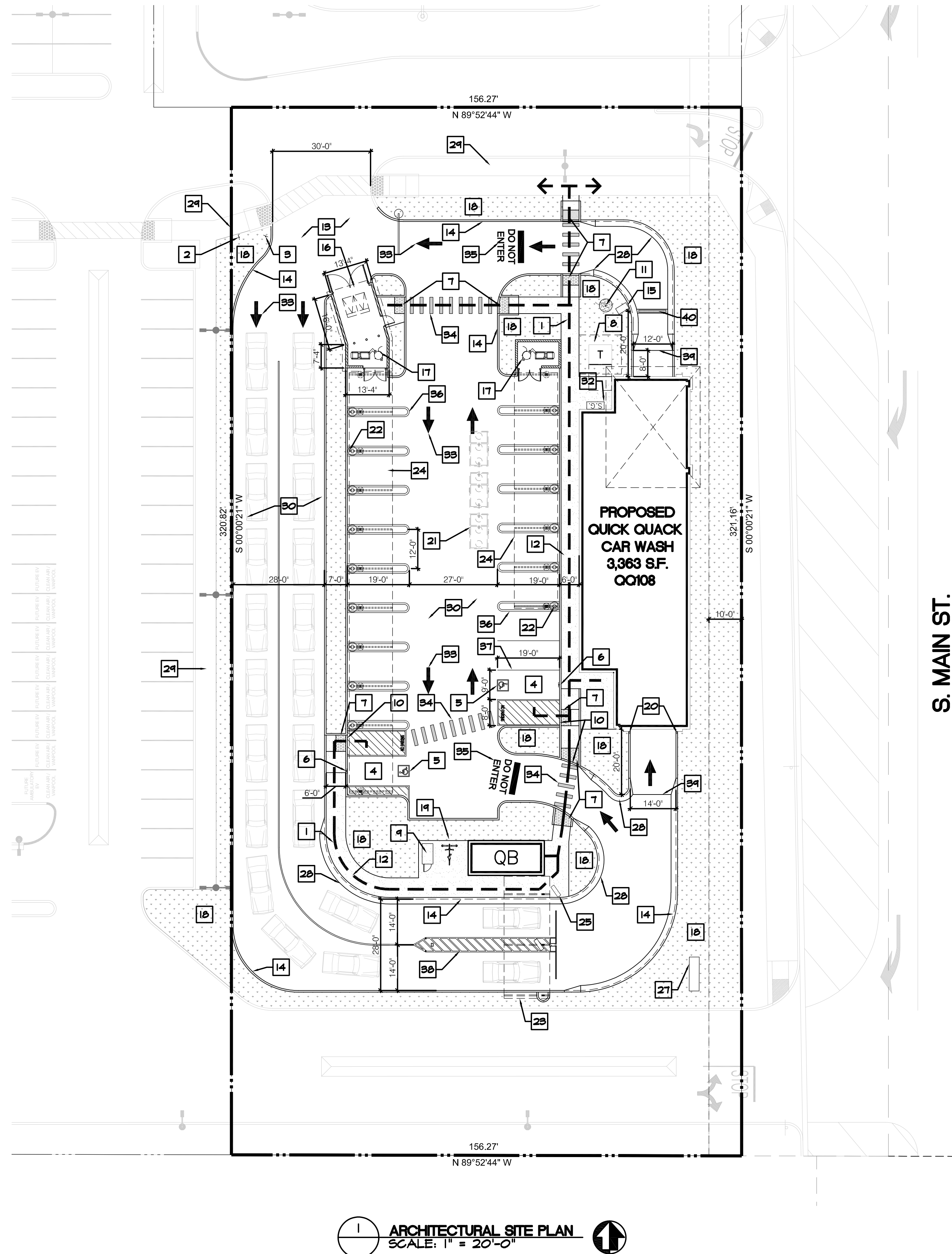


OVERALL SITE PLAN

DATE: JUNE 1, 2023
TAIT JOB #: 000002

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PLANNING PACKAGE


A1.00



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"

| PARKING ANALYSIS | |
|------------------|---|
| VACUUM STALLS | 16 STALLS @ 11'-0" X 19'-0" (1 ADA VACUUM STALL @ 11'-0"W X 19'-0"D) |
| PARKING STALLS | 2 STAFF STALLS @ 9'-0" X 19'-0" |
| ADA STALLS | 1 ADA STAFF STALL @ 17'-0"W X 19'-0"D |


- KEYNOTES**
- 1 ADA PATH OF TRAVEL SHOWN DASHED.
 - 2 NEW POLE MOUNTED INTERNATIONAL SYMBOL OF ACCESSIBILITY AT ACCESSIBLE PATH OF TRAVEL.
 - 3 NEW TOW AWAY ACCESSIBILITY PARKING SIGN AT ENTRANCE (TYPICAL 2 PLACES)
 - 4 NEW VAN ACCESSIBLE PARKING STALL - PAINT ACCESSIBLE LOADING ZONE WITH 4" WIDE STRIPING WITH TWO COATS OF HIGHWAY BLUE PAVEMENT MARKING PAINT. PAINT THE WORDS "NO PARKING" IN 12" HIGH LETTERS WITHIN THE LOADING ZONE.
 - 5 NEW INTERNATIONAL SYMBOL AT PARKING STALL (TYPICAL 2 PLACES)
 - 6 NEW ACCESSIBLE PARKING SIGN. (TYPICAL 2 PLACES)
 - 7 NEW TRUNCATED DOMES (TYPICAL ALL PLACES)
 - 8 PROPOSED ELECTRICAL TRANSFORMER LOCATION. FINAL APPROVED LOCATION PER UTILITY COMPANY
 - 9 NEW LONG TERM BIKE LOCKER
 - 10 NEW FLUSH SURFACE AT TRANSITION (TYPICAL)
 - 11 FLAG POLE PROVIDED AND INSTALLED BY VENDOR. GC TO INSTALL FOOTING
 - 12 NEW 4" THICK CONCRETE WALK, MEDIUM BROOM FINISH PERPENDICULAR TO PATH OF TRAVEL. SLOPE NOT TO EXCEED 3% IN DIRECTION OF TRAVEL. CROSS SLOPE NOT TO EXCEED 2%.
 - 13 NEW CONCRETE DRIVE - SEE CIVIL DRAWINGS
 - 14 NEW 6" CONCRETE CURB (TYPICAL)
 - 15 NEW WAIT/GO SIGN.
 - 16 NEW TRASH ENCLOSURE
 - 17 NEW VACUUM EQUIPMENT ENCLOSURE
 - 18 NEW LANDSCAPING
 - 19 NEW BICYCLE RACK
 - 20 NEW 4" CONCRETE FILLED PIPE BOLLARD AT ENTRANCE (TYPICAL 2 PLACES)
 - 21 NEW UNDERGROUND GREASE INTERCEPTOR - SEE CIVIL DRAWINGS
 - 22 NEW TRASH RECEPTACLES (TYPICAL 16 PLACES)
 - 23 NEW PAY CANOPY.
 - 24 NEW VACUUM CANOPY.
 - 25 NEW MENU BOARD.
 - 26 NOT USED
 - 27 NEW MONUMENT SIGN - CONTRACTOR TO COORDINATE INSTALLATION OF MONUMENT SIGN FOOTINGS PRIOR TO LANDSCAPE WORK. MONUMENT SIGN AND BUILDING SIGNS UNDER A SEPARATE PERMIT
 - 28 24" ROLLED CONCRETE CURB
 - 29 EXISTING PUBLIC CONCRETE CURB, AND GUTTER TO REMAIN (REPAIR AS REQUIRED BY PUBLIC WORKS)
 - 30 NEW DRIVE AISLE. REFER TO CIVIL DRAWINGS
 - 31 NOT USED
 - 32 ELECTRICAL SWITCH GEAR
 - 33 NEW DIRECTIONAL ARROW (TYP)
 - 34 NEW PEDESTRIAN STRIPING
 - 35 NEW "DO NOT ENTER" PAVEMENT MARKING
 - 36 NEW VACUUM PARKING STRIPING
 - 37 NEW PARKING STRIPING PER CITY STANDARDS (TYP)
 - 38 NEW DRIVEWAY LANE STRIPING
 - 39 GRADE BREAK LINE - SEE CIVIL DRAWINGS
 - 40 NEW TRENCH DRAIN



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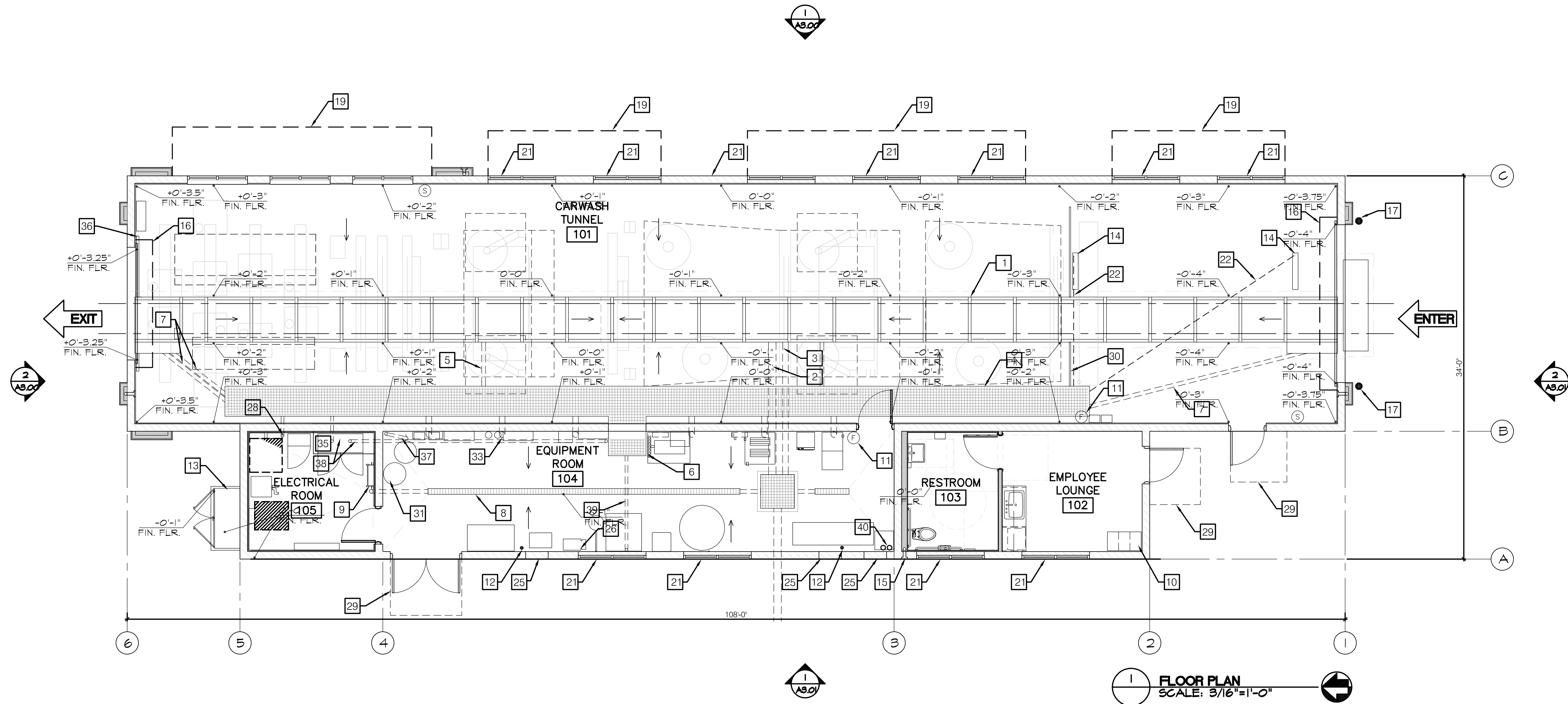
ARCHITECTURAL SITE PLAN

DATE: JUNE 1, 2023
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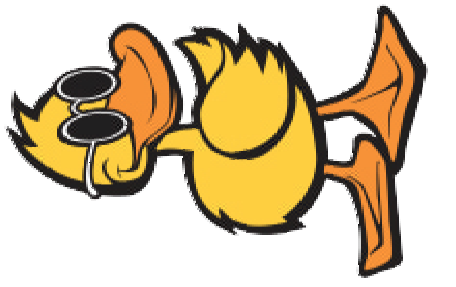
PLANNING PACKAGE

A1.01



KEYNOTES

- 1 CONVEYOR TRENCH. SLOPE AT $\frac{1}{4}$ " PER FOOT TO DRAIN.
- 2 8" CONVEYOR TRENCH DRAIN PIPE.
- 3 6" CONVEYOR TRENCH OVERFLOW.
- 4 UTILITY TRENCH. SLOPE BOTTOM TO DRAIN.
- 5 4" FLOOR DRAIN FROM UTILITY TRENCH TO THE CONVEYOR TRENCH (TYPICAL 2 PLACES)
- 6 3'-4" WIDE X 2'-2" DEEP OPEN FOR ACCESS TO UTILITY TRENCH. CONTRACTOR TO PROVIDE COVER - MATCH UTILITY TRENCH
- 7 4" PIPE CHASE FROM UTILITY TRENCH TO CONVEYOR TRENCH. (TYPICAL 6 PLACES)
- 8 TRENCH DRAIN. SEE PLUMBING DRAWINGS. PROVIDE 2 AT THE EXIT - EXTEND PAST WALL 1'-0" BEYOND OPENING
- 9 ROOF ACCESS LADDER.
- 10 EMPLOYEE LOCKERS. (TOTAL OF 3 - 1 ADA ACCESSIBLE) CONTRACTOR SUPPLIED AND INSTALLED
- 11 WALL MOUNTED ENCLOSED FIRE EXTINGUISHER. - 2A-10BC (TYPICAL 2 PLACES)
- 12 ROOF DRAIN LEADER (TYPICAL 3 PLACES)
- 13 ELECTRICAL SERVICE SWITCHGEAR
- 14 CUT RECESS IN SLAB FOR TIRE SENSOR SWITCH. (TYPICAL 2 PLACES) QQ TO CONFIRM LOCATION
- 15 HOSE BIB IN RECESS BOX. PROVIDE WITH LOCKABLE DOOR AT EXTERIOR LOCATIONS. (TYPICAL 4 PLACES)
- 16 COILING ROLL-UP DOOR. (TYPICAL 2 PLACES)
- 17 4" CONCRETE FILLED PIPE BOLLARD AT ENTRANCE. (TYPICAL 2 PLACES)
- 18 NOT USED
- 19 WALL MOUNTED CANOPY ABOVE. (TYPICAL 4 PLACES)
- 20 3'-0" X 3'-0" RECLAIM CLEAN-OUT
- 21 FAUX WINDOW - SEE EXTERIOR ELEVATIONS
- 22 1/2" CONDUIT TO TIRE SWITCH TERMINATE AT END OF RECESS. CONDUIT TO GO UNDER CONVEYOR TRENCH (TYPICAL 2 PLACES)
- 23 WALL MOUNTED IT CABINET
- 24 KNOX BOX - CONTRACTOR TO COORDINATE WITH LOCAL FIRE DEPARTMENT FOR TYPE, SIZE AND PREFERRED LOCATION
- 25 24" WIDE X 16" HIGH AIR VENT - SEE EXTERIOR ELEVATIONS (TYP. 3 PLACES)
- 26 4" DRAIN PIPE STUBBED UP 12" AFF. (TYPICAL 2 PLACES)
- 27 CONTRACTOR FURNISHED AND INSTALLED 20" X 54" X 84" TALL STORAGE CABINET WITH ADJUSTABLE SHELVING AND WHITE MELAMINE FINISH ON THE INSIDE AND GRAY OUTSIDE.
- 28 3" CHASE (NEXT TO CONTROL PANEL TO UTILITY TRENCH)
- 29 LEVEL LANDING PER CBC 11B-404.2.4 AND TABLE 11B404.2.4.1 (TYP) - 24" MIN STRIKE EDGE CLEARANCE FOR THE EXTERIOR DOOR LANDING
- 30 3/4" x 1 1/2" WIDE RECESS IN SLAB FOR DRAINAGE (TYPICAL 2 PLACES)
- 31 CONTRACTOR SUPPLIED AND INSTALLED EYE WASH STATION
- 32 34" MAXIMUM A.F.F. COUNTER TOP.
- 33 6" SWEEPS FROM UTILITY TRENCH TO EQUIPMENT ROOM (TYPICAL 6 PLACES) VERIFY WITH OWNER FOR EXACT LOCATIONS)
- 34 CONTRACTOR FURNISHED AND INSTALLED 18" X 36" X 40" TALL POS CABINET
- 35 2'-0" X 5'-6" X 4" TALL CONCRETE "HOUSE CLEANING PAD" FOR MCC PANEL
- 36 3/4" x 2 1/2" WIDE RECESS IN SLAB FOR DRAINAGE (TYPICAL 2 PLACES) EXTEND PAST EXIT OPENING 1'-0" MINIMUM
- 37 1" PVC CHASE TO BUG JUICE CONTROL PANEL. SWEEPS ONLY. NO 90 DEGREES.
- 38 2 - 3" CHASE AT CENTER OF MCC PANEL "HOUSE KEEPING PAD". RUN ONE CHASE TO EQUIPMENT TRENCH AND ONE NEXT TO ACCESS OPENING
- 39 3" CHASE FROM ACCESS OPENING TO FACE OF WALL
- 40 NEED CHASES TO EACH VACUUM ENCLOSURES. SWEEPS ONLY. GO TO INSTALL AND PULL 3/4" PEX LINE FROM EQUIPMENT ROOM TO ENCLOSURES WOUND UP TO 10' COIL ON EACH END



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DATE DESCRIPTION

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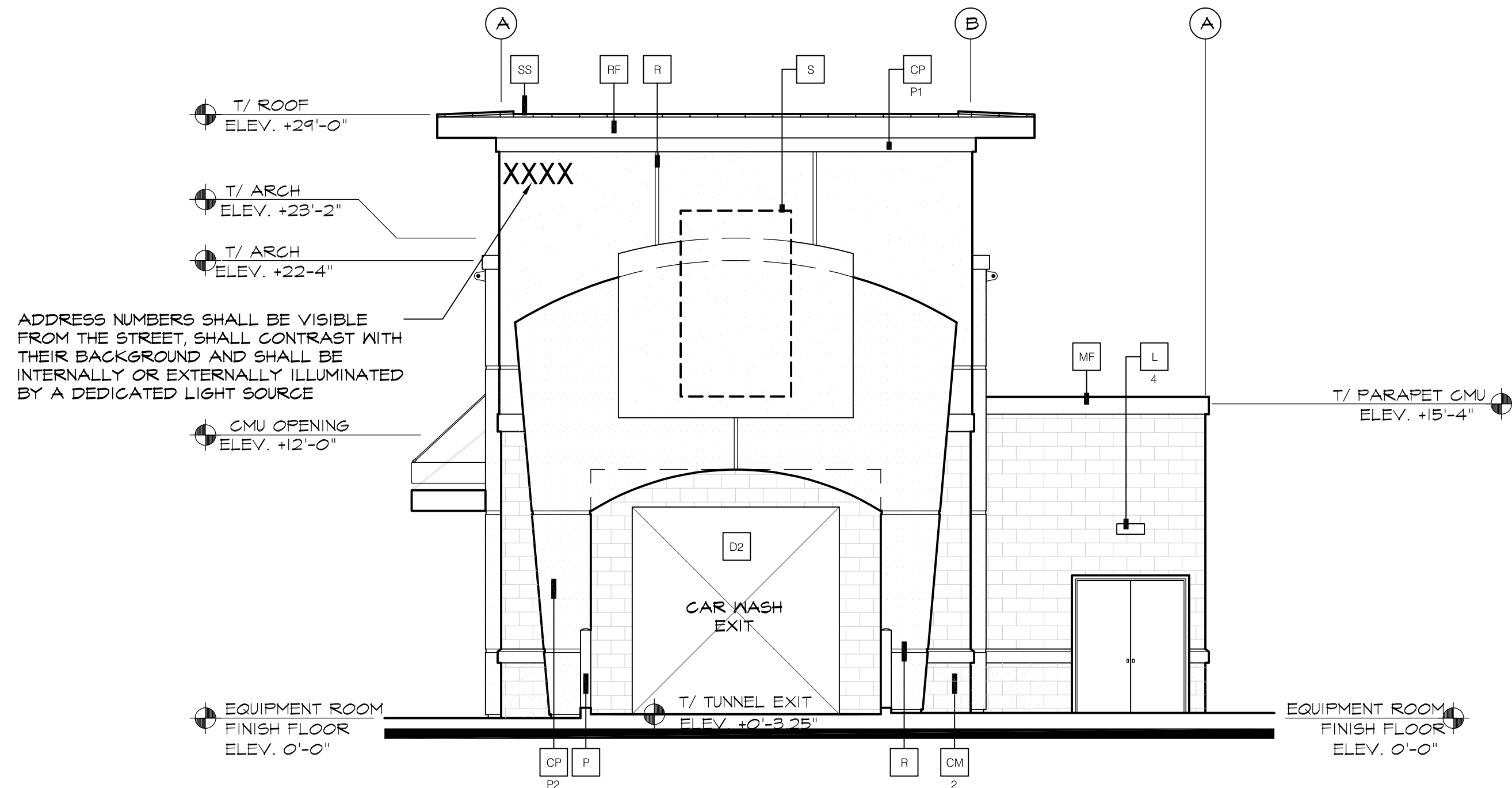
FLOOR PLAN

DATE: JUNE 1, 2023
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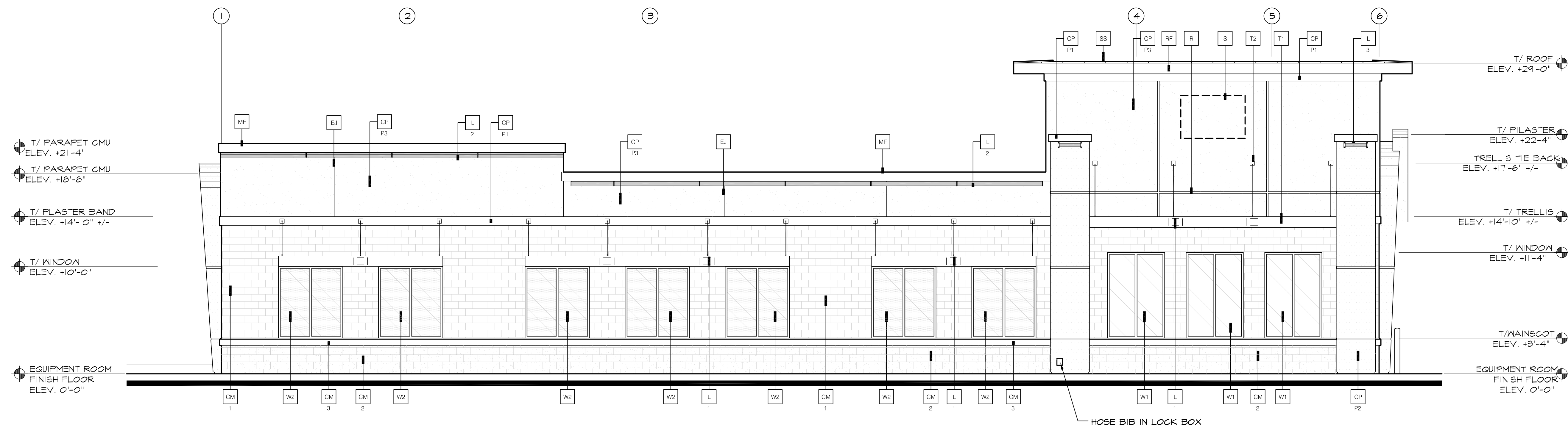
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PLANNING PACKAGE

A2.00



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"

KEY NOTES:

CM 1 BASALITE SMOOTH HONED FACE CONCRETE MASONRY UNITS - INTEGRAL COLOR STANDARD #225 LIGHT GRAY, WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.

CM 2 BASALITE SPLIT FACE CONCRETE MASONRY UNITS INTEGRAL COLOR STANDARD #740 DARK GRAY WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.

CM 3 PRECISION FACE CONCRETE MASONRY UNIT SILL, INTEGRAL COLOR TO MATCH DARK GRAY MAINSCOT WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.

CP ACRYLIC PLASTER COLOR COAT
COLOR DESIGNATION:

P1 = MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
P2 = MATCH SHERWIN WILLIAMS #6902 "DECISIVE YELLOW"
P3 = MATCH SHERWIN WILLIAMS #1004 "SNOWBOUND"
PLASTER COLOR COAT TO BE SAND FINISH

D1 HOLLOW METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #1025 "BACKDROP"

D2 OVERHEAD METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #1025 "BACKDROP"

D3 CLEAR ANODIZED ALUMINUM COMMERCIAL GRADE STOREFRONT GLASS DOOR

DS 8" X 16" THROUGH WALL SCUPPER, COLLECTOR AND DOWNSPOUT. PAINT TO MATCH ADJACENT SURFACE

EJ 1/4" DEEP REVEAL EXPANSION JOINT

L LIGHT FIXTURE

TYPE:

L1 = LED RADIAL WALL SCONCE (DOWN ONLY)
L2 = LINEAR FACADE WALL LIGHT (DOWN ONLY)
L3 = 2 FOOT LED PILASTER LIGHT (DOWN ONLY)
L4 = WALL PACK (DOWN ONLY)

CONTACT STEVE FRIEDMAN 1.847.830.1444 WITH HERMITAGE LIGHTING FOR ORDERING LIGHTING. (NO EXCEPTIONS)

MF METAL FASCIA - PAINT TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" (GREEN)

P 4" PIPE BOLLARD FILLED WITH CONCRETE SEE DETAIL #8/A1.05

R 2" WIDE X 1/4" DEEP CLEAR ANODIZED ALUMINUM PLASTER REVEAL

RF METAL ROOF FASCIA - MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" (GREEN)

RO 3" DIA PVC ROOF OVERFLOW SCUPPER - PAINT TO MATCH ADJACENT FINISH

S SIGNAGE BY OTHERS SHOWN DASHED- FOR REFERENCE ONLY UNDER SEPARATE PERMIT. GENERAL CONTRACTOR TO COORDINATE WITH SIGN COMPANY.

SS STANDING SEAM METAL ROOF FIRESTONE UCS - "DARK IVY".

T1 METAL WALL CANOPY SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"

T2 WALL CANOPY TIE-BACK SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"

V 24" WIDE X 16" HIGH VENT - PAINT TO MATCH ADJACENT FINISH; LOUVERS NOT REQUIRED WHEN EQUIPMENT RM. IS AIR CONDITIONED

W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS CLEAR ANODIZED ALUMINUM STOREFRONT

W2 EXTERIOR FAUX WINDOW ASSEMBLY - WITH BLACK CERAMIC FRIT TEMPERED SPANDREL GLASS CLEAR ANODIZED ALUMINUM STOREFRONT



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QUICK QUACK
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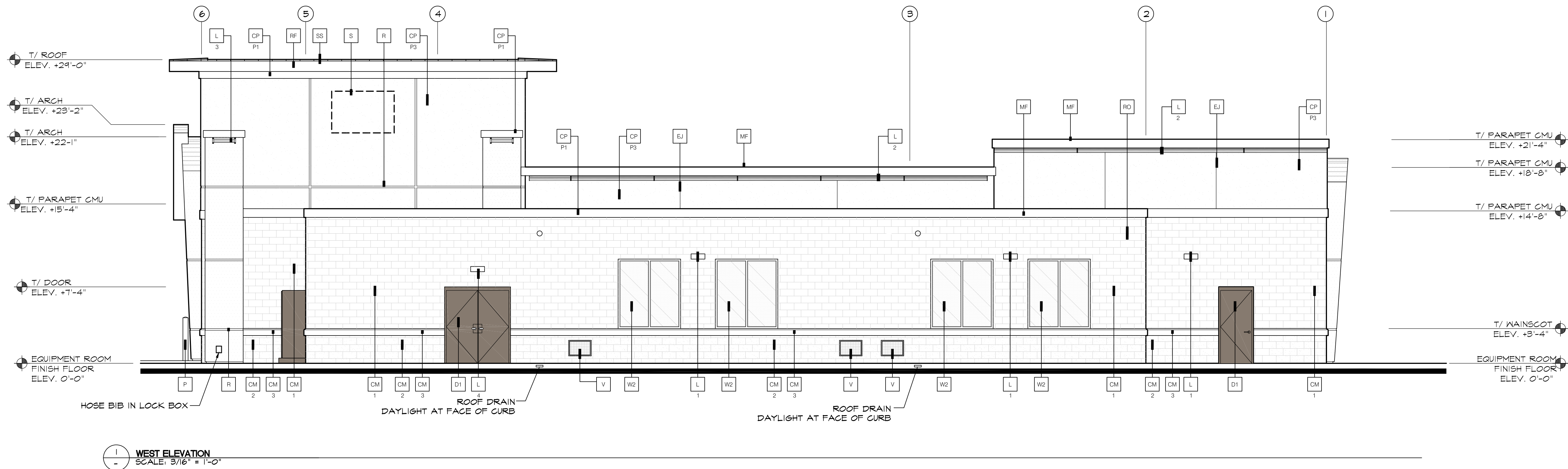
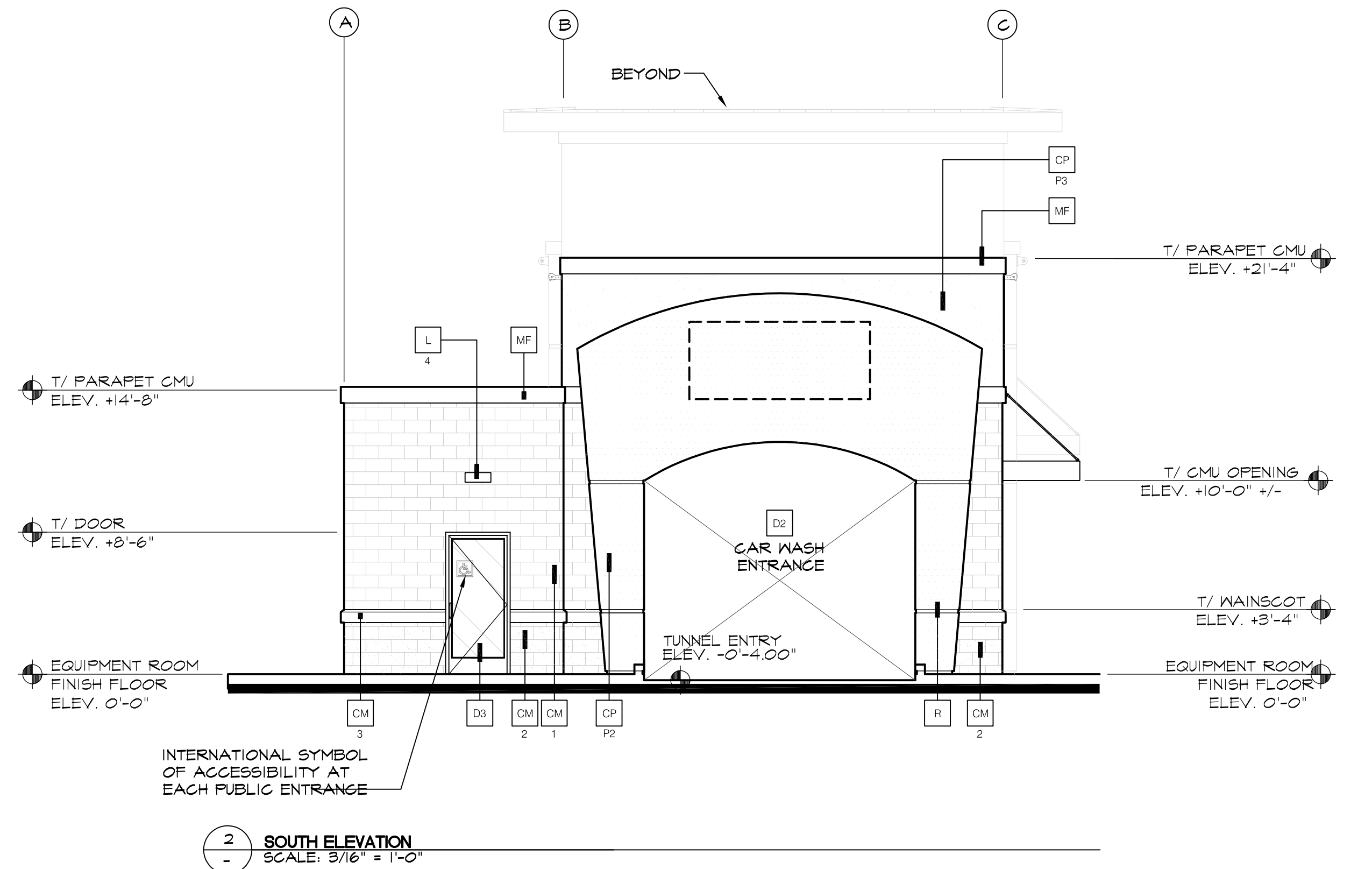
EXTERIOR ELEVATIONS

DATE: JUNE 1, 2023
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PLANNING PACKAGE

A3.00

**KEY NOTES:**

CM 1 BASALITE SMOOTH HONED FACE CONCRETE MASONRY UNITS - INTEGRAL COLOR STANDARD #225 LIGHT GRAY, WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.

CM 2 BASALITE SPLIT FACE CONCRETE MASONRY UNITS INTEGRAL COLOR STANDARD #140 DARK GRAY WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.

CM 3 PRECISION FACE CONCRETE MASONRY UNIT SILL. INTEGRAL COLOR TO MATCH DARK GRAY MAINSCOT WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.

CP ACRYLIC PLASTER COLOR COAT
COLOR DESIGNATION:

P1 = MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
P2 = MATCH SHERWIN WILLIAMS #6102 "DECISIVE YELLOW"
P3 = MATCH SHERWIN WILLIAMS #1004 "SNOWBOUND"

PLASTER COLOR COAT TO BE SAND FINISH

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D3 CLEAR ANODIZED ALUMINUM COMMERCIAL GRADE STOREFRONT GLASS DOOR

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W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS CLEAR ANODIZED ALUMINUM STOREFRONT

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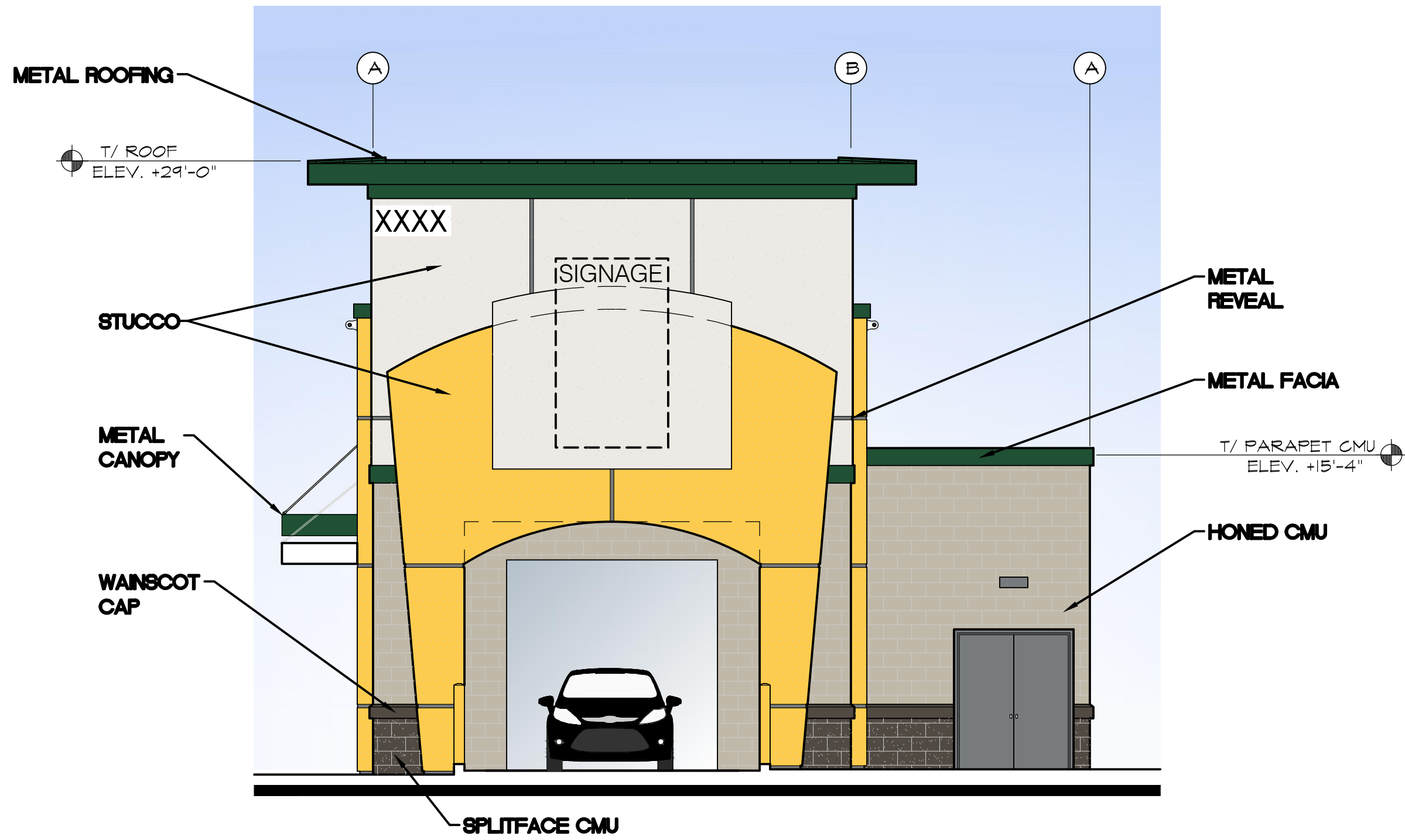
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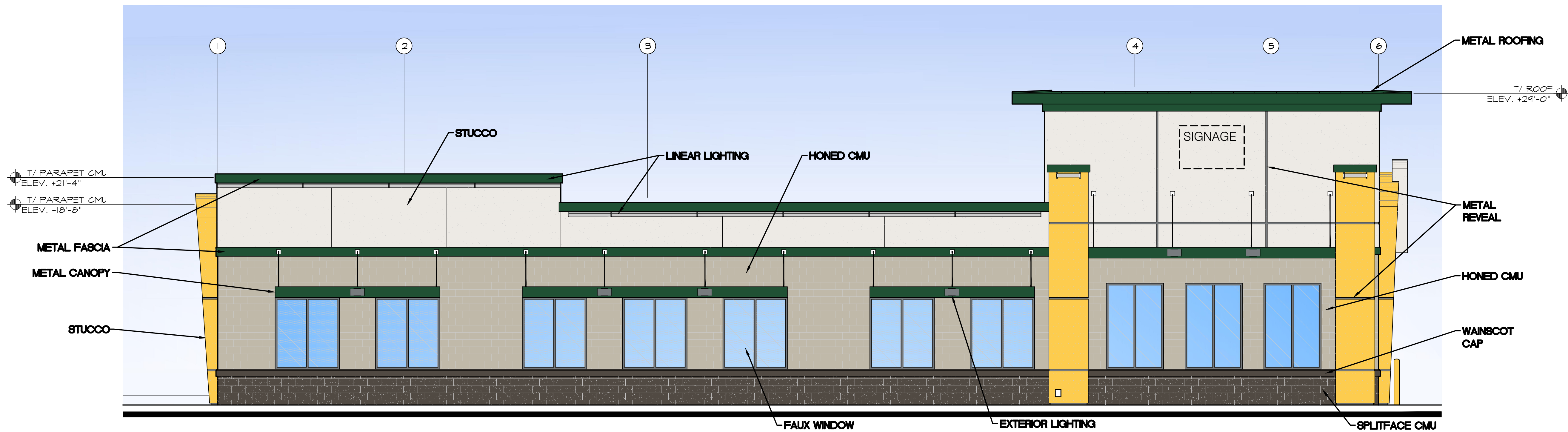
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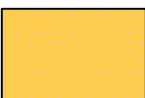

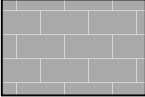
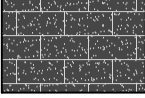


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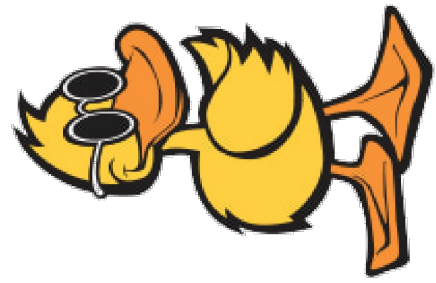


2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION
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| FINISHES | |
|--|---|
| SHERWIN WILLIAMS "QUICK QUACK GREEN" |  |
| SHERWIN WILLIAMS SW6902 - "DECISIVE YELLOW" |  |
| SHERWIN WILLIAMS SW7004 - "SNOWBOUND" |  |
| BASALITE SMOOTH HONED FACE CMU #225 "LIGHT GRAY" |  |
| BASALITE SPLIT FACE CMU #190 "DARK GRAY" |  |
| PRECISION FACE CONCRETE MASONRY UNIT SILL #190 "DARK GRAY" |  |
| CLEAR ANODIZED ALUMINUM STOREFRONT |  |



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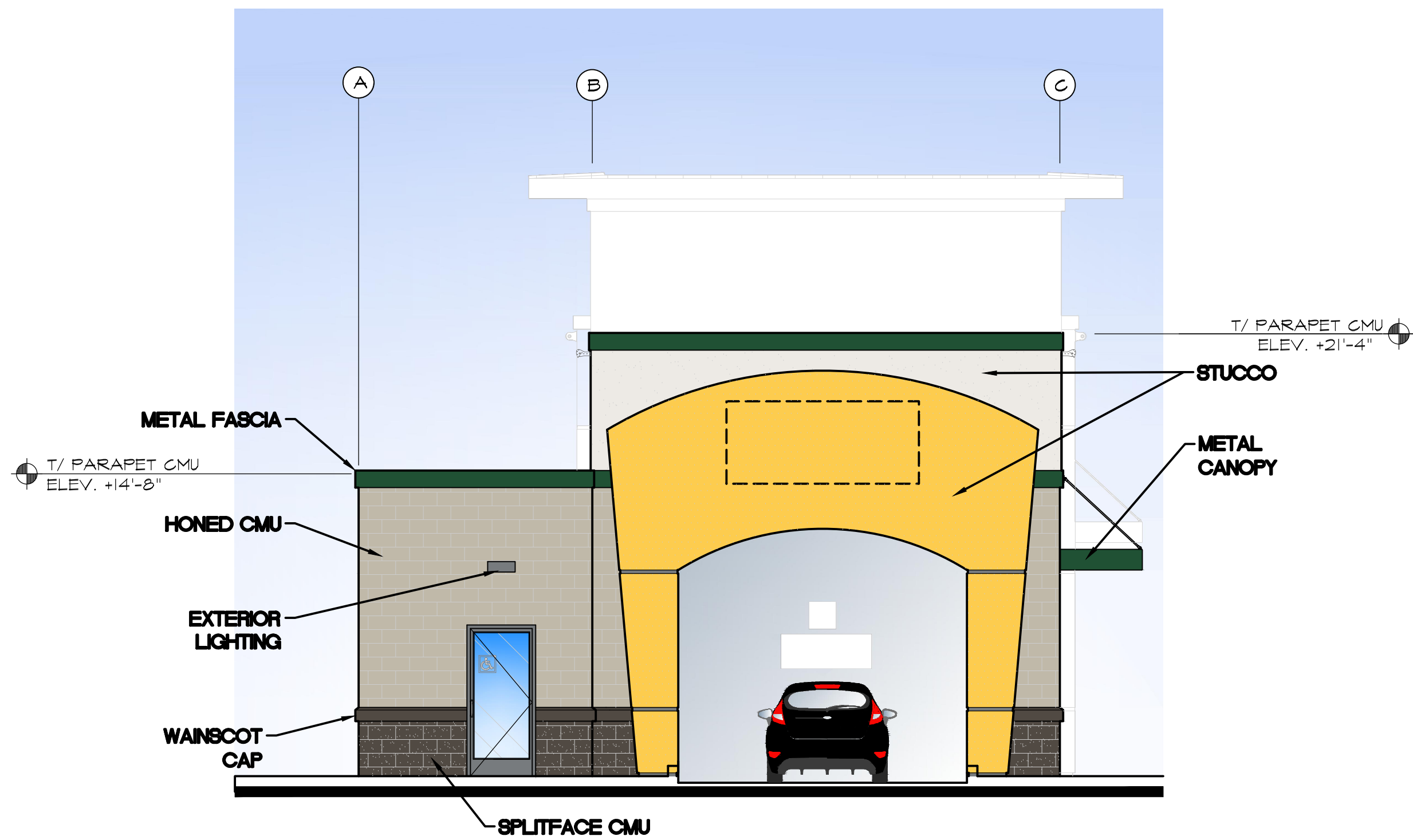
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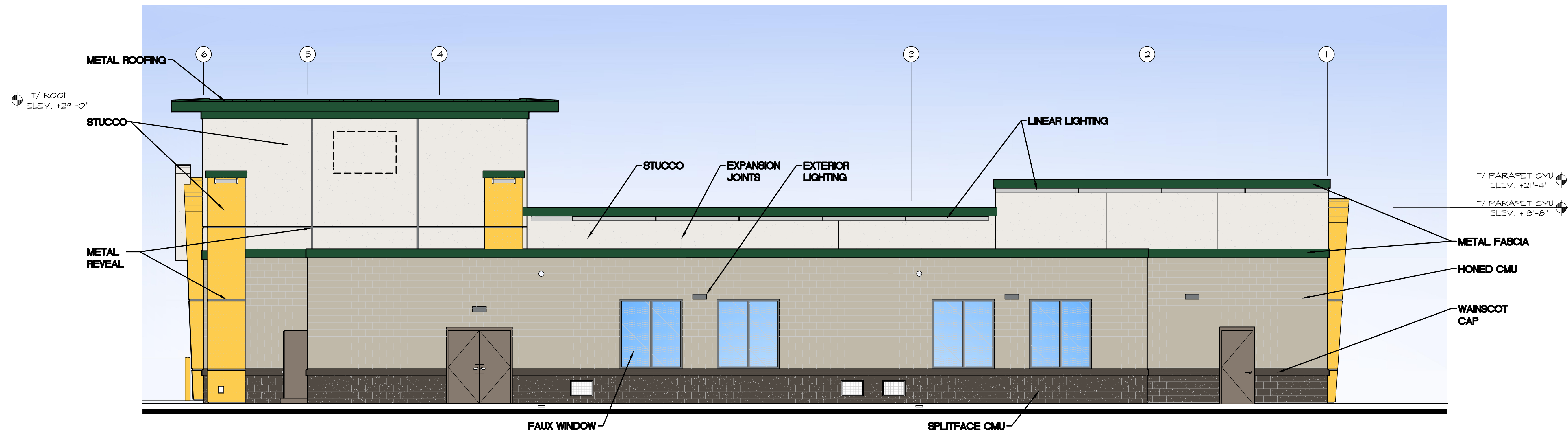
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A4.00

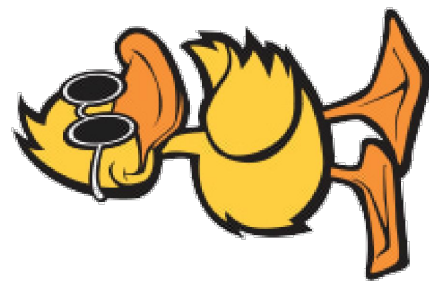


2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

| FINISHES | |
|--|--|
| SHERWIN WILLIAMS 'QUICK QUACK GREEN' | |
| SHERWIN WILLIAMS SW6902 - "DECISIVE YELLOW" | |
| SHERWIN WILLIAMS SW7004 - "SNOWBOUND" | |
| BASALITE SMOOTH HONED FACE CMU #225 "LIGHT GRAY" | |
| BASALITE SPLIT FACE CMU #T90 "DARK GRAY" | |
| PRECISION FACE CONCRETE MASONRY UNIT SILL #T90 "DARK GRAY" | |
| CLEAR ANODIZED ALUMINUM STOREFRONT | |



1 WEST ELEVATION
SCALE: 3/16" = 1'-0"



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QUICK QUACK
STORE #: 24-138
ATHERTON DR. & MAIN ST.
MANTECA, CA 95337

REVISIONS
DATE DESCRIPTION

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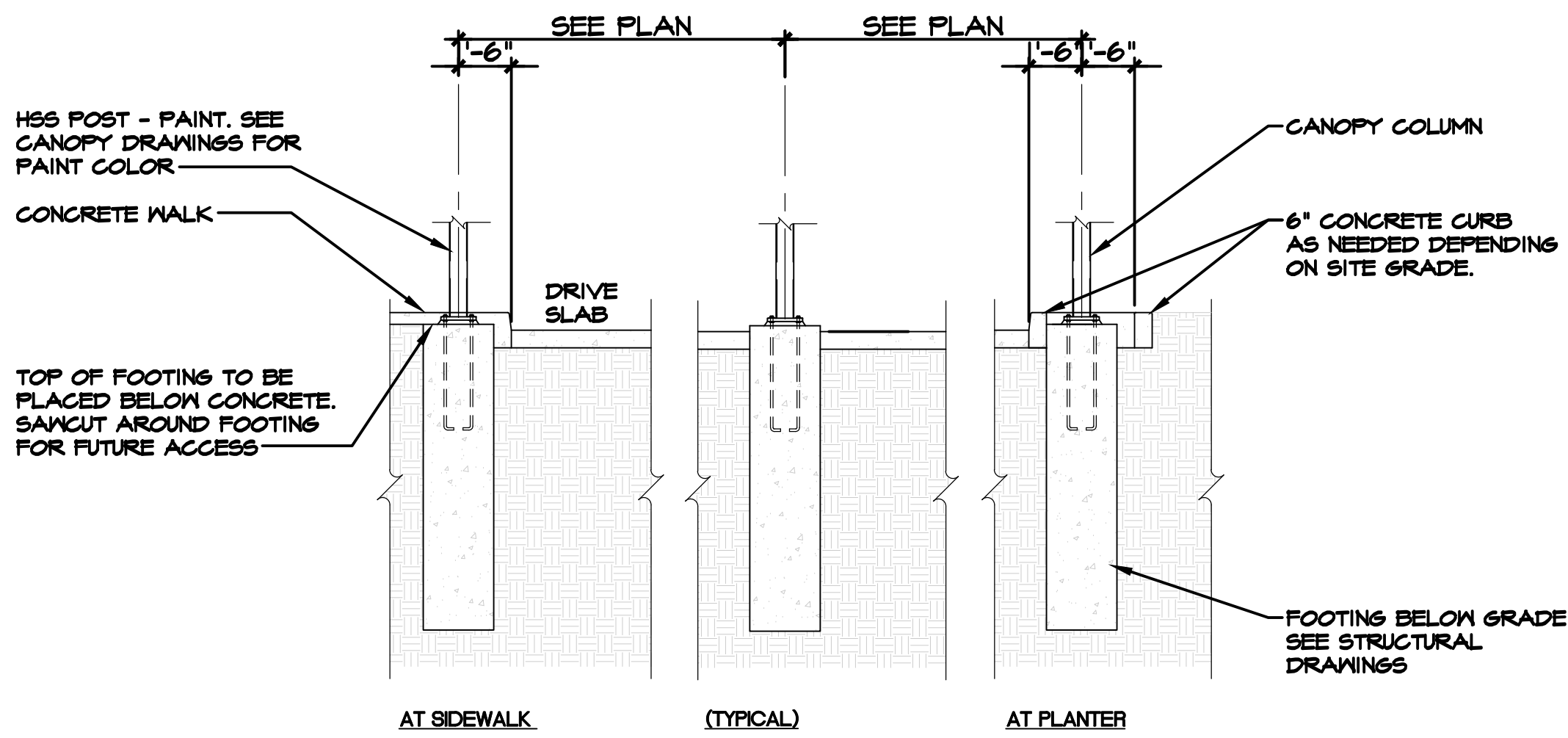
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Norco, CA 92860
P: 951/475/3300
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COLOR ELEVATIONS

DATE: JUNE 1, 2023
TAIT JOB #: 000002

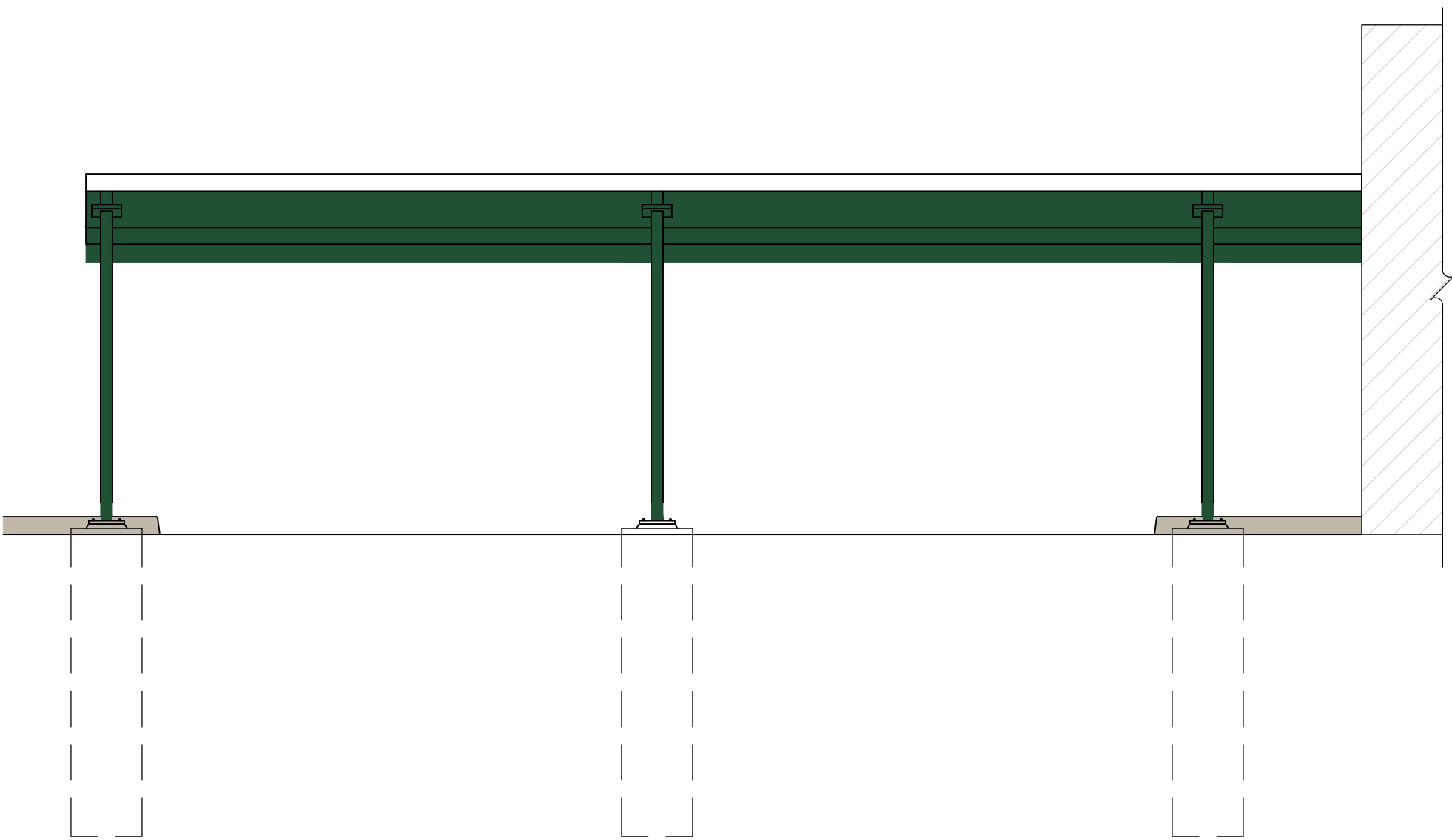
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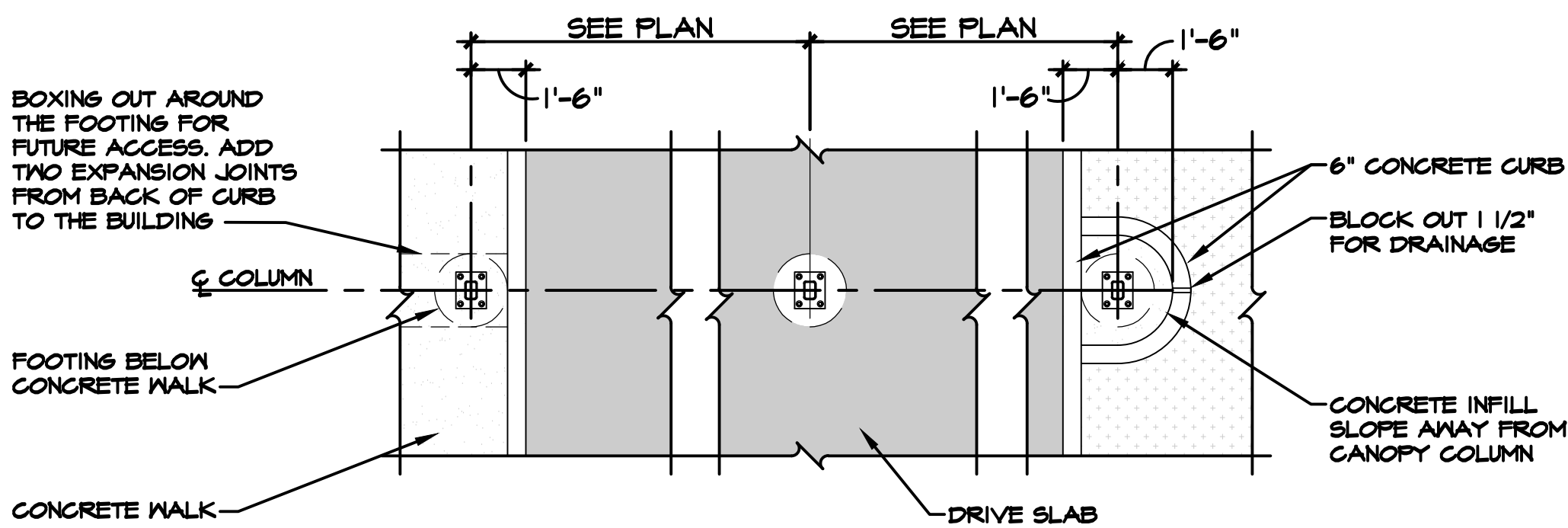


- CANOPY FOOTING NOTES:**
- FOR EACH CANOPY (PAY OR VACUUM), THE TOP OF EACH FOOTING SHALL BE THE SAME ELEVATION.
 - THE ELEVATION OF EACH SET OF FOOTINGS WILL BE DETERMINED BY THE HIGHEST GRADE ADJACENT TO THE CONTROL FOOTING.
 - THE CONTROL FOOTING IS SET 2' ABOVE THE HIGHEST ADJACENT FINISHED CONCRETE PAVEMENT GRADE.

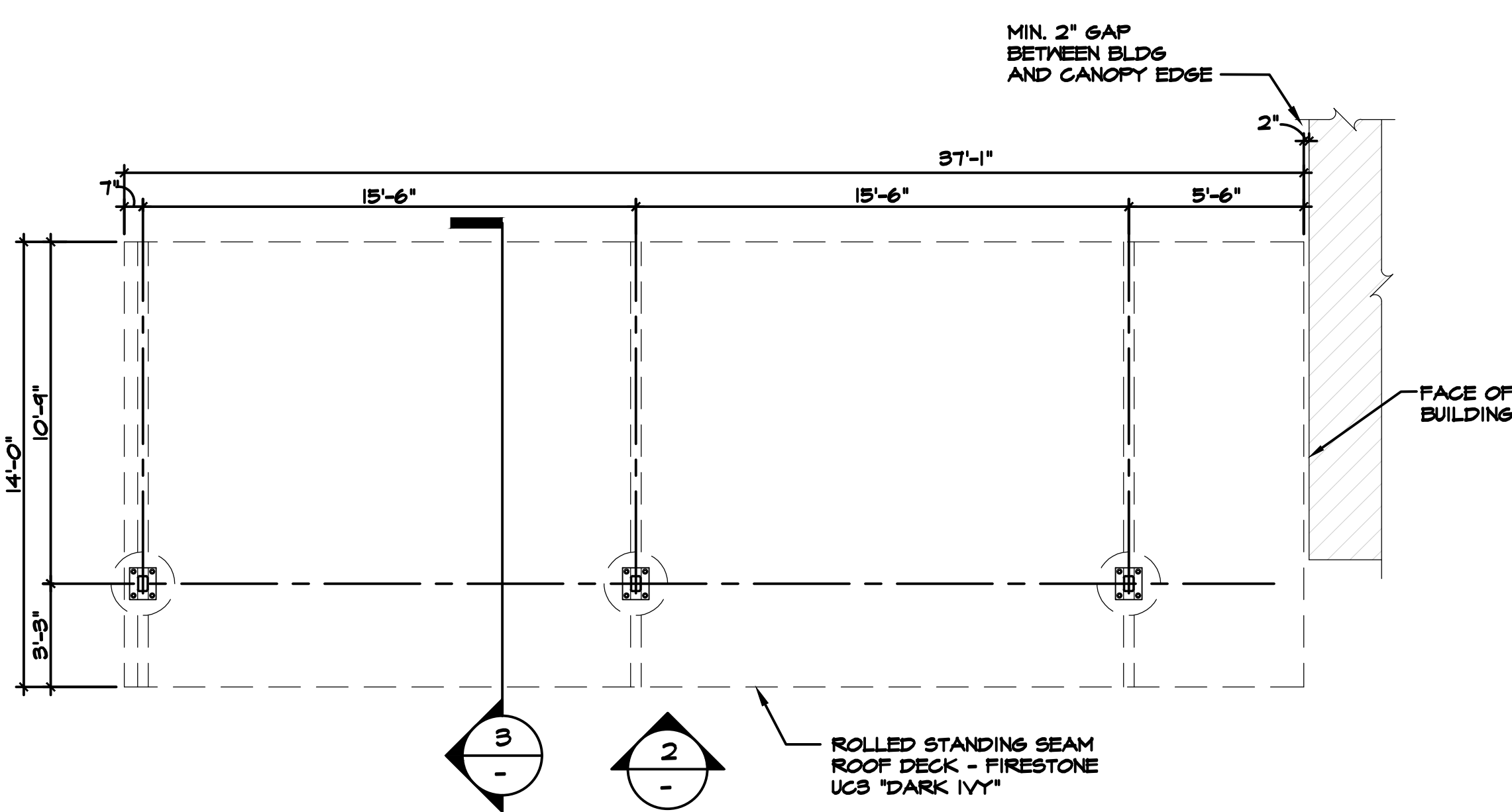
5 TYPICAL CANOPY CROSS SECTION
SCALE: 1/4" = 1'-0"



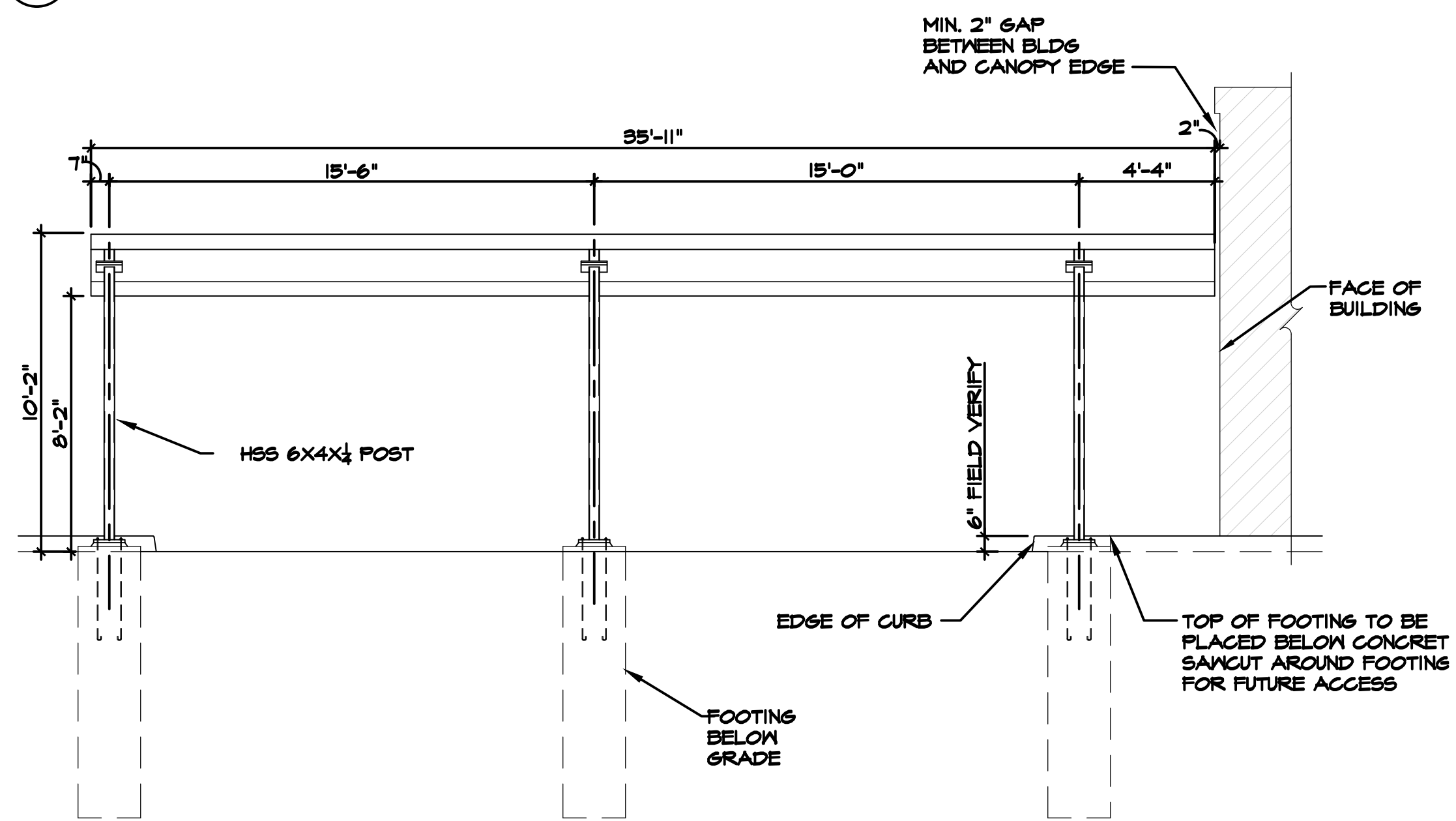
6 PAY STATION CANOPY ELEVATION
SCALE: 1/4" = 1'-0"



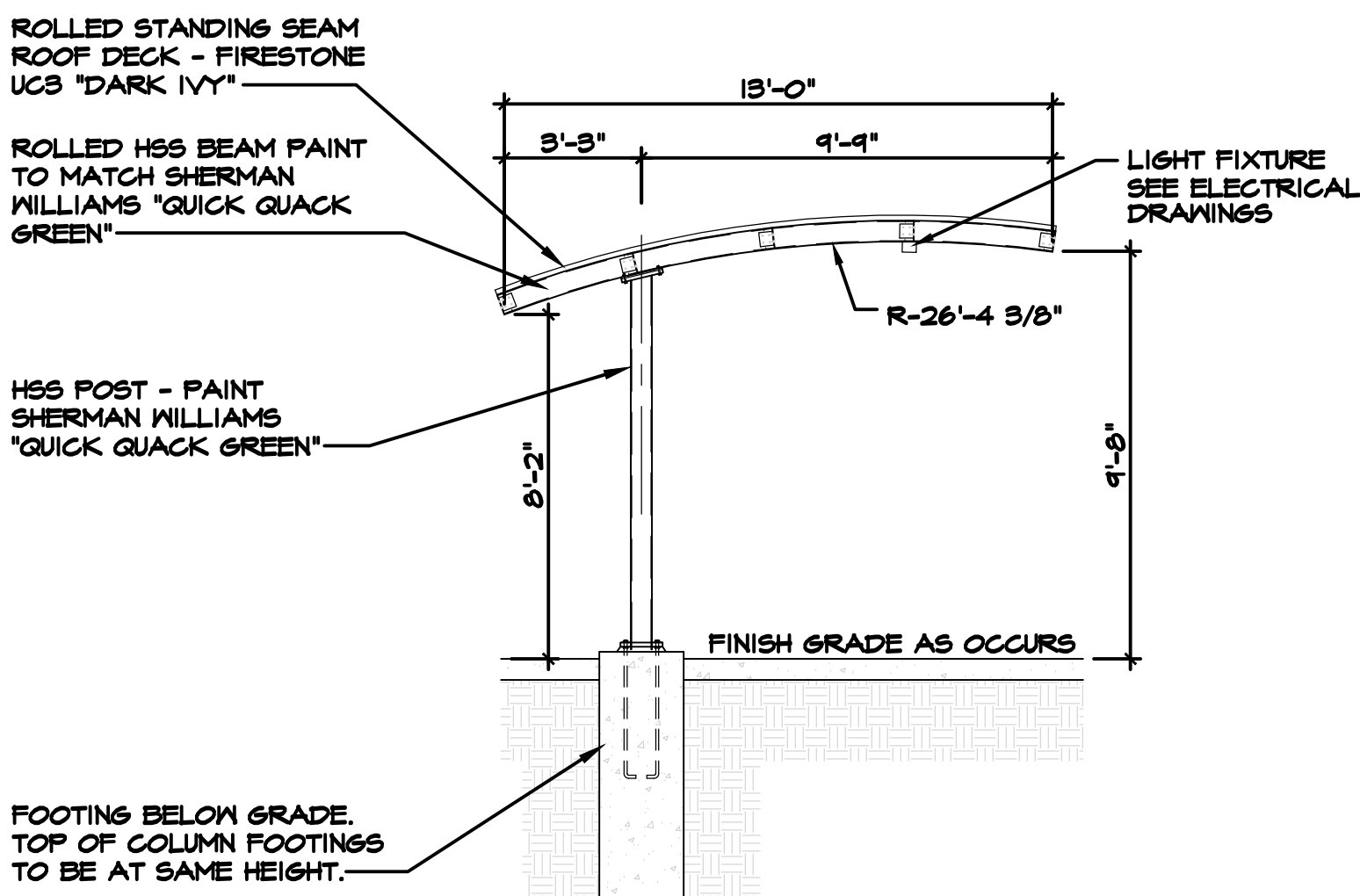
4 TYPICAL CANOPY CROSS SECTION PLAN VIEW
SCALE: 1/4" = 1'-0"



1 PAY STATION CANOPY PLAN
SCALE: 1/4" = 1'-0"



2 PAY STATION CANOPY ELEVATION
SCALE: 1/4" = 1'-0"



4 TYPICAL CANOPY SIDE COLOR ELEVATION
SCALE: 1/4" = 1'-0"



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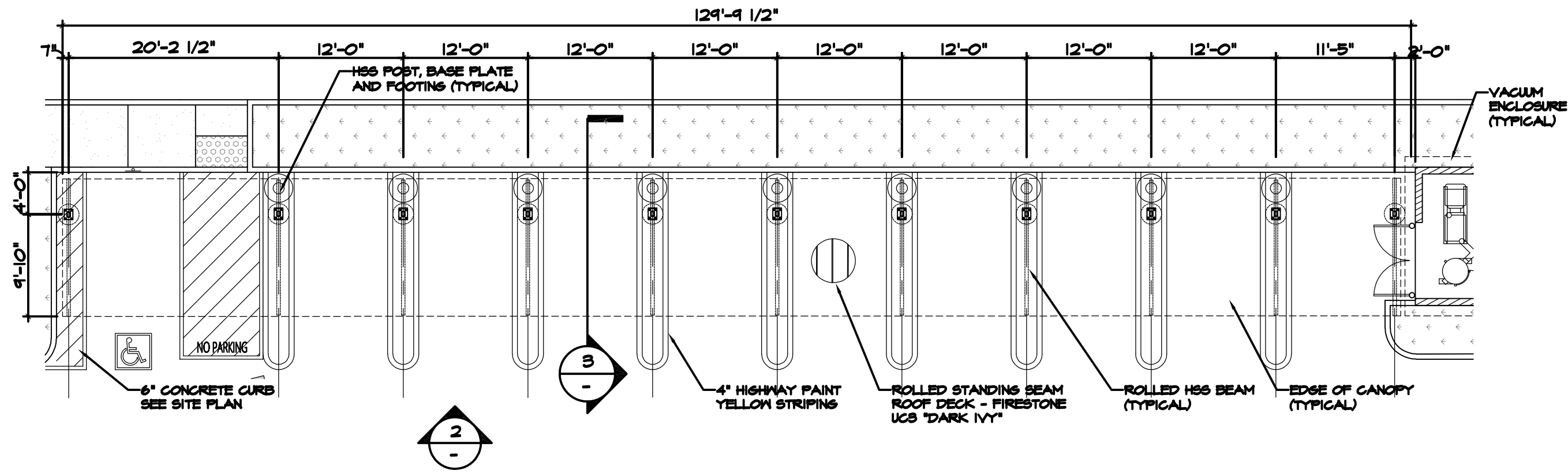
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PAY CANOPY

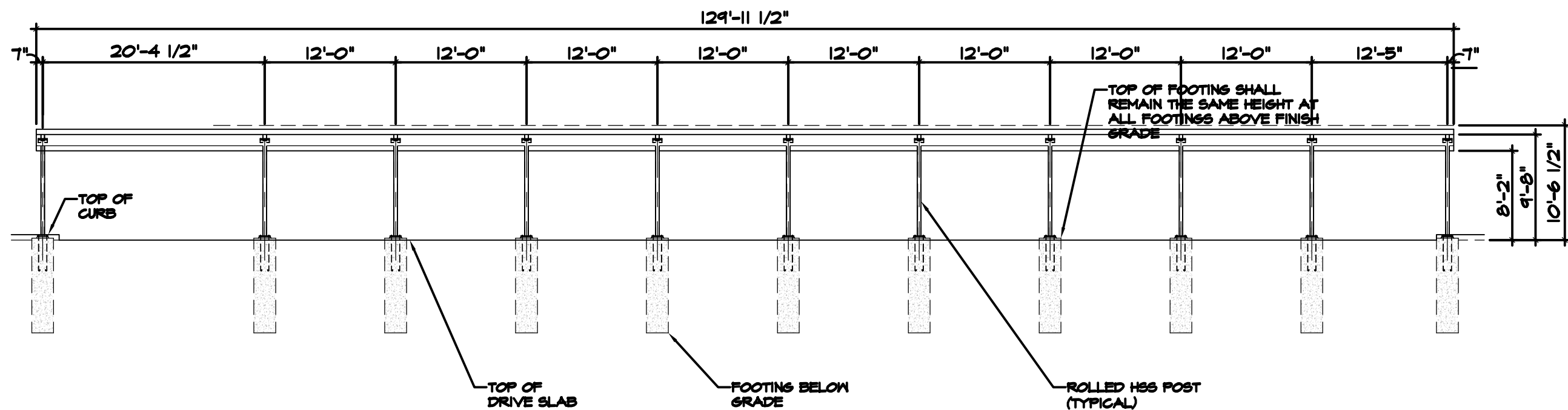
DATE: JUNE 1, 2023
TAIT JOB #: QO0002

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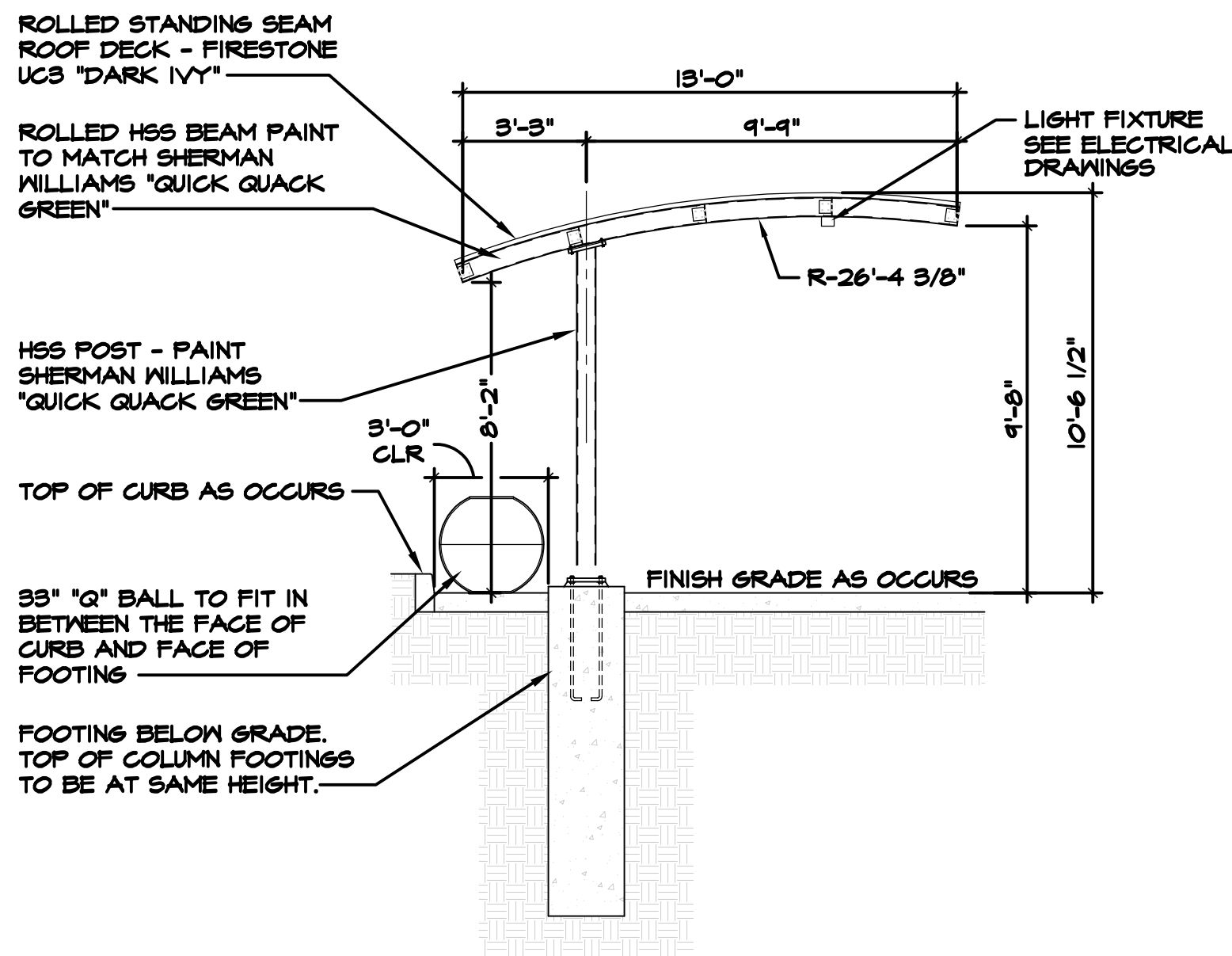
A5.00



1 VACUUM CANOPY PLAN
SCALE: 3/32" = 1'-0"



2 VACUUM CANOPY ELEVATION
SCALE: 3/32" = 1'-0"



3 TYPICAL CANOPY SECTION
SCALE: 1/4" = 1'-0"



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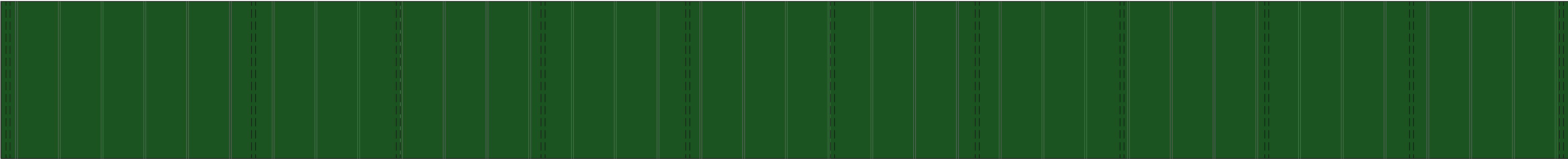
VACUUM CANOPY

DATE: JUNE 1, 2023
TAIT JOB #: 000002

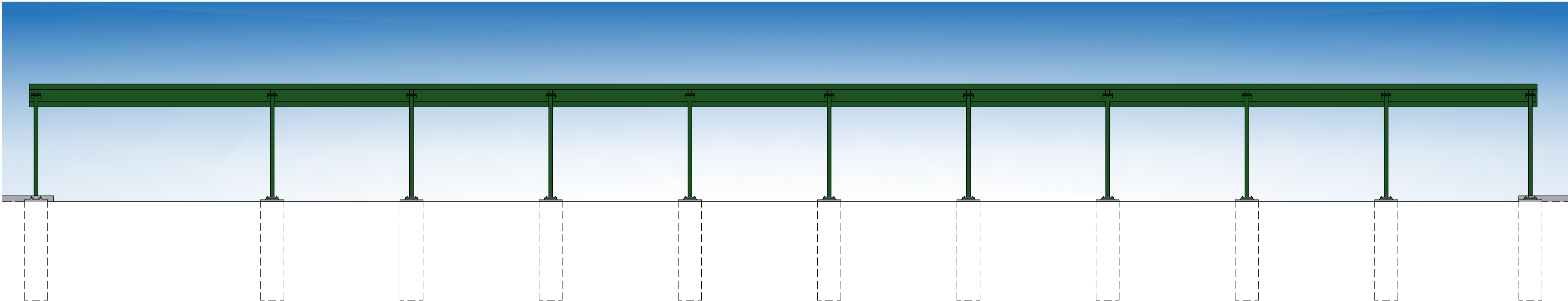
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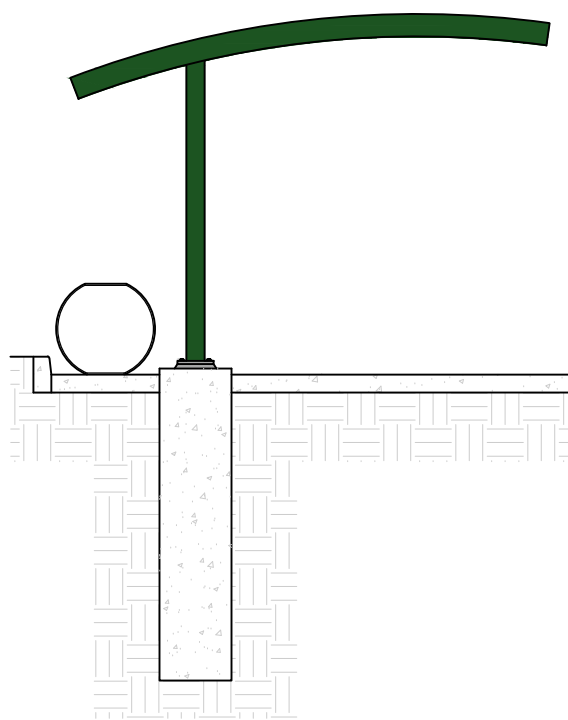
A5.01





1 VACUUM CANOPY COLOR PLAN
SCALE: 3/16"=1'-0"



2 VACUUM CANOPY COLOR ELEVATION
SCALE: 3/16"=1'-0"



3 TYPICAL VACUUM CANOPY SIDE ELEVATION
SCALE: 3/16"=1'-0"

| FINISHES | |
|--------------------------------------|---|
| SHERWIN WILLIAMS "QUICK QUACK GREEN" |  |
| ROOF DECK - FIRESTONE UCB "DARK IVY" |  |



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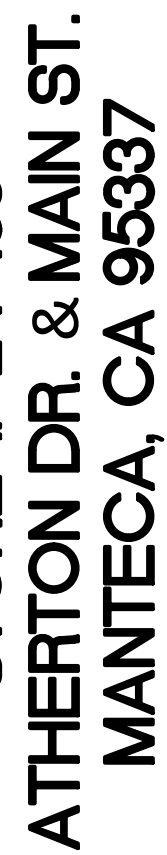
TYPICAL COLOR
VACUUM CANOPY

DATE: JUNE 1, 2023
TAIT JOB #: 000002

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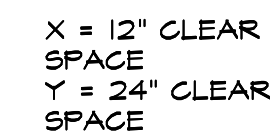
PLANNING PACKAGE

A5.02

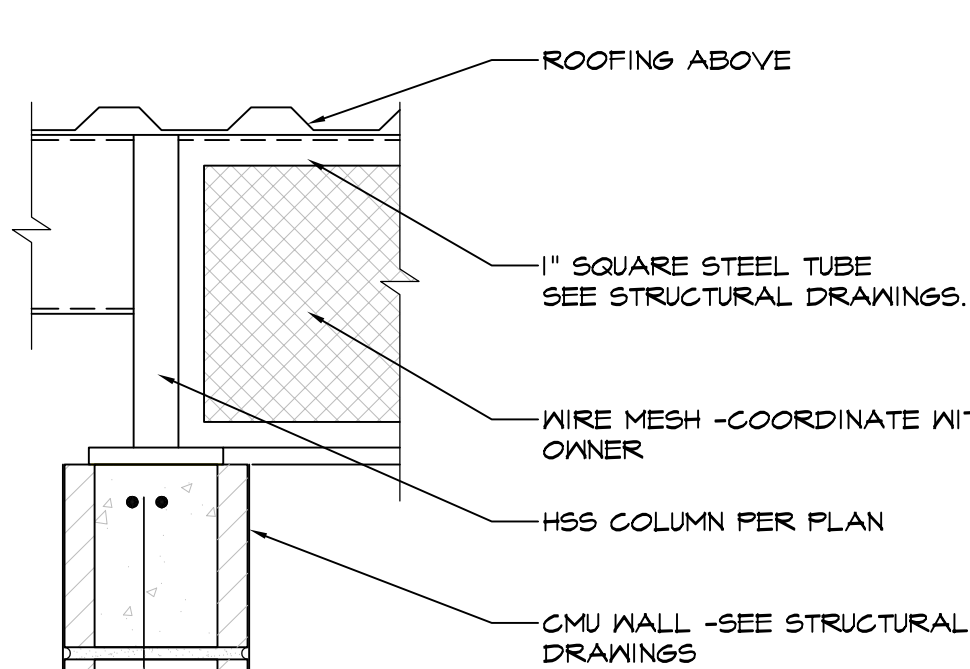

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PLANNING PACKAGE

A6.00

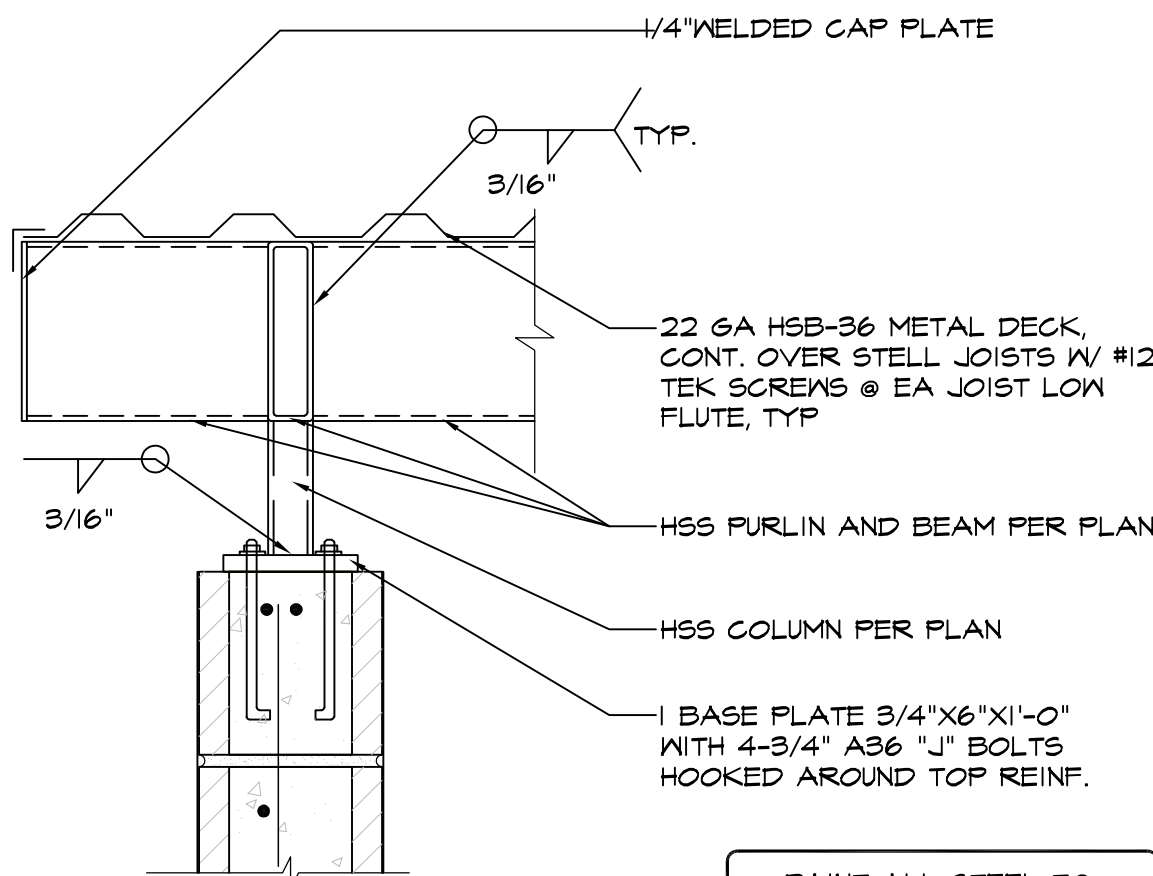


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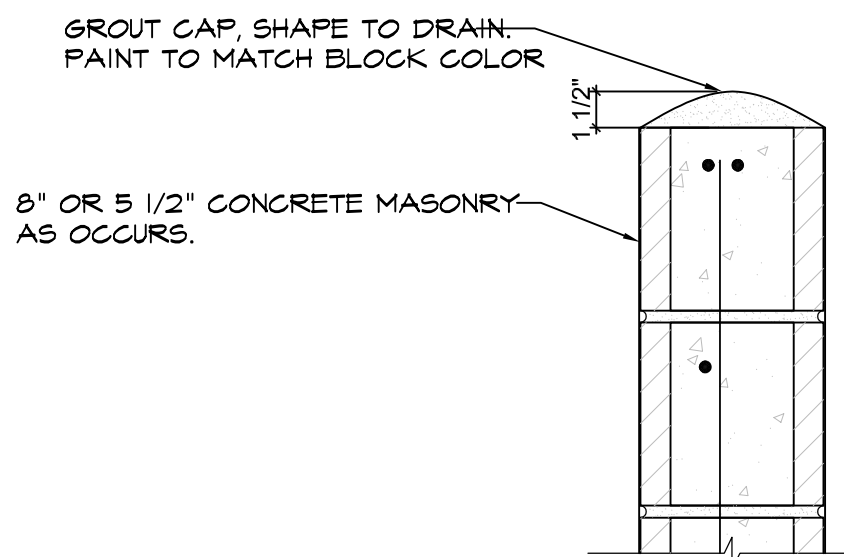
6 MESH DETAIL
SCALE: 1 1/2"=1'-0"

SEE DETAIL #5 FOR
ADDITIONAL
INFORMATION

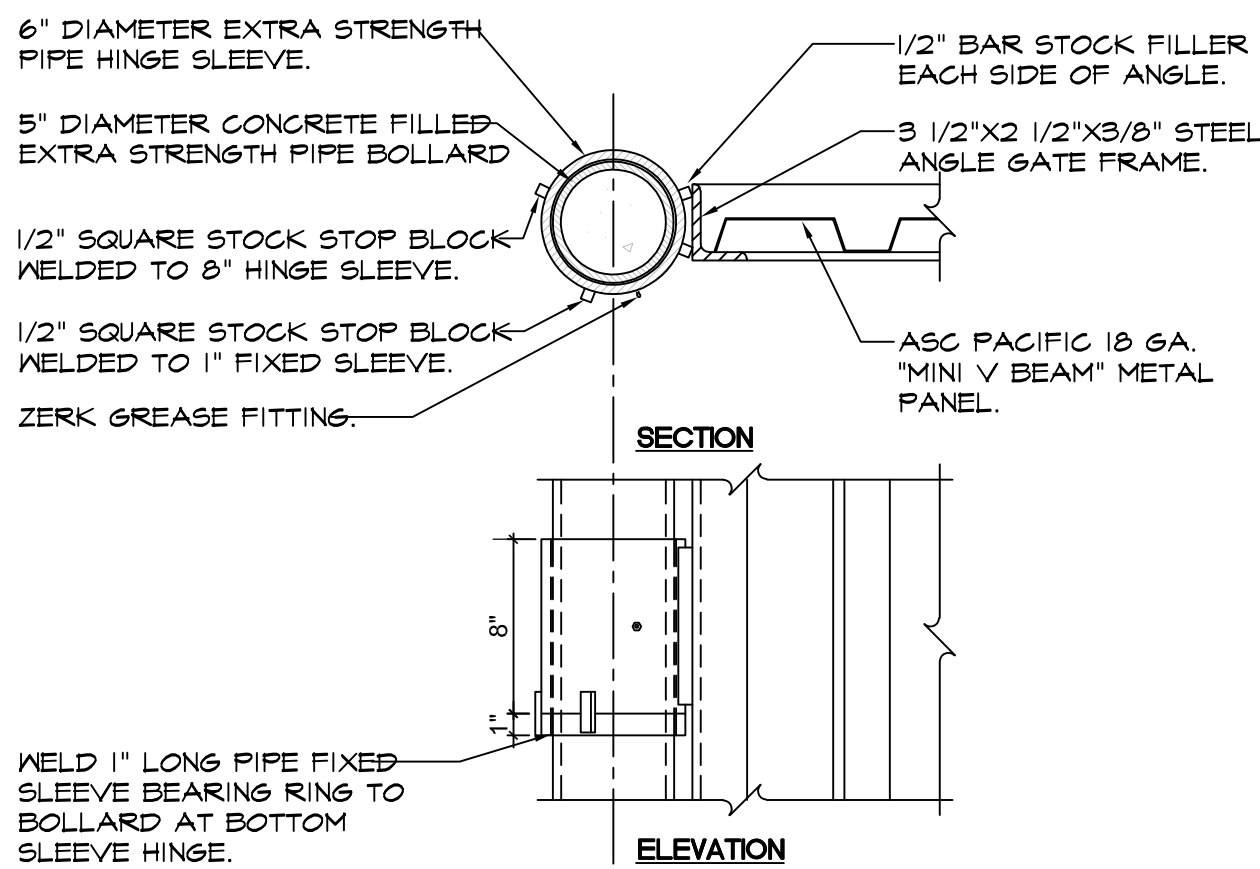


5 COLUMN TO WALL
SCALE: 1 1/2"=1'-0"

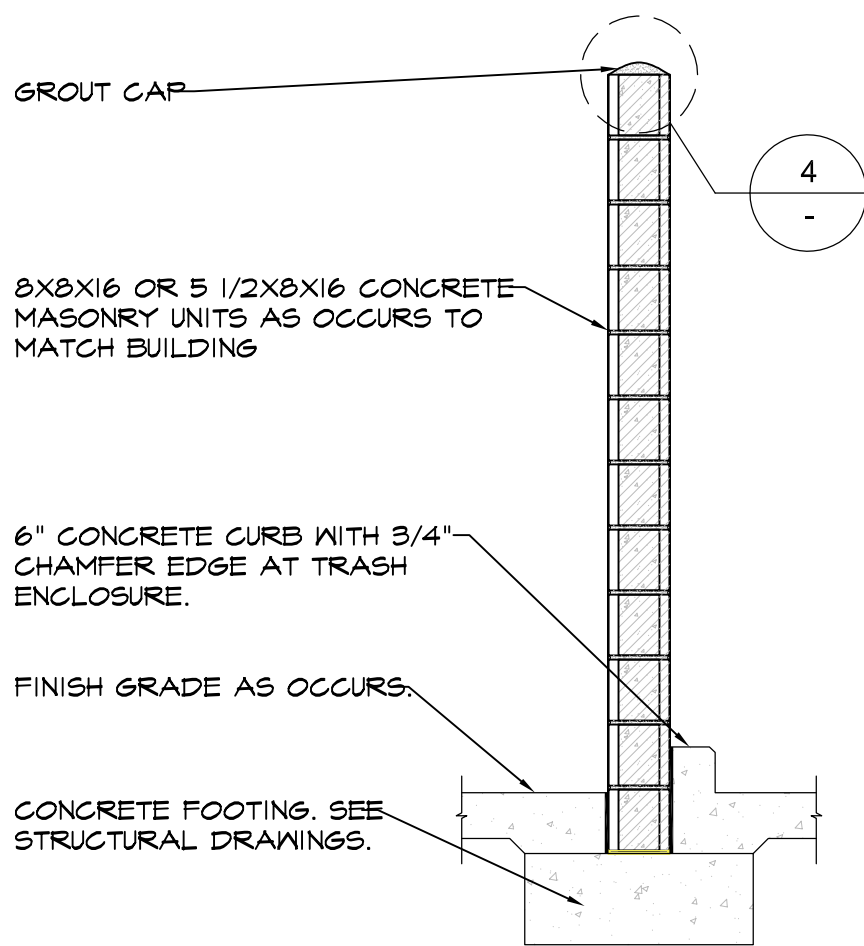
PAINT ALL STEEL TO
MATCH ADJACENT
BUILDING COLORS, TYP.



4 WALL CAP DETAIL
SCALE: 1 1/2"=1'-0"



3 SLEEVE HINGE DETAIL
SCALE: 1 1/2"=1'-0"



A-A WALL SECTION
SCALE: 1/2"=1'-0"



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SITE ELEMENTS
ENCLOSURES

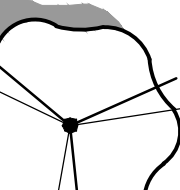
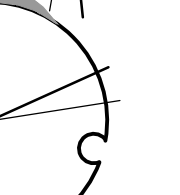
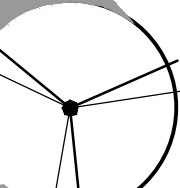
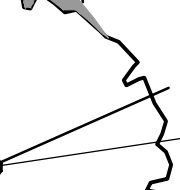









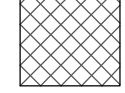

DATE: JUNE 1, 2023
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PLANNING PACKAGE

A6.01

PLANT SCHEDULE

| TREES | QTY | BOTANICAL / COMMON NAME | CONT | WUCOLS |
|---|-----|--|---------|----------|
|  | 6 | Cercis canadensis texensis 'Oklahoma' / Oklahoma Texas Redbud | 15 gal. | Low |
|  | 4 | Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Maidenhair Tree | 15 gal. | Moderate |
|  | 10 | Lagerstroemia indica 'Cherokee' / Cherokee Crape Myrtle | 15 gal. | Low |
|  | 2 | Zelkova serrata 'Village Green' / Village Green Japanese Zelkova | 15 gal. | Moderate |
| SHRUBS | QTY | BOTANICAL / COMMON NAME | CONT | WUCOLS |
|  | 167 | Callistemon viminalis 'LJ1' TM / Better John Bottlebrush | 5 gal. | Low |
|  | 117 | Dietes bicolor / Fortnight Lily | 1 gal. | Low |
|  | 163 | Lomandra longifolia 'Baby Breeze' / Dwarf Mat Rush | 1 gal. | Low |
|  | 63 | Phormium tenax 'Dark Delight' / New Zealand Flax | 5 gal. | Low |
|  | 91 | Westringia fruticosa 'Morning Light' / Morning Light Coast Rosemary | 5 gal. | Low |
|  | 13 | Westringia x 'Wynabbie Gem' / Wynabbie Gem Coast Rosemary | 5 gal. | Low |
|  | 75 | Yucca x 'Bright Star' / Variegated Spanish Dagger | 5 gal. | Low |
| VINES/ESPALLIERS | QTY | BOTANICAL / COMMON NAME | CONT | WUCOLS |
|  | 9 | Magnolia grandiflora 'Little Gem' / Espallier Little Gem Dwarf Southern Magnolia | 15 gal. | Moderate |
| GROUND COVERS | QTY | BOTANICAL / COMMON NAME | CONT | WUCOLS |
|  | 80 | Festuca ovina glauca 'Elijah Blue' / Elijah Blue Fescue | 1 gal. | Low |
|  | 159 | Rosa x 'Meisentrill' TM / Lemon Drift Rose | 1 gal. | Low |
|  | 155 | Rosmarinus officinalis 'Irene' / Irene Trailing Rosemary | 1 gal. | Low |

GENERAL NOTES

- All landscape areas shall receive a minimum 3" layer of organic mulch.
- Irrigation to new plant material shall be low volume drip. Irrigation shall conform to City of Manteca water conservation standards.
- Onsite trees within 5' of pavement or a permanent structure shall have a root barrier.

COMPLIANCE STATEMENT

The project will comply with the criteria of the California Green Building Standards Code 5.304 and the Manteca Water Efficient Landscape Ordinance and applied them accordingly for the efficient use of water in the landscape plan.

Rodney Deccaron 7-31-23

Water Efficient Landscape Worksheet

| HYDROZONE/PLANTING DESCRIPTION | PLANT FACTOR (PF) | IRRIG. METHOD | IRRIG. EFFICIENCY (IE) | ETAF (PF/IE) | LANDSCAPE AREA (Sq. Ft.) | ETAF x AREA | ESTIMATED TOTAL WATER USE (ETWU) |
|--------------------------------|-------------------|---------------|------------------------|--------------|--------------------------|-------------|----------------------------------|
| REGULAR LANDSCAPE AREA | | | | | | | |
| LOW WATER USE -SHRUBS | .3 | DRIP | .81 | .37 | 8,689 | 3,215 | 102,057 GAL. |
| MODERATE WATER USE -TREE/VINES | .5 | DRIP | .81 | .62 | 530 | 329 | 10,444 GAL. |
| TOTALS | | | | | (A) 9,219 | (B) 3,544 | |

ETWU Total 112,501 GAL.

Maximum Applied Water Allowance (MAWA). $MAWA = \frac{[Eto]}{[51.2]} \times \frac{[Conversion\ factor]}{[.62]} \times \frac{[ETAF](Landscape\ Area)}{[.45 \times 9,219]} + \frac{[(1-ETAF) \times SLA]}{[(1-.45) \times 0]} = 131,692 \text{ GALLONS}$

Estimated Total Water use (ETWU). $ETWU = \frac{[Eto]}{[51.2]} \times \frac{[Conversion\ factor]}{[.62]} \times \frac{[ETAF](Area)}{[3,544]} = 112,501 \text{ GALLONS}$

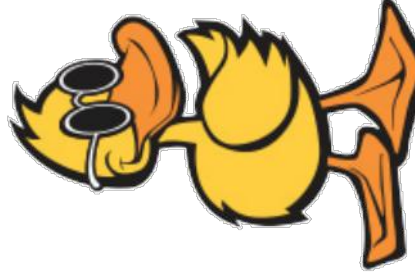
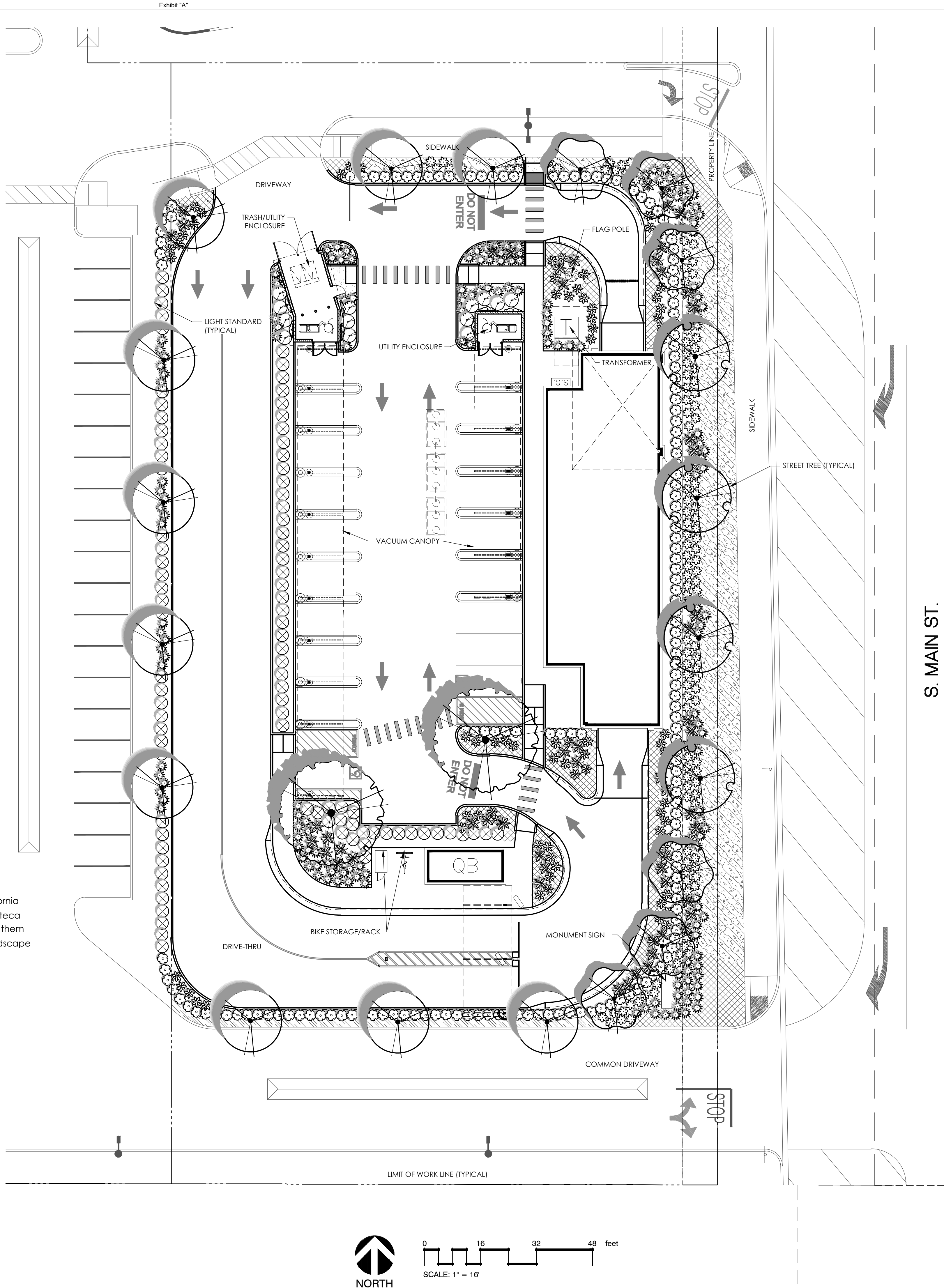
ETAF Calculations

Regular Landscape Areas

| | |
|-------------------|-------------|
| Total ETAF x Area | (B) 3,544 |
| Total Area | (A) 9,219 |
| Average ETAF | (B / A) .38 |

Note:

- Average ETAF for Regular Landscape Areas must be below .55 for residential areas and .45 for non-residential areas.



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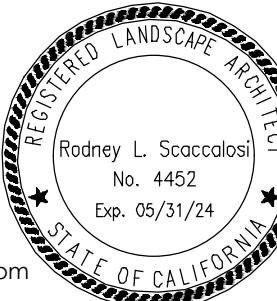
| | | |
|---|---------|---------------------|
| 1 | 7-31-23 | PLAN CHECK COMMENTS |
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rod@olivestreetlandscape.com















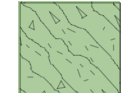
LANDSCAPE PLAN

DATE: MARCH 2023
TAIT JOB #: QQ0002

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PLANNING PACKAGE

L1

PLANT SCHEDULE

| TREES | QTY | BOTANICAL / COMMON NAME | CONT | WUCOLS |
|---|-----|--|---------|----------|
|  | 6 | Cercis canadensis texensis 'Oklahoma' / Oklahoma Texas Redbud | 15 gal. | Low |
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Rodney Deccaron 7-31-23

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| TOTALS | | | | | (A) 9,219 | (B) 3,544 | |

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Maximum Applied Water Allowance (MAWA). $MAWA = \frac{[Eto]}{[51.2]} \times \frac{[Conversion\ factor]}{[.62]} \times \frac{[ETAF](Landscape\ Area)}{[.45 \times 9,219]} + \frac{[(1-ETAF) \times SLA]}{[(1-.45) \times 0]} = 131,692 \text{ GALLONS}$

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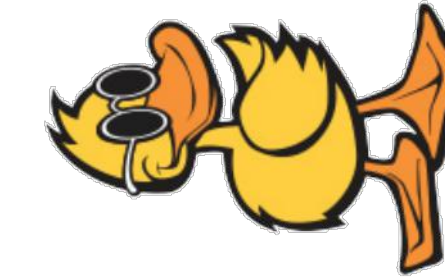
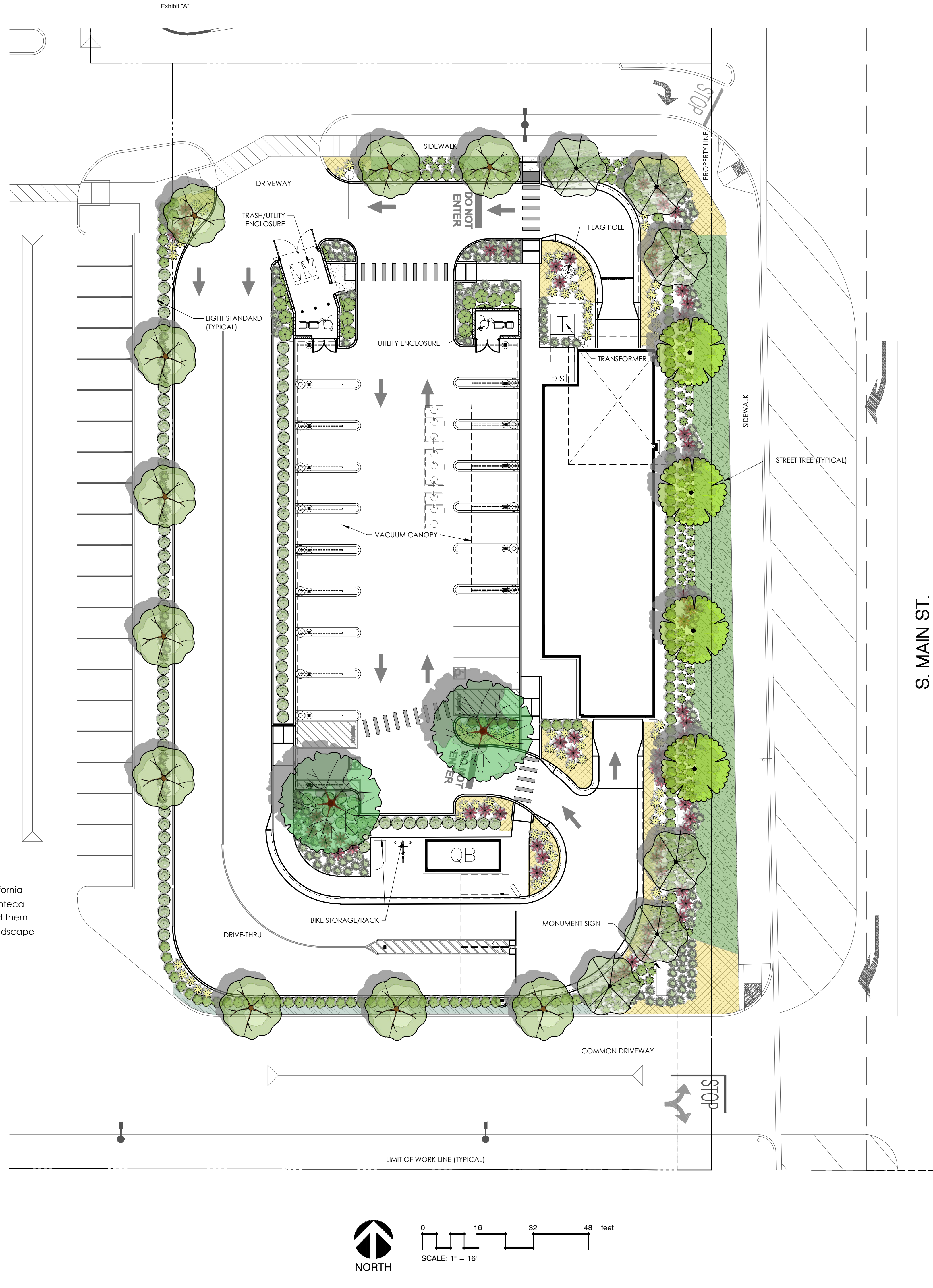
ETAF Calculations

Regular Landscape Areas

| | |
|-------------------|-------------|
| Total ETAF x Area | (B) 3,544 |
| Total Area | (A) 9,219 |
| Average ETAF | (B / A) .38 |

Note:

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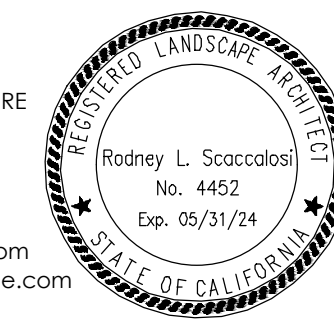
| # | DATE | DESCRIPTION |
|---|---------|---------------------|
| 1 | 7-31-23 | PLAN CHECK COMMENTS |



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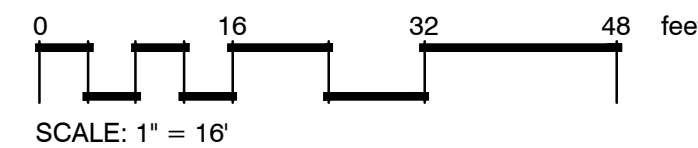


LANDSCAPE PLAN

DATE: MARCH 2023
TAIT JOB #: QQ0002

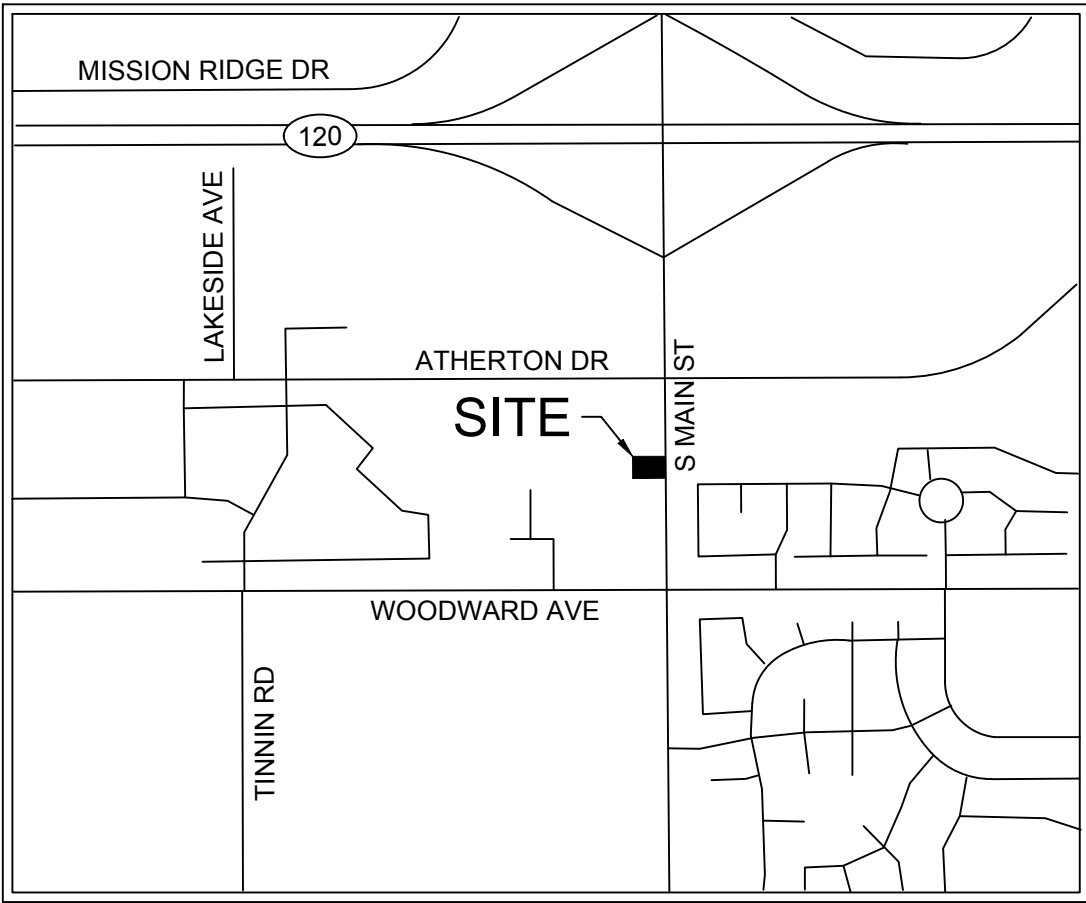
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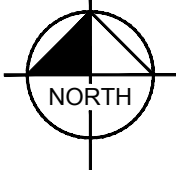
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Drawing name: K:\VBA_KIMLEY\Quick Quack\18077708 - Manteica Station and Main 34-138\GIS\Drawings\City\Eng Sheet Aug 30, 2023 2:56pm by Leticia Alvarez
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VICINITY MAP

N.T.S.



PROJECT TEAM

OWNER/DEVELOPER
EFFRAIN CORONA
QUICK QUACK CAR WASH
1380 LEAD HILL BLVD #260
ROSEVILLE, CA 95361
(916) 846-2100

CIVIL ENGINEER
LETICIA ALVAREZ, P.E.
KIMLEY-HORN AND ASSOCIATES, INC.
3801 UNIVERSITY AVE., SUITE 300
RIVERSIDE, CA 92501
(951) 543-9873
LETICIA.ALVAREZ@KIMLEY-HORN.COM

ARCHITECT
MELISSA WEAVER
TAIT ENGINEERING
707 N 27TH STREET
BOISE, ID 83702
(203)319-0768
MWEAVER@TAIT.COM

GEOTECHNICAL CONSULTANT
DAVID JAROSZ, II, PE
KRAZAN & ASSOCIATES, INC.
448 MITCHELL RD, STE C
MODESTO, CA 95354
(209)572-2200

SURVEYOR
SHANE BARBER
AMS ASSOCIATES INC.
801 YGANCIO VALLEY ROAD, SUITE
220
WALNUT CREEK, CA 94596
(925) 943-2777
SBARBER@BARBERSURVEYING.COM

GOVERNING AGENCY
CITY OF MANTECA
LEA SIMVOULAKIS - DEPUTY
DIRECTOR, PLANNING DEPT
1001 WEST CENTER STREET
MANTECA, CA 95337
(209) 456-8000

CITY OF MANTECA
BRADLEY WUNGLUCK - CHIEF
BUILDING OFFICIAL
1001 WEST CENTER STREET
MANTECA, CA 95337
(209) 456-8000

CITY OF MANTECA
KEVIN JORGENSEN II - ENGINEERING
DIRECTOR
1001 WEST CENTER STREET
MANTECA, CA 95337
(209) 456-8000

UTILITY CONTACTS

WATER
CITY OF MANTECA
1001 W CENTER ST
MANTECA, CA 95337
(209) 456-8400

ELECTRICITY
PACIFIC GAS AND ELECTRIC COMPANY
220 CHANNEL ST,
STOCKTON, CA 95202
(800) 468-4743

CABLE TV
SPECTRUM
2727 COUNTRYSIDE DR.
TURLOCK, CA 95380
(888) 406-7063

SEWER
CITY OF MANTECA
1001 W CENTER ST
MANTECA, CA 95337
(209) 456-8400

GAS
PACIFIC GAS AND ELECTRIC COMPANY
220 CHANNEL ST,
STOCKTON, CA 95202
(800) 468-4743

TELEPHONE
SPECTRUM
2727 COUNTRYSIDE DR.
TURLOCK, CA 95380
(888) 406-7063

ASSESSOR'S PARCEL NUMBERS

224-021-30 AND PORTION OF 224-021-47

BENCHMARK

CITY OF MANTECA BENCHMARK "96":
BRASS DISK SET IN TOP OF CURB EAST RETURN SOUTHEAST CORNER MAIN STREET AND WOODWARD AVENUE.

ELEVATION: 36.268 FEET

FEMA

- FLOOD ZONE DESIGNATION: X - MINIMAL FLOOD HAZARD
- FIRM PANEL NO. AND SUFFIX: 06077C0640F
- FIRM EFFECTIVE DATE: OCTOBER 16, 2009

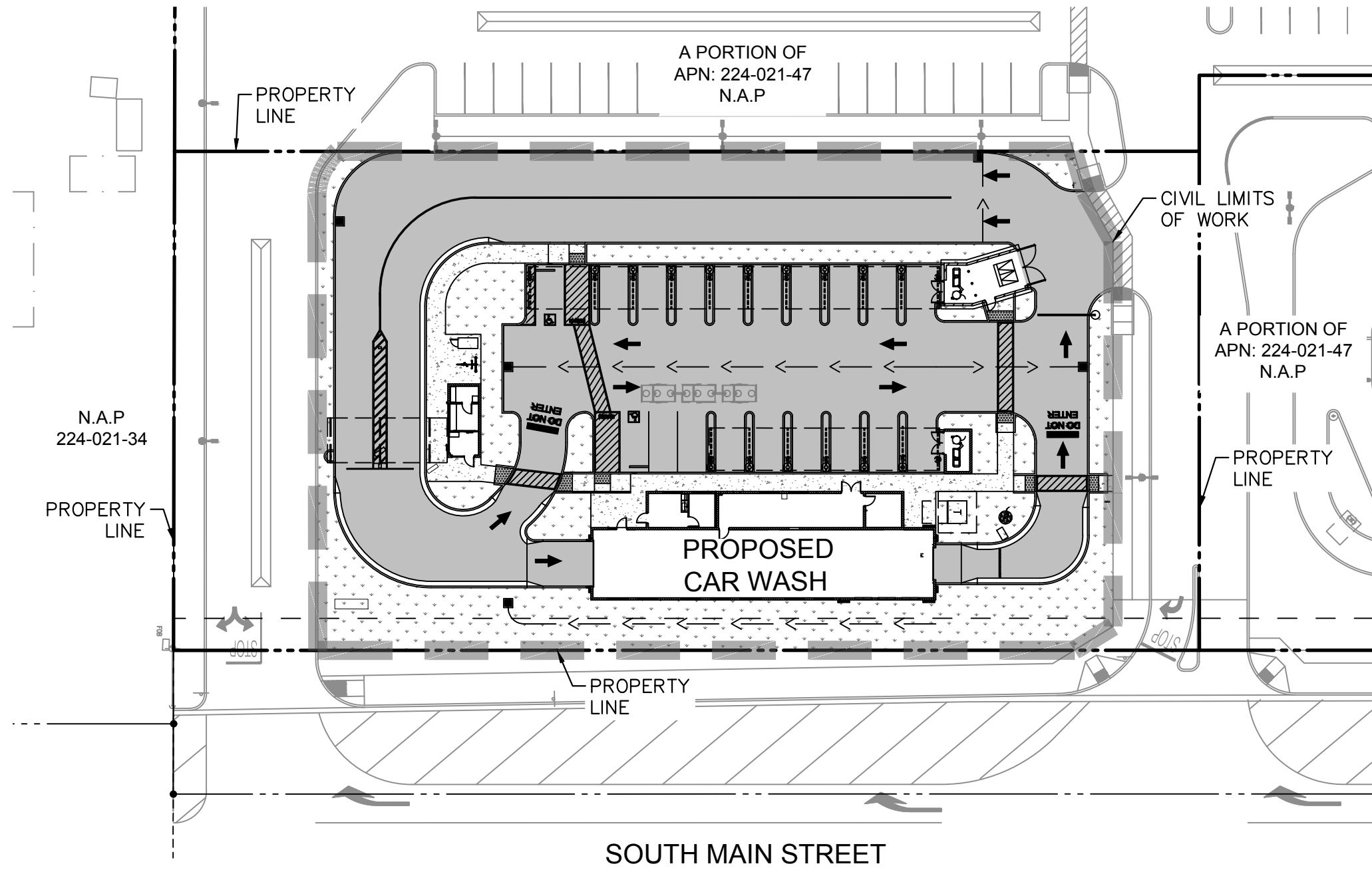
DUST CONTROL NOTE

IN ACCORDANCE WITH MANTECA CITY COUNCIL RESOLUTION R1999-138 DEVELOPERS/CONTRACTORS SHALL BEGIN APPLICATION OF WATER FOR DUST CONTROL PURPOSES UPON THEIR PROPERTY UNDER CONSTRUCTION WHEN THE AVERAGE SUSTAINED WIND SPEED IS SIX (6) MILES PER HOUR OR HIGHER. WATER SHALL BE CONTINUOUSLY APPLIED UNTIL THE WIND SPEED DROPS BELOW SIX (6) MPH OR NOTIFICATION TO CEASE IS RECEIVED FROM THE DIRECTOR OF ENGINEERING/CITY ENGINEER.

ENGINEERING WILL ISSUE A SIX (6) MPH WIND ADVISORY WARNING VIA EMAIL TO DEVELOPERS/CONTRACTORS THAT HAVE PROVIDED AN EMAIL ADDRESS TO THE CITY. DEVELOPERS/CONTRACTORS SHALL BEGIN APPLICATION OF WATER WITHIN ONE HOUR AFTER THE WIND ADVISORY WARNING IS ISSUED.

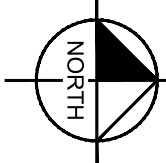
AS A MINIMUM, TO CONTROL DUST IN A PROACTIVE MANNER, DEVELOPERS/CONTRACTORS ARE REQUIRED TO HAVE ONE (1) 4,000 GALLON WATER TRUCK PER TEN (10) ACRES OF LAND BEING DEVELOPED, INCLUDING BUILDING PADS. DEVELOPERS SHOULD CONSIDER OF DUST PALLIATIVES OR PLANT GRASS UPON LAND UNDER DEVELOPMENT AS AN ADDITIONAL MEANS OF CONTROLLING DUST

CITY OF MANTECA ON-SITE IMPROVEMENT PLANS DEVELOPMENT SERVICES



SITE MAP

SCALE: 1"=40'



SOILS ENGINEER CERTIFICATION

THESE PLANS HAVE BEEN REVIEWED FROM A GEOTECHNICAL STANDPOINT ONLY. BASED UPON THAT REVIEW, IT APPEARS THE PLANS ARE IN GENERAL CONFORMANCE WITH THE RECOMMENDATION CONTAINED IN THE GEOTECHNICAL INVESTIGATION REPORT TITLED PROPOSED QUICK QUACK CAR WASH 24-138 ATHERTON AND MAIN MANTECA, CALIFORNIA PREPARED BY KRAZAN & ASSOCIATES, INC. PROJECT NUMBER 072-22092, DATED 02/27/2022.

I SHALL PROVIDE PROFESSIONAL INSPECTION AND APPROVAL CONCERNING THE PREPARATION OF GROUND TO RECEIVE FILLS, TESTING FOR REQUIRED COMPACTION STABILITY OF ALL FINISHED SLOPES AND INCORPORATING THE DATE SUPPLIED BY THE ENGINEERING GEOLOGIST AND THE PREPARATION OF THE SOILS GRADING REPORT.

SOILS ENGINEER OF RECORD: _____ DATE _____

ENGINEERING GEOLOGIST OF RECORD: _____ DATE _____

ESIMATED EARTHWORK QUANTITIES

PROJECT HAS NO EARTHWORK QUANTITIES AT THIS TIME. SELLER IS TO GRADE SITE WITHIN 0.1' OF FINISH GRADE. THERE IS MINOR REMEDIAL WORK FOR UTILITIES AND FOR INSTALLATION OF PROPOSED CLARIFIERS. SELLER WILL PROVIDE ALL UTILITIES STUBBED TO PROPOSED PROPERTY WITHIN 5' OF CONSTRUCTION AREA.

REFER TO MARKETPLACE @ MAIN IMPROVEMENT PLANS FOR ADDITIONAL INFORMATION.

NOTICE TO CONTRACTOR

IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CALL THE U.S.A. UNDERGROUND ALERT FOR LOCATION OF EXISTING UNDERGROUND UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. 1-800-422-4133. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY DAMAGE DONE TO EXISTING UTILITIES DURING CONSTRUCTION.

LEGEND

| | |
|----------------------------|-------------------------------------|
| --- | PROPERTY LINE |
| --- | CIVIL LIMITS OF WORK |
| --- | EASEMENT |
| SS | PROPOSED SANITARY SEWER PIPE |
| W | PROPOSED DOMESTIC WATER PIPE |
| SD | PROPOSED STORM DRAIN PIPE |
| + | POINT OF CONNECTION (@ BLDG) |
| + | POINT OF CONNECTION (TO EXISTING) |
| W | EXISTING DOMESTIC WATER PIPE |
| SS | EXISTING SANITARY SEWER PIPE |
| GB | GRADE BREAK LINE |
| R | RIDGE LINE |
| 715.50 TC 715.00 TP | PROPOSED SPOT ELEVATION |
| (715.50 TC) (715.00 TP) | EXISTING SPOT ELEVATION |
| 2.00% | PROPOSED FLOW (DIRECTION AND SLOPE) |
| --- | DIRECTION OF FLOW |

| | | |
|------------------------|---------------------|----------------|
| Standard Duty Concrete | HEAVY DUTY CONCRETE | LANDSCAPE AREA |
|------------------------|---------------------|----------------|

ABBREVIATIONS

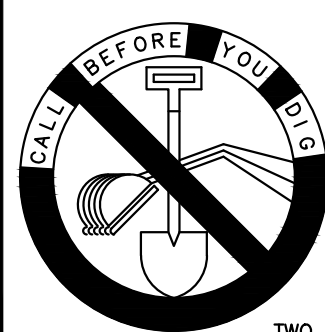
| | |
|------|-------------------------------------|
| APN | ASSESSOR'S PARCEL NUMBER |
| ARCH | ARCHITECT |
| BLDG | BUILDING |
| BR | BOTTOM OF RAMP |
| BW | BACK OF WALK |
| CMB | CLASS II CRUSHED MISCELLANEOUS BASE |
| CY | CUBIC YARD |
| EX | EXISTING |
| F | FIRE |
| FG | FINISH GROUND |
| FL | FLOW LINE |
| FS | FINISHED SURFACE |
| GB | GRADE BREAK |
| MH | MANHOLE |
| MIN | MINIMUM |
| NO | NUMBER |
| POC | POINT OF CONNECTION |
| POT | PATH OF TRAVEL |
| R | RIDGE |
| ROW | RIGHT-OF-WAY |
| S | SEWER |
| SD | STORM DRAIN |
| STD | STANDARD |
| TC | TOP OF CURB |
| TG | TOP OF GRATE |
| TP | TOP OF PAVEMENT |
| TR | TYPICAL |
| TYP | TYPICAL |
| W | WATER |

NOTE: ALL QUANTITIES SHOWN ON THIS PLAN SET ARE FOR ESTIMATE PURPOSES ONLY AND SHOULD BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

SHEET INDEX

| SHEET NUMBER | SHEET TITLE |
|--------------|---|
| 1 | COVER SHEET |
| 2 | PRIVATE ENGINEER'S GENERAL NOTES |
| 3 | PRIVATE ENGINEER'S GENERAL NOTES CONTINUATION |
| 4 | PRELIMINARY SITE PLAN |
| 5 | PRELIMINARY GRADING PLAN |
| 6 | PRELIMINARY UTILITY PLAN |
| 7 | CONSTRUCTION DETAILS |
| 8 | CONSTRUCTION DETAILS CONTINUATION |
| 9 | FIRE ACCESS PLAN |

Underground Service Alert



Call: TOLL FREE

1-800
422-4133

TWO WORKING DAYS BEFORE YOU DIG



Kimley»Horn

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3801 UNIVERSITY AVENUE, SUITE 300, RIVERSIDE, CA 92501
PHONE: 951-335-8272
WWW.KIMLEY-HORN.COM

LETICIA ALVAREZ
REGISTERED CIVIL ENGINEER 94675

| | | | | |
|---|--------------------|------|-------|---------|
| G1 | GRADING REVISION 1 | SMRA | SMRA | 10/1/20 |
| MARK | REVISIONS | BY | APPR. | DATE |
| BENCH MARK: CITY OF MANTECA BENCHMARK "96": BRASS DISK SET IN TOP OF CURB EAST RETURN SOUTHEAST CORNER MAIN STREET AND WOODWARD AVENUE. ELEVATION: 36.268 FEET | | | | |

| | |
|---|---------------------------|
| APPROVED BY: | CITY OF MANTECA |
| KEVIN JORGENSEN, P.E. DIRECTOR/CITY ENGINEER R.C.E. NO. 77243 | DATE EXP DATE 06-30-23 |
| DRAWN BY: | JY |
| CHECKED BY: | LA |
| RECOMMENDED BY: | LA |

CITY OF MANTECA
DEVELOPMENT SERVICES

QUICK QUACK CAR WASH #24-138
ATHERTON AND MAIN
COVER SHEET

DRAWING
NO.

1
OF 9 SHEETS

FOR CITY USE ONLY: FILE NO.

Drawing name: R:\QA\KIMLEY-HORN\Quack\156077058 - Riverside Alteration and Main 34-138\CD\PrivateNotes\Grading 1 Aug 30, 2023 2:56pm by Leticia Alvarez
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CITY OF MANTECA GENERAL NOTES

- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, ENGINEER AND THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNLESS OTHERWISE STATED, ALL STATIONS INDICATED ON THE IMPROVEMENT PLANS ARE REFERENCED TO THE CENTER LINE OF THE STREET. ALL STATIONS ON THE CURBS ARE PERPENDICULAR TO OR RADIALLY OPPOSITE CENTER LINE STATIONS, UNLESS OTHERWISE NOTED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING FACILITIES.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE CITY ENGINEER.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS , BARRICADES , FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY IN ACCORDANCE WITH THE CURRENT ISSUE OF "MANUAL OF TRAFFIC CONTROLS WARNING SIGNS, LIGHTS AND DEVICES FOR USE IN PERFORMANCE OF WORK UPON HIGHWAYS" PUBLISHED BY THE STATE OF CALIFORNIA BUSINESS AND TRANSPORTATION AGENCY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY MARKING THE INSTALLED LOCATION OF ALL SANITARY AND WATER SERVICES (STAMPED WITH AN "S" AND "W" RESPECTIVELY) AT THE TIME OF INSTALLATION. CONTRACTOR SHALL REMOVE ALL EXISTING BERMS, STRUCTURES AND BARRICADES, PAVING AND/OR OIL SCREENINGS WITHIN SPECIFIC AREAS INDICATED TO BE IMPROVED.
- THE OFFICE OF CITY ENGINEER SHALL BE NOTIFIED AT LEAST 24 HOURS IN ADVANCE OF ANY WORK.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MANTECA, DEPARTMENT OF PUBLIC WORKS STANDARD PLANS AND SPECIFICATIONS, AND THE LATEST EDITION OF THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS.
- P.G.&E. , TELEPHONE AND CABLE UNDERGROUND WORK SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF THE CURE, GUTTER, SIDEWALK AND PAVING.
- IF REQUIRED, THE CONTRACTOR SHALL DETERMINE THE PROPER WELL PLACEMENTS TO ADEQUATELY DEWATER THE AREA FOR TRENCHING.
- THE CITY OF MANTECA OR ASSOCIATED UTILITY COMPANY AND RESIDENCES TO BE AFFECTED SHALL BE NOTIFIED IMMEDIATELY UPON ANY UTILITY SERVICE DISRUPTION OTHER THAN SPECIFIED ON THESE IMPROVEMENT PLANS AND A 24 HOUR NOTICE SHALL BE GIVEN FOR ANY PLANNED DISRUPTION.
- DUST SHALL BE CONTROLLED AS PER SECTION 10 OF THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS AND THE CITY OF MANTECA'S SPECIFICATIONS.
- LOTS SHALL BE GRADED TO ESTABLISH IDENTICAL ELEVATIONS (MATCH GRADES) WITH ADJACENT LOTS AND SURROUNDING PROPERTY UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM THE CITY OF MANTECA, DEPARTMENT OF PUBLIC WORKS OR ANY OTHER APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF WORK WITHIN EXISTING CITY RIGHT-OF-WAY.
- STREET SIGNS, TRAFFIC CONTROL SIGNS, AND PAVEMENT MARKINGS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR AT LOCATIONS ESTABLISHED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL SECURE A TRENCH PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO EXCAVATION OF ANY TRENCH OVER FIVE FEET IN DEPTH.
- ASPHALT CONCRETE SHALL BE PLACED ONLY WHEN THE ATMOSPHERIC TEMPERATURE ABOVE 50°F.
- ALL STREET LIGHTING SHALL BE CONSTRUCTED BY AND AT A COST TO THE DEVELOPER SUCH THAT OWNERSHIP OF THE STREET LIGHTS ARE TO BE PROVIDED TO THE CITY (LS-2C SCHEDULE).
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES AND SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES PRIOR TO COMMENCEMENT OF WORK. HE SHALL BE RESPONSIBLE FOR LOCATION AND PRESERVATION OF ALL SUCH FACILITIES IN THE AREA OF CONSTRUCTION AND SHALL NOTIFY UTILITIES FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE REMOVAL OR RELOCATION OF ALL EXISTING UTILITIES WITH RESPECTIVE UTILITY COMPANIES.
- THE CONTRACTOR IS TO PROVIDE COMPACTED BUILDING PADS AT THE ELEVATIONS SHOWN ON THE GRADING PLAN.
- ALL SERVICE LATERALS SHALL BE EXTENDED PAST THE PROPERTY LINE AND PLUGGED.
- MANHOLE CASTINGS AND COVERS SHALL BE ADJUSTED TO FINAL GRADES BY THE PAVING CONTRACTOR AFTER STREET IMPROVEMENTS ARE COMPLETED.
- ALL WATER LINES SHALL BE TESTED AND DISINFECTED IN COMPLIANCE WITH THE REQUIREMENTS OF THE CITY OF MANTECA'S STANDARD PLANS AND SPECIFICATIONS, PRIOR TO FINAL ACCEPTANCE.
- AFTER CONSTRUCTION OF ALL IMPROVEMENTS, THE ENGINEER SHALL SUBMIT ONE SET OF REPRODUCIBLE "AS BUILT" PLANS. FINAL INVERT ELEVATIONS FOR SEWER AND STORM DRAIN LINES THAT ARE TO BE EXTENDED FOR FUTURE CONSTRUCTION SHALL ALSO BE SHOWN ON THE "AS BUILT" PLANS.
- ALL TRENCHES ON MAJOR AND COLLECTOR STREETS AND CROSS TRENCHES ON ALL STREETS SHALL BE PAVED WITH TEMPORARY PAVING THE SAME DAY THE PAVEMENT CUT IS MADE.
- CONTRACTOR SHALL PROVIDE CITY WITH A CERTIFICATE SIGNED BY A REGISTERED CIVIL ENGINEER STATING THAT ALL BUILDING PAD ELEVATIONS ARE IN CONFORMANCE WITH APPROVED GRADING PLAN.

DESIGN ENGINEER'S NOTES

- THE TERM 'DESIGN ENGINEER' USED HEREIN SHALL MEAN THE ENGINEER WHO HAS SIGNED AND SEALED THESE PLANS AND IS IN RESPONSIBLE CHARGE OF THE ENGINEERING DESIGN. THE TERM "CONTRACTOR" USED HEREIN SHALL MEAN ANY GENERAL CONTRACTOR OR SUBCONTRACTOR USING THESE PLANS. ANY AGENCY SIGNATURE OR APPROVAL ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE NOTES.
- THE DESIGN ENGINEER WILL NOT PROVIDE, OBSERVE, COMMENT ON NOR ENFORCE ANY SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY MEASURES AND SHALL BE SOLELY RESPONSIBLE FOR SAME AND COMPLYING WITH ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS. THE CONTRACTOR AGREES THAT SHE/HIS SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE DESIGN ENGINEER SHALL HAVE NO RESPONSIBILITY FOR ANY OF THE CONTRACTOR'S MEANS AND METHODS OF CONSTRUCTION, TECHNIQUES, EQUIPMENT CHOICE AND USAGE, SEQUENCE, SCHEDULE, SAFETY PROGRAMS, OR SAFETY PRACTICES, NOR SHALL THE DESIGN ENGINEER HAVE ANY AUTHORITY OR RESPONSIBILITY TO STOP OR DIRECT THE WORK OF ANY CONTRACTOR.
- THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE DESIGN ENGINEER AND OWNER, THEIR AGENTS AND EMPLOYEES, HARMLESS FROM ANY AND ALL CLAIMS, DEMANDS, JUDGMENTS, LOSS, DAMAGES, COSTS, EXPENSES, FEES OR LIABILITY WHATSOEVER, REAL OR ALLEGED, IN CONNECTION WITH, IN WHOLE OR IN PART, DIRECTLY OR INDIRECTLY, THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE DESIGN ENGINEER.
- IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS, THE CONTRACTOR SHALL REQUEST IN WRITING FROM THE DESIGN ENGINEER AND THE OWNER, AN INTERPRETATION BEFORE DOING ANY RELATED OR IMPACTED WORK.
- THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO PROTECT THE PROPERTY FROM ANY EROSION AND SILTATION THAT RESULT FROM CONTRACTOR OPERATIONS BY APPROPRIATE MEANS UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND ACCEPTED FOR MAINTENANCE BY WHOMEVER IS TO BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO STARTING WORK NEAR THEIR FACILITIES AND SHALL COORDINATE WORK WITH UTILITY COMPANY REPRESENTATIVES.
- THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF READILY AVAILABLE RECORDS. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS. ALL DAMAGES THERETO CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE APPROPRIATE SPECIFICATIONS AND STANDARDS AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE LOCATION, ELEVATIONS, SIZE, TYPE AND CONDITION OF EXISTING IMPROVEMENTS ADJACENT TO THE PROPOSED WORK INDICATED ON THESE PLANS SHALL BE CONFIRMED BY THE CONTRACTOR BY FIELD MEASUREMENTS AND OBSERVATIONS PRIOR TO CONSTRUCTION OF NEW WORK. THE CONTRACTOR WILL IMMEDIATELY INFORM THE DESIGN ENGINEER IN WRITING IF ANY DISCREPANCIES OR CONFLICTING INFORMATION IS FOUND.
- THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES AS NEEDED, SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY DUE TO THE ACTUAL LOCATION, SIZE, TYPE, OR CONDITION OF EXISTING FACILITIES DIFFERING FROM WHAT IS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY DAMAGE TO THE EXISTING IMPROVEMENTS AND REPLACEMENT TO THE SATISFACTION OF THE OWNER.
- SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IN WRITING IMMEDIATELY BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- ANYTHING MENTIONED IN THE SPECIFICATIONS, IF ANY, AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, SHALL BE OF LIKE EFFECT AS IF SHOWN OR MENTIONED IN BOTH.

PRIVATE ENGINEER'S CIVIL CONSTRUCTION NOTES

- STANDARDS AND PLANS:
ALL CONSTRUCTION AND PLANS SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE COUNTY OF RIVERSIDE, STANDARD SPECIFICATIONS AND DETAILS, WITH THESE PLANS, THE PROJECT SPECIFICATIONS, AND UNLESS SHOWN OR SPECIFIED OTHERWISE, WITH THE LATEST EDITIONS OF THE STATE (CALTRANS) STANDARD SPECIFICATIONS AND STANDARD PLANS, SIGN SPECIFICATION SHEETS AND TRAFFIC MANUAL.
IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION OR CORRECTION THEREOF SHALL BE CONCLUSIVE.
WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- EXISTING UTILITIES AND COORDINATION OF WORK:
THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. KIMLEY-HORN AND ASSOCIATES, INC., HEREINAFTER DESIGNATED AS THE ENGINEER, ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH ARE NOT SHOWN ON THESE DRAWINGS.
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THE LOCATIONS OF THEIR UNDERGROUND FACILITIES. THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR OF THE SCHEDULED TIME AND PLACE OF SUCH VISUAL VERIFICATION TO ENABLE SAID FIRM TO HAVE A REPRESENTATIVE PRESENT.
THE CITY IS A MEMBER OF THE UNDERGROUND SERVICE ALERT (U.S.A.) ONE-CALL PROGRAM. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT SHALL NOTIFY MEMBERS OF U.S.A. 48 HOURS IN ADVANCE OF PERFORMING EXCAVATION WORK BY CALLING THE TOLL-FREE NUMBER 800-642-2444.
- CONFLICTS:
THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PERFORMING ANY CORRECTIVE ACTION REQUIRED DUE TO UNFORESEEN CONFLICTS IN THE IMPROVEMENT PLANS OR DUE TO POSSIBLE STAKING ERRORS. THE ENGINEER ASSUMES NO LIABILITY FOR THE COST OR DESIGN OF ANY MODIFICATION PERFORMED WITHOUT SUCH NOTIFICATION, AND ALSO ASSUMES NO LIABILITY FOR STAKING PROVIDED BY OTHERS.
- CONTROL POINTS AND SURVEY MONUMENTS:
CERTAIN CONTROL POINTS WILL BE SET BY THE OWNER'S SURVEYOR, OR ITS REPRESENTATIVE, WHICH ARE CRITICAL TO THE CONSTRUCTION STAKING OF THE PROJECT. THESE POINTS WILL BE DESIGNATED AT A PRE-CONSTRUCTION CONFERENCE BETWEEN REPRESENTATIVES OF THE ENGINEER AND THE CONTRACTOR. THE CONTROL POINTS WILL BE CLEARLY MARKED ON THE JOB SITE. THE CONSTRUCTION SHALL NOT DISTURB THE CONTROL POINTS IN ANY MANNER. IF IT BECOMES NECESSARY TO REMOVE SAID CONTROL POINTS DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS IN ADVANCE OF SAID REMOVAL TO ALLOW FOR REFERENCING SAID CONTROL POINTS AND THEIR EVENTUAL REPLACEMENT. IF CONTROL POINTS ARE REMOVED OR DESTROYED WITHOUT SAID NOTIFICATION, THE COST OF REPLACEMENT SHALL BE DEDUCTED FROM THE CONTRACTOR'S PAYMENT, AND PAYMENT SHALL BE MADE BY OWNER TO THE ENGINEER.
- OBSTRUCTIONS:
THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS, BOTH ABOVE GROUND AND UNDERGROUND, EXCEPT AS NOTED IN ITEM 2 ABOVE, AS NECESSARY FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENT.
ALL UNSUITABLE AND SURPLUS MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE UNLESS SPECIFIED OTHERWISE.
TREE AND STUMP REMOVAL SHALL INCLUDE REMOVAL OF THE MAJOR ROOT SYSTEM TO THE SATISFACTION OF THE CITY ENGINEER. SUCH REMOVAL SHALL BE PERFORMED WITHOUT DAMAGE TO ADJACENT TREES THAT ARE TO BE PRESERVED. STUMP REMOVAL WITH THE DRIP LINE OF A TREE TO BE PRESERVED SHALL BE BY GRINDING METHOD TO A DEPTH OF 0.5 FEET BELOW ADJACENT GRADE.
ALL WELLS AND SEPTIC SYSTEMS FOUND ON THE SITE SHALL BE ABANDONED IN ACCORDANCE WITH COUNTY HEALTH DEPARTMENT STANDARDS.
- PUBLIC SAFETY AND TRAFFIC CONTROL:
CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND CONTROL OF TRAFFIC WITHIN AND AROUND THE CONSTRUCTION ARE INCLUDING WORK IN PUBLIC RIGHT-OF-WAY. FOR ALL TRENCH EXCAVATIONS 5 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF INDUSTRIAL SAFETY, PRIOR TO BEGINNING ANY EXCAVATION.
PUBLIC SAFETY AND TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE CALTRANS TRAFFIC MANUAL (SEE CHAPTER 5: MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES). SAFE VEHICULAR AND PEDESTRIAN ACCESS SHALL BE PROVIDED AT ALL TIMES DURING CONSTRUCTION.
CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONALS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- ENCROACHMENT PERMITS:
UNLESS SPECIFIED OTHERWISE, THE CONTRACTOR SHALL OBTAIN THE NECESSARY ENCROACHMENT PERMITS FROM THE CITY, COUNTY, CALTRANS AND ALL OTHER AGENCIES HAVING JURISDICTION PRIOR TO COMMENCING ANY WORK. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO THE INTENT TO COMMENCE WORK.
- EARTHWORK:
A. ALL EARTHWORK ACTIVITIES, INCLUDING EXCAVATION, GRADING, SCARIFYING, MOISTURIZING, FILL PLACEMENT, COMPACTION, LINE TREATMENT, ETC., SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS PER THE GEOTECHNICAL INVESTIGATION REPORT TITLED PROPOSED QUICK QUACK CAR WASH 24-138 W. ATHERTON DR. AND S. MAIN ST., MANTECA, CALIFORNIA PREPARED BY KRAZAN & ASSOCIATES, INC. PROJECT NUMBER 072-22092, DATED FEBRUARY 27, 2022, AND ALL ADDENDUMS, AND IN CONFORMANCE WITH THE CITY STANDARD SPECIFICATIONS AND WITH THE GRADING PLAN.
B. THE GEOTECHNICAL ENGINEER SHALL OBSERVE THE GRADING ACTIVITIES AND PERFORM COMPACTION TESTING FOR THIS PROJECT. THE CONTRACTOR SHALL PROVIDE AT LEAST 24 HOURS NOTICE TO THE GEOTECHNICAL ENGINEER OF THE NEED FOR OBSERVATION AND TESTING SERVICES.
C. EARTHWORK SHALL INCLUDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CONSTRUCT THE SITE TO THE GRADES SHOWN. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR THE DISPOSAL OF EXCESS EXCAVATED MATERIAL OR FOR THE IMPORT OF MATERIAL. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ADVANCE OF ANY CHANGES HE MAY DEEM NECESSARY TO OBTAIN BALANCED CUT-FILL DEDRAGING.
D. ALL CUT SLOPES SHALL BE ROUNDED AT THE 'BREAK' SO THAT THEY BLEND WITH THE NATURAL GROUND CONTOUR.
E. THE CONTRACTOR SHALL UTILIZE DUST CONTROL STANDARDS CONSISTENT WITH COUNTY OF MANTECA STANDARDS.
F. EXCAVATION AND EMBANKMENT SIDE SLOPES SHOWN ON THE PLANS AS A RATIO, E.G. 4:1, REFER TO THE RATION OF HORIZONTAL TO VERTICAL DISTANCES. MINIMUM SLOPE MEANS 'NOT FLATTER THAN'; AND 'MAXIMUM' SLOPE MEANS 'NOT STEEPER THAN'. ALL EMBANKMENT AND EXCAVATION SLOPES SHALL BE 4:1 UNLESS NOTED OTHERWISE.
G. TO ACCOMMODATE TRENCH SPOIL, THE CONTRACTOR'S GRADING SHALL INCLUDE UNDERCUTTING OF STREETS AS APPROPRIATE, OR SOME OTHER METHOD APPROVED BY THE CITY.
H. ALLOWABLE GRADING TOLERANCE IS PLUS OR MINUS 0.10 FOOT OF THE ELEVATIONS SHOWN HEREON.
I. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING PROJECT CONSTRUCTION. COMPLY WITH EROSION AND SEDIMENTATION CONTROL PLAN. IF GRADING AND DRAINAGE CONSTRUCTION IS NOT COMPLETE PRIOR TO RAINY SEASON, THEN THE CONTRACTOR SHALL:
I.A. PROVIDE EROSION PROTECTION ON SLOPES THAT ARE 10:1 OR STEEPER AND IN SWALES THAT ARE 2% OR STEEPER.
I.B. GRADE GUTTER SAG POINTS TO DRAIN.
I.C. PROVIDE SILT CATCHMENTS TO PREVENT SEDIMENTATION IN EXISTING STORM DRAIN SYSTEMS.
I.D. CLEAN DOWNSTREAM PIPES AS DIRECTED BY THE CITY ENGINEER.
I.E. CLEAN AND MAINTAIN ALL STREETS AND SIDEWALKS AS DIRECTED BY THE CITY ENGINEER.
J. THE TOP 6 INCHES (MINIMUM) OF ALL LANDSCAPED AREAS SHALL BE CLEAN SOIL.
K. EXISTING ASPHALT PAVEMENT MAY BE USED AS FILL MATERIAL ONLY AS SPECIFIED BY THE GEOTECHNICAL ENGINEER OF RECORD. ALL DELETERIOUS MATERIAL AND REBAR MUST BE REMOVED. AC PLACEMENT INFILL CAN ONLY BE PLACED UNDERNEATH PARKING AREAS AND CANNOT BE PLACED UNDERNEATH OR DOWNSTREAM OF INFILTRATION BASIN.
- PIPELINES:
ANY EXISTING UTILITY, WHICH IS TO BE EXTENDED, WHICH IS THE CONNECTION POINT FOR NEW UNDERGROUND UTILITIES, OR WHICH NEW FACILITIES CROSS, SHALL BE EXPOSED BY THE CONTRACTOR PRIOR TO PLACEMENT OF THE NEW UTILITIES. COST OF SUCH EXCAVATION AND SUBSEQUENT BACKFILL SHALL BE INCLUDED IN THE PRICES PAID FOR THE VARIOUS ITEMS OF WORK. THE ELEVATIONS AND LOCATIONS OF THE EXISTING FACILITIES WILL BE CHECKED BY THE PUBLIC WORKS INSPECTOR AND THE ENGINEER. IF IN THE OPINION OF THE INSPECTOR A CONFLICT EXISTS, THEN THE ENGINEER SHALL MAKE ANY NEEDED GRADE AND/OR ALIGNMENT ADJUSTMENTS AND REVISE THE PLANS ACCORDINGLY. ALL GRAVITY FLOW PIPELINES TO BE LAID UPWARD FROM THE LOWEST POINT STARTING AT THE END OF EXISTING IMPROVEMENTS.
THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS.
- ADJUSTING MANHOLES, VALVE AND MONUMENT BOXES:
THE CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT TO GRADE, ALL EXISTING UTILITY STRUCTURES, INCLUDING MANHOLES AND VALVE BOXES AND MONUMENT BOXES, WITHIN THE WORK AREA UNLESS NOTED OTHERWISE.
- SANITARY SEWER SYSTEM:
A. SEWER PIPE SHALL BE PVC GRAVITY SEWER PIPE (VOP WITHIN PUBLIC RIGHT-OF-WAY), AND FITTINGS INSTALLED IN ACCORDANCE WITH THESE PLANS AND THE MANUFACTURER'S RECOMMENDATIONS.
B. MAINS SHALL BE BALLED AND FLUSHED PER CITY STANDARDS. PRIOR TO STARTING THE CLEANING OPERATION, A FINE MESH WIRE SCREEN SHALL BE PLACED AT THE EXTREME DOWNSTREAM MANHOLE TO PREVENT DEBRIS FROM ENTERING THE EXISTING CITY SEWER SYSTEM.
C. TRENCH EXCAVATION, BEDDING AND BACKFILL SHALL COMPLY WITH CITY STANDARDS AND PROJECT GEOTECHNICAL REPORT.
D. PIPES WITH LESS THAN MINIMUM 10' HORIZONTAL SEPARATION FROM WATER SHALL BE SDR-35 WITH GASKET JOINTS PER ASTM D3034.

PRIVATE ENGINEER'S CIVIL CONSTRUCTION NOTES (CONT.)


- STORM DRAIN SYSTEM:
H. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING AND ACCEPTED BY THE CITY.
I. STORM DRAIN PIPE SHALL BE HDPE, UNLESS OTHERWISE SHOWN ON PLAN, AND FITTINGS INSTALLED IN ACCORDANCE WITH THESE PLANS AND THE MANUFACTURER'S RECOMMENDATIONS.
J. EACH STUB END PIPE SHALL BE PLUGGED WITH A PREFABRICATED, WATERTIGHT PLUG.
K. TRENCH EXCAVATION, BEDDING AND BACKFILL SHALL COMPLY WITH CITY STANDARDS AND PROJECT GEOTECHNICAL REPORT.
- WATER SYSTEMS:
WATER LINE INSTALLATION SHALL ACCOMMODATE GRAVITY FLOW PIPELINES INCLUDING SEWER SERVICES AND SHALL MAINTAIN A MINIMUM COVER OF 3.5 FEET FROM FINISHED GRADE IN ALL STREET SECTIONS AND 3 FEET IN ALL OTHER AREAS.
SHOULD WATER LINE JOINT DEFLECTION EXCEED MANUFACTURER'S SPECIFICATIONS THE JOINT SHALL BE RESTRAINED WITH THRUST BLOCKS OR RESTRAINING JOINTS; METHOD SUBJECT TO CITY ENGINEER APPROVAL.
BACKFLOW PREVENTION DEVICES FOR EACH LANDSCAPE IRRIGATION WATER SERVICE WILL BE INSTALLED BY THE LANDSCAPE IRRIGATION CONTRACTOR.
WATER PIPELINES AND FITTINGS SHALL BE EITHER PVC OR DIP:
A. 4 THROUGH 12 INCH PVC PIPE SHALL BE IN CONFORMANCE WITH PIPE MANUFACTURE'S RECOMMENDATIONS, AND SHALL CONFORM TO AWWA C900. PIPE OD SHALL BE OIP EQUIVALENT, 20 FOOT MINIMUM STANDARD PIPE LENGTHS.
PVC SHALL HAVE INTEGRAL WALL-THICKENED BELL ENDS DESIGNED FOR JOINT ASSEMBLY USING ELASTOMETRIC-GASKET SEALS. THE MINIMUM WALL THICKNESS OF THE INTEGRAL WALL-THICKENED BELL, AT ANY POINT BETWEEN THE RING GROOVE AND THE PIPE BARREL, SHALL CONFORM WITH DR REQUIREMENTS FOR THE PIPE BARREL, THE MINIMUM WALL THICKNESS IN THE RING-GROOVE AND BELL-ENTRY SECTIONS SHALL EQUAL OR EXCEED THE MINIMUM WALL THICKNESS OF THE PIPE BARREL. THE ELASTOMETRIC-GASKET SEALS SHALL CONFORM TO ASTM F477, OR PIPE MANUFACTURER'S RECOMMENDATIONS.
THE PIPE SHALL HAVE A PIPE STOP INDICATED ON THE BARREL THAT WILL ACCURATELY POSITION THE PIPE END WITH THE JOINT. THE PIPE IN PLACE SHALL PERMIT THERMAL EXPANSION AND CONTRACTION OF THE PIPE ENDS.
FITTINGS FOR PVC SHALL BE THOSE SPECIFIED BY THE PIPE MANUFACTURER. ALL PRESSURE PIPE FITTINGS FOR 12 INCH DIAMETER AND SMALLER PVC SHALL BE DUCTILE IRON COMPACT FITTINGS CONFORMING TO AWWA C153 CLASS 350 AND AWWA C104.
B. 4 THROUGH 12 INCH DIP SHALL CONFORM TO AWWA C151; 200 PSI MINIMUM WORKING PRESSURE UNLESS NOTED OTHERWISE. MINIMUM THICKNESS CLASS 4 INCH - CLASS 51; 6 THROUGH 12 INCH - CLASS 50.
DIP LAYING LENGTH SHALL BE THE MANUFACTURE'S STANDARD LENGTH, NORMALLY 18 FEET. SHORTER LENGTHS MAY BE USED WHEN REQUIRED FOR CLOSURES AND PROPER LOCATION OF SPECIAL SECTIONS.
THE INTERIOR SURFACE OF ALL DIP SHALL BE CEMENT-MORTAR LINED AND SEAL COATED IN CONFORMANCE WITH AWWA C104 AND THE EXTERIOR SURFACE SHALL HAVE A BITUMINOUS COATING OF EITHER COAL TAR OF ASPHALT BASE, APPROXIMATELY 1 ML THICK.
DIP FITTINGS SHALL BE PUSH-ON, MECHANICAL, OR FLANGED-TYPE DUCTILE IRON AND SHALL CONFORM TO AWWA C110 OR AWWA C153. COATING AND LINING REQUIREMENTS SHALL BE THE SAME AS SPECIFIED FOR DIP. JOINTS SHALL BE PUSH-ON OR MECHANICAL TYPE AND SHALL CONFORM TO AWWA C111 WITH RUBBER GASKETS UNLESS OTHERWISE SPECIFIED.
- PRESERVATION OF PROPERTY:
TREES AND SHRUBBERY THAT ARE NOT TO BE REMOVED, AND POLE LINES, FENCES, SIGNS, SURVEY MARKERS AND MONUMENTS, BUILDINGS AND STRUCTURES, CONDUITS, PIPELINES, ALL STREET FACILITIES, AND ANY OTHER IMPROVEMENTS OR FACILITIES WITHIN OR ADJACENT TO THE STREET OR CONSTRUCTION AREA SHALL BE PROTECTED FROM INJURY OR DAMAGE, AND UPON ORDER BY THE CITY ENGINEER, THE CONTRACTOR SHALL PROVIDE AND INSTALL SAFE-GUARDS APPROVED BY THE CITY ENGINEER TO PROTECT SUCH OBJECTS FROM INJURY OR DAMAGE. IF SUCH OBJECTS ARE INJURED OR DAMAGED BY REASON OF THE CONTRACTOR'S OPERATIONS, THEY SHALL BE REPLACED OR RESTORED AT THE CONTRACTOR'S EXPENSE. THE FACILITIES SHALL BE REPLACED OR RESTORED TO A CONDITION AS GOOD AS WHEN THE CONTRACTOR ENTERED UPON THE WORK, OR AS GOOD AS REQUIRED BY THE SPECIFICATION ACCOMPANYING THE CONTRACT, IF ANY SUCH OBJECTS ARE A PART OF THE WORK BEING PERFORMED UNDER CONTRACT. THE CITY ENGINEER MAY MAKE OR CAUSE TO BE MADE SUCH TEMPORARY REPAIRS AS ARE NECESSARY TO RESTORE TO SERVICE ANY DAMAGED FACILITY. THE COST OF SUCH REPAIRS SHALL BE BORNE BY THE CONTRACTOR.
- DEMOLITION:
EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA ARE INTENDED TO BE SHOWN AND SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO COMMENCING CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES AND FIELD VERIFY ALL UNDERGROUND UTILITIES.
DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

DRAINAGE, EROSION, AND DUST CONTROL NOTES

- DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. EROSION OF THE GROUND IN THE AREA OF DISCHARGE SHALL BE PREVENTED BY INSTALLATION OF NON-EROSIVE DRAIN OR OTHER DEVICES.
- PROVIDE A PAVED SLOPE INTERCEPTOR DOWN ALONG THE TOP OF CUT SLOPES WHERE THE DRAINAGE PATH IS GREATER THAN 40 FEET TOWARDS THE CUT SLOPE.
- PROVIDE 5' WIDE BY 1' HIGH BERM ALONG THE TOP OF ALL FILL SLOPES STEEPER THAN 3:1 (HORIZONTAL TO VERTICAL).
- THE GROUND SURFACE IMMEDIATELY ADJACENT TO THE BUILDING FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE FOUNDATION.
- NO OBSTRUCTION OF NATURAL WATER COURSES SHALL BE PERMITTED.
- DURING ROUGH GRADING OPERATIONS AND PRIOR TO CONSTRUCTION OF PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL (BEST MANAGEMENT PRACTICES, BMPs) SHALL BE PROVIDED TO PREVENT PONDING WATER AND DRAINAGE TO ADJACENT PROPERTIES.
- FUGITIVE DUST CONTROL: CONSTRUCTION SITES SUBJECT TO PM10 FUGITIVE DUST MITIGATION SHALL COMPLY WITH AQMD RULE 403.1.
- ALL EXISTING DRAINAGE COURSES AND STORM DRAIN FACILITIES ON THE PROJECT SITE SHALL CONTINUE TO FUNCTION. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING OPERATIONS.
- FOR ALL SLOPES STEEPER THAN 3 TO 1 (H/V): ALL SLOPES EQUAL TO OR GREATER THAN 3' IN VERTICAL HEIGHT ARE REQUIRED TO BE PLANTED WITH AN APPROVED DROUGHT-TOLERANT GROUND COVER AT A MINIMUM SPACING OF 12' ON CENTER OR AS APPROVED BY THE ENGINEER OF RECORD OR THE REGISTERED LANDSCAPE ARCHITECT. SLOPES EXCEEDING 15' IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED SHRUBS NOT TO EXCEED 10' ON CENTER, OR TREES SPACED NOT TO EXCEED 20' ON CENTER, OR A COMBINATION OF SHRUBS AND TREES NOT TO EXCEED 15' IN ADDITION TO THE GRASS OR GROUND COVER. SLOPES THAT REQUIRE PLANTING SHALL BE PROVIDED WITH AN IN-GROUND IRRIGATION SYSTEM EQUIPPED WITH AN APPROPRIATE BACKFLOW DEVICE PER U.P.C. CHAPTER 10. THE SLOPE PLANTING AND IRRIGATION SYSTEM SHALL BE INSTALLED AS SOON AS POSSIBLE UPON COMPLETION OF ROUGH GRADING. ALL PERMANENT SLOPE PLANTING SHALL BE ESTABLISHED AND IN GOOD CONDITION PRIOR TO SCHEDULING FINAL PRESSURE GRADE INSPECTION.

PRIVATE ENGINEER'S CIVIL UTILITY NOTES

- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITIES AUTHORITY INSPECTOR 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING WATER MAINS, FORCE MAINS, SANITARY SEWER AND STORM MAIN AND MAINTAIN MINIMUM CLEARANCES BETWEEN WATER MAINS AND OTHER UTILITIES AT ALL POINTS ALONG THEIR LENGTH AS REQUIRED IN THE PLANS, DETAILS AND SPECIFICATIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARD TO MATERIALS AND INSTALLATION OF WATER AND SEWER LINES.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- WATER FOR FIREFIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE. ALL ONSITE FIRE HYDRANTS WILL BE OPERATIONAL PRIOR TO COMBUSTIBLES BEING DELIVERED TO THE SITE.
- ALL MANHOLE TOP ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL SET MANHOLE TOPS LEVEL WITH FINISH GRADES IN PAVED AND UNPAVED AREAS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, BUILDING UTILITY ENTRANCE LOCATIONS/INVERTS, EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, TRUCK DOCKS, DOWNSPOUTS AND BOLLARDS.
- TRACER WIRE SHALL BE INSTALLED ON ALL WATER, SEWER AND RECLAIMED WATER MAINS. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING THE CONTINUITY OF THE WIRE.




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LETICIA ALVAREZ
REGISTERED CIVIL ENGINEER 94675

| | | | | |
|---|--------------------|------|-------|---------|
| G1 | GRADING REVISION 1 | SMRA | SMRA | 10/1/20 |
| MARK | REVISIONS | BY | APPR. | DATE |
| BENCH MARK: CITY OF MANTECA BENCHMARK "96", BRASS DISK SET IN TOP OF CURB EAST RETURN SOUTHEAST CORNER MAIN STREET AND WOODWARD AVENUE. | | | | |
| ELEVATION: 36.268 FEET | | | | |

APPROVED BY: CITY OF MANTECA

DATE

KEVIN JORGENSEN, P.E.
DIRECTOR/CITY ENGINEER
R.C.E. NO. 77243

EXP DATE 06-30-23

DRAWN BY: JY

CHECKED BY: LA

RECOMMENDED BY: LA

CITY OF MANTECA

DEVELOPMENT SERVICES

QUICK QUACK CAR WASH #24-138
ATHERTON AND MAIN

PRIVATE GENERAL NOTES

FOR CITY USE ONLY: FILE NO.

DRAWING NO.

2

OF 9 SHEETS

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHOULD BE FAMILIAR WITH ALL STATE AND LOCAL REQUIREMENTS RELATED TO SITE CONSTRUCTION ACTIVITIES PRIOR TO COMMENCING WORK. ALL WORK SHALL CONFORM AS APPLICABLE TO THESE GOVERNING STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
3. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF CALIFORNIA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
11. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
12. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
14. ANY EXISTING UTILITY, WHICH IS TO BE EXTENDED, WHICH IS THE CONNECTION POINT FOR NEW UNDERGROUND UTILITIES, OR WHICH NEW FACILITIES CROSS, SHALL BE EXPOSED BY THE CONTRACTOR PRIOR TO PLACEMENT OF THE NEW UTILITIES. COST OF SUCH EXCAVATION AND SUBSEQUENT BACKFILL SHALL BE INCLUDED IN THE PRICES PAID FOR THE VARIOUS ITEMS OF WORK. THE ELEVATIONS AND LOCATIONS OF THE EXISTING FACILITIES WILL BE CHECKED BY THE PUBLIC WORKS INSPECTOR AND THE ENGINEER. IF IN THE OPINION OF THE INSPECTOR A CONFLICT EXISTS, THEN THE ENGINEER SHALL MAKE ANY NEEDED GRADE AND/ OR ALIGNMENT ADJUSTMENTS AND REVISE THE PLANS ACCORDINGLY. ALL GRAVITY FLOW PIPELINES TO BE LAID UPWARD FROM THE LOWEST POINT STARTING AT THE END OF EXISTING IMPROVEMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS.

MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINING STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES MAY BE CHECKED BY A QUALIFIED PERSON ON A SCHEDULE THAT MEETS OR EXCEEDS THE GOVERNING REQUIREMENTS, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER.

DEMOLITION NOTES CONTINUED

1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC. LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. REFER TO THE DEMOLITION PLAN FOR THE LIMITS OF ASPHALT REMOVAL (THE EXISTING PARKING LOT IS TO REMAIN). IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN AND LANDSCAPE PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED AS NECESSARY PRIOR TO ANY DEMOLITION.
4. CONTRACTOR SHALL ADJUST GRADE OF ANY EXISTING UTILITIES TO REMAIN.
5. SEWER CAPPING PERMIT MUST BE PULLED WITH USD. CONTRACTOR TO CAP EXISTING SANITARY SEWER AT PROPERTY LINE PRIOR TO DEMOLITION. COORDINATE WITH USD FOR PERMIT AND INSPECTION.
6. THE CONTRACTOR SHALL CLEAR THE PROJECT SITE AREA WITHIN THE CONFINES OF THE PROPERTY LINE. THE CONTRACTOR SHALL CAP IN PLACE ALL EXISTING UTILITIES AT THE DEMOLITION LIMIT LINE AND PROVIDE ENGINEER WITH MARK UP SHOWING LOCATIONS, UNLESS NOTED ON THE PLAN. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITY STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN.
7. DEMOLITION AND REMOVAL OF PAVEMENT INCLUDES PAVEMENT THICKNESS AS WELL AS BASE COURSE THICKNESS.
8. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIAL.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF DEMOLITION WORK.
11. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
12. DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
13. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND UNSUITABLE MATERIALS FROM ENTERING STORM DRAINS, SANITARY SEWERS AND STREETS.
14. DUST CONTROL MEASURES SHALL BE IMPLEMENTED DURING DEMOLITION.
15. DEMOLITION IS LIMITED TO WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED.
16. CONTRACTOR SHALL REMOVE DEMOLISHED MATERIALS FROM THE SITE AS WORK PROGRESSES.
17. THE DRAWINGS MAY NOT INDICATE IN DETAIL ALL DEMOLITION WORK TO BE PERFORMED. THE CONTRACTOR SHALL EXAMINE EXISTING CONDITIONS TO DETERMINE THE FULL EXTENT OF DEMOLITION.
18. ALL DEMOLITION SHALL COMPLY WITH CHAPTER 24 AND ARTICLE 87 OF THE CALIFORNIA FIRE CODE.
19. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
20. CONTRACTOR TO INSTALL 6.0' HIGH CHAIN LINK FENCE WITH MESH SCREEN TO PROTECT PUBLIC FROM ENTERING CONSTRUCTION AREA.
21. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES. FENCING, TRAFFIC CONTROL, AND OTHER MEASURES SHALL BE TAKEN TO PROTECT THE PUBLIC FROM THE CONSTRUCTION SITE.
22. ANY DAMAGE DONE TO IMPROVEMENTS NOT SHOWN ON THIS PLAN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
23. CONTRACTOR SHALL COORDINATE WITH CITY ON WORK IN PUBLIC RIGHT OF WAY, OBTAIN NECESSARY PERMITS, AND PROVIDE PEDESTRIAN CONTROLS DURING DEMOLITION AND CONSTRUCTION IN PUBLIC RIGHT-OF-WAY.
24. CONTRACTOR SHALL COORDINATE WITH TACO BELL STORE MANAGER TO MAINTAIN VEHICULAR ACCESS AROUND ADJACENT STORE AT ALL TIMES. CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION WORK IF NECESSARY TO ENSURE VEHICULAR ACCESS IS MAINTAINED AT ALL TIMES.

WATER AND UTILITY NOTES

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, CLEANOUTS, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OR METHODS FOR A COMPLETED PHASE OF WORK OR FINING STABILIZATION OF THE SITE. IN ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET. THE CONTRACTOR SHALL ALSO SCOPE THE SEWER LINES ON SITE AND RECORD A DVD.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATER-TIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
5. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
8. UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF CALIFORNIA PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
9. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

PAVING, GRADING AND DRAINAGE NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR CALTRANS SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND REPAIRED TO EXISTING CONDITION OR BETTER.
3. TRAFFIC CONTROL ON ALL CALTRANS, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL AN ADEQUATE STABILIZATION OCCURS.
5. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE COVERED WITH ROCK UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
6. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
9. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
10. IF DETWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
11. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
12. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY.
13. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE STABILIZED BY MEANS AND METHODS APPROVED BY THE LOCAL AGENCY. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE COVERED WITH ROCK OR MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
14. ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL): 1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
16. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS OF THE GOVERNING CODE.
17. EXPOSED SLOPES SHOULD BE STABILIZED WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
18. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE REQUIRED PERMITS COMPLETE, WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY GOVERNING JURISDICTIONS.
19. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
20. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

BUILDING AND SAFETY DIVISION NOTES

1. FILL TO BE COMPACTED TO NOT LESS THAN 90% OF MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D1557.
2. FIELD DENSITY WILL BE DETERMINED BY THE SAND-CONE METHOD A.S.T.M. 1556-07 AND/OR NUCLEAR DENSITY GAUGE METHOD A.S.T.M. 2922/3017. IN FINE GRAINED COHESIVE SOILS, FIELD DENSITY MAY BE DETERMINED BY THE DRIVE-CYLINDER METHOD D2937 A.S.T.M. PROVIDED NOT LESS THAN 20% OF THE REQUIRED DENSITY TESTS, UNIFORMLY DISTRIBUTED, ARE BY THE SAND-CONE METHOD. THE METHOD OF DETERMINING FIELD DENSITY SHALL BE SHOWN IN THE COMPACTION REPORT. OTHER METHODS MAY BE USED IF RECOMMENDED BY THE SOILS ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL.
3. NOT LESS THAN ONE FIELD DENSITY TEST WILL BE MADE FOR EACH TWO-FOOT VERTICAL LIFT OF FILL NOR LESS THAN ONE SUCH TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED UNLESS OTHERWISE RECOMMENDED BY THE SOILS ENGINEER.
4. NO FILL TO BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS AND INSTALLATION OF SUBDRAINS (IF ANY) HAS BEEN INSPECTED AND APPROVED BY THE SOILS ENGINEER.
5. NO ROCK OR SIMILAR MATERIAL GREATER THAN 8" IN DIAMETER WILL BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOILS ENGINEER IN ADVANCE AND APPROVED BY THE BUILDING OFFICIAL.
6. FINISH GRADING WILL BE COMPLETED AND APPROVED BEFORE OCCUPANCY OF BUILDINGS.
7. SEE GRADING PLANS FOR EARTHWORK VOLUMES.
8. FILL SLOPES SHALL NOT BE STEEPER THAN 2:1.
9. PRIOR TO THE ISSUANCE OF BUILDING PERMITS, SUBMIT A SOIL'S ENGINEER REPORT ON THE EXPANSIVE PROPERTIES OF SOIL AS SUCH SOILS ARE DEFINED BY THE BUILDING CODE, SECTION 2904(B) ON ALL BUILDING SITES IN THE PROPOSED SUBDIVISION.
10. DENSITY TESTS WILL BE MADE AT POINTS APPROXIMATELY ONE FOOT BELOW THE FILL SLOPE SURFACE. ONE TEST WILL BE MADE FOR EACH 1,000 SQ. FT. OF SLOPE SURFACE, BUT NOT LESS THAN ONE TEST FOR EACH 10 FT. VERTICAL OF SLOPE HEIGHT UNLESS OTHERWISE RECOMMENDED BY THE SOILS ENGINEER.
11. ALL PADS AT ROUGH GRADING WILL HAVE A MINIMUM SLOPE OF 1 % TOWARDS THE STREET OR DESIGNATED DRAINAGE OUTLET.
12. ENGINEER MUST SET GRADE STAKES FOR ALL DRAINAGE DEVICES AND OBTAIN INSPECTION BEFORE POURING.
13. APPROVAL OF THIS PLAN BY THE LOCAL AGENCY DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OF THE LOCATION OR THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY PIPE OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES WITHIN THE LIMITS OF THIS PROJECT.
14. FILLS SHALL BE BENCHMARKED IN ACCORDANCE WITH APPROVED GEOTECHNICAL REPORT
15. ALL TRENCH BACKFILLS SHALL BE TESTED AND CERTIFIED BY THE SITE SOILS ENGINEER PER THE GRADING CODE.
16. SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.
17. THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE AND GRADE.
18. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND NECESSARY TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
19. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER WILL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
20. THE SOILS ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO PROVIDE CONSULTATION CONCERNING COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THEIR PURVIEW.
21. THE DESIGN CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING AND CONSTRUCTION FOR CONSULTATION CONCERNING COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THIS PURVIEW.
22. DUST SHALL BE CONTROLLED BY WATERING.
23. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
24. THE LOCATION AND PROTECTION OF ALL UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
25. THE CUT PORTION OF CUT/FILL TRANSITION LOTS SHOULD BE OVEREXCAVATED 36" AND BE REPLACED WITH COMPACTED FILL TO A MINIMUM RELATIVE COMPACTION OF 90% UNLESS OTHERWISE RECOMMENDED BY THE SOILS ENGINEER.

EROSION CONTROL NOTES

1. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
2. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATER. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
3. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
4. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
5. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
6. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
8. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
9. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
10. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
11. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS.
12. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
13. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM DRAINER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
15. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
16. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
17. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
18. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

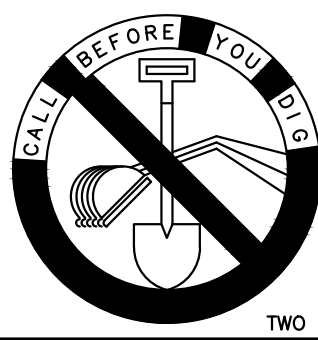
RECORD DRAWINGS

1. WHERE LOCAL JURISDICTIONS REQUIRE RECORD DRAWINGS, THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER AND OWNER COPIES OF A PAVING, GRADING AND DRAINAGE RECORD DRAWING AND A SEPARATE UTILITY RECORD DRAWING. BOTH PREPARED BY A CALIFORNIA REGISTERED SURVEYOR. THE RECORD DRAWINGS SHALL VERIFY ALL DESIGN INFORMATION INCLUDED ON THE DESIGN PLANS OF THE SAME NAME.

PROJECT CLOSEOUT

CONTRACTOR SHALL PROVIDE THE NECESSARY ITEMS INCLUDING ANY TESTING, REPORTS, OR CERTIFICATION DOCUMENTS REQUIRED BY THE GOVERNING JURISDICTIONS TO PROPERLY CLOSEOUT THE PROJECT BEFORE IT CAN BE DEEMED COMPLETE.

Underground Service Alert



Call: TOLL FREE
1-800-422-4133

Two working days before you dig



Kimley»Horn

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3801 UNIVERSITY AVENUE, SUITE 300, RIVERSIDE, CA 92501
PHONE: 951-335-8272
WWW.KIMLEY-HORN.COM

Leticia Alvarez
REGISTERED CIVIL ENGINEER 94675

| | | | | |
|---|--------------------|------|-------|---------|
| G1 | GRADING REVISION 1 | SMRA | SMRA | 10/1/20 |
| | | | | |
| MARK | REVISIONS | BY | APPR. | DATE |
| BENCH MARK: CITY OF MANTECA BENCHMARK "96", BRASS DISK SET IN TOP OF CURB EAST RETURN SOUTHEAST CORNER MAIN STREET AND WOODWARD AVENUE. | | | | |
| ELEVATION: 36.268 FEET | | | | |

| | | | |
|---|--|---------------------------|--|
| APPROVED BY: | | CITY OF MANTECA | |
| KEVIN JORGENSEN, P.E. DIRECTOR/CITY ENGINEER R.C.E. NO. 77243 | | DATE EXP DATE 06-30-23 | |
| DRAWN BY: JY | | | |
| CHECKED BY: LA | | | |
| RECOMMENDED BY: LA | | | |

CITY OF MANTECA
DEVELOPMENT SERVICES

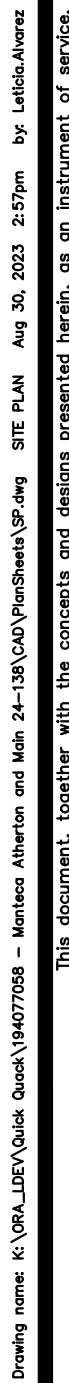
QUICK QUACK CAR WASH #24-138
ATHERTON AND MAIN
PRIVATE GENERAL NOTES CONTINUATION

FOR CITY USE ONLY: FILE NO.

DRAWING NO.

3

OF 9 SHEETS



OF 9 SHEETS

Drawing name: K:\WORK\Quick Quack\194077058 - Manatee Station and Main 34-138\QUICK QUACK\194077058.dwg GRADING PLAN Aug 30, 2023 2:27pm by: Leticia Alvarez
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Review of and improper reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

APN 224-021-34
N.A.P.

EXISTING OVERHEAD
ELECTRICAL UTILITIES:
REFER TO
MARKETPLACE @
MAIN (ONSITE
IMPROVEMENT PLANS)
PREPARED BY
NORTHSTAR
ENGINEERING GROUP
INC. FOR MORE
INFORMATION

PROPOSED RIBBON GUTTER PER
MARKETPLACE @ MAIN (ONSITE
IMPROVEMENT PLANS) PREPARED
BY NORTHSTAR ENGINEERING
GROUP INC.

A PORTION OF APN 224-021-47
N.A.P.

PROPOSED IMPROVEMENTS PER MARKETPLACE @
MAIN (ONSITE PLANS PREPARED BY NORTHSTAR
ENGINEERING GROUP INC.

PROPOSED RIBBON GUTTER PER
MARKETPLACE @ MAIN (ONSITE
IMPROVEMENT PLANS) PREPARED
BY NORTHSTAR ENGINEERING
GROUP INC.

A PORTION OF APN 224-021-47
N.A.P.

PROPOSED IMPROVEMENTS PER MARKETPLACE @
MAIN (ONSITE PLANS PREPARED BY NORTHSTAR
ENGINEERING GROUP INC.

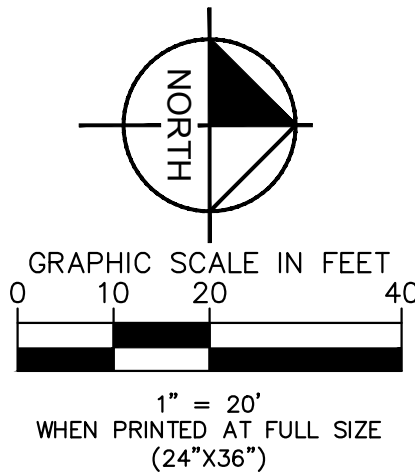
PROPOSED CURB AND GUTTER PER
MARKETPLACE @ MAIN (OFFSITE
IMPROVEMENT PLANS) PREPARED BY
NORTHSTAR ENGINEERING GROUP INC.

SOUTH MAIN STREET

OFFSITE IMPROVEMENTS PER CIVIL IMPROVEMENT
PLANS FOR MARKETPLACE @ MAIN (OFFSITE) BY
NORTHSTAR ENGINEERING GROUP INC.

NOTE

- GENERAL CONTRACTOR TO ENSURE PAD ELEVATION IS COORDINATED WITH CIVIL ENGINEER AND STRUCTURAL ENGINEER PRIOR TO GRADING OF THE SITE.
- PAD ELEVATIONS AND FINISH FLOOR ELEVATIONS VARY THROUGHOUT THE BUILDING AND WITHIN THE TUNNEL.
- PRIOR TO GRADING CONTRACTOR SHALL VERIFY THICKNESS OF BUILDING SLAB, AND SAND SECTION WITH APPROVED FOUNDATION PLAN, SOILS REPORT, AND VAPOR MITIGATION PLAN.



LEGEND

- PROPERTY LINE
- CIVIL LIMITS OF WORK
- EASEMENT
- SLOPE
- STANDARD DUTY CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- LANDSCAPE/PLANTER AREA
- DETECTABLE WARNINGS
- PROPOSED ELEVATION
- EXISTING ELEVATION

DETAIL 1
1"=10'

DETAIL 2
1"=10'

Underground Service Alert



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LETICIA ALVAREZ
REGISTERED CIVIL ENGINEER 94675

| | | | | |
|--|--------------------|------|-------|---------|
| G1 | GRADING REVISION 1 | SMRA | SMRA | 10/1/20 |
| MARK | REVISIONS | BY | APPR. | DATE |
| BENCH MARK: CITY OF MANTECA BENCHMARK "96", BRASS DISK SET IN TOP OF CURB EAST RETURN SOUTHEAST CORNER MAIN STREET AND WOODWARD AVENUE. | | | | |
| ELEVATION: 36.268 FEET | | | | |

| | |
|---|---------------------------|
| APPROVED BY: | CITY OF MANTECA |
| KEVIN JORGENSEN, P.E. DIRECTOR/CITY ENGINEER R.C.E. NO. 77243 | DATE EXP DATE 06-30-23 |
| DRAWN BY: | JY |
| CHECKED BY: | LA |
| RECOMMENDED BY: | LA |

CITY OF MANTECA
DEVELOPMENT SERVICES

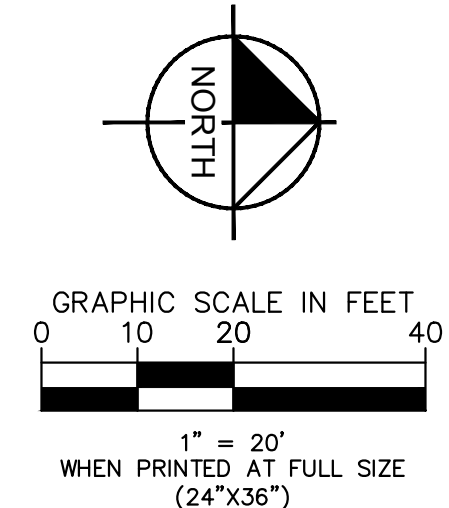
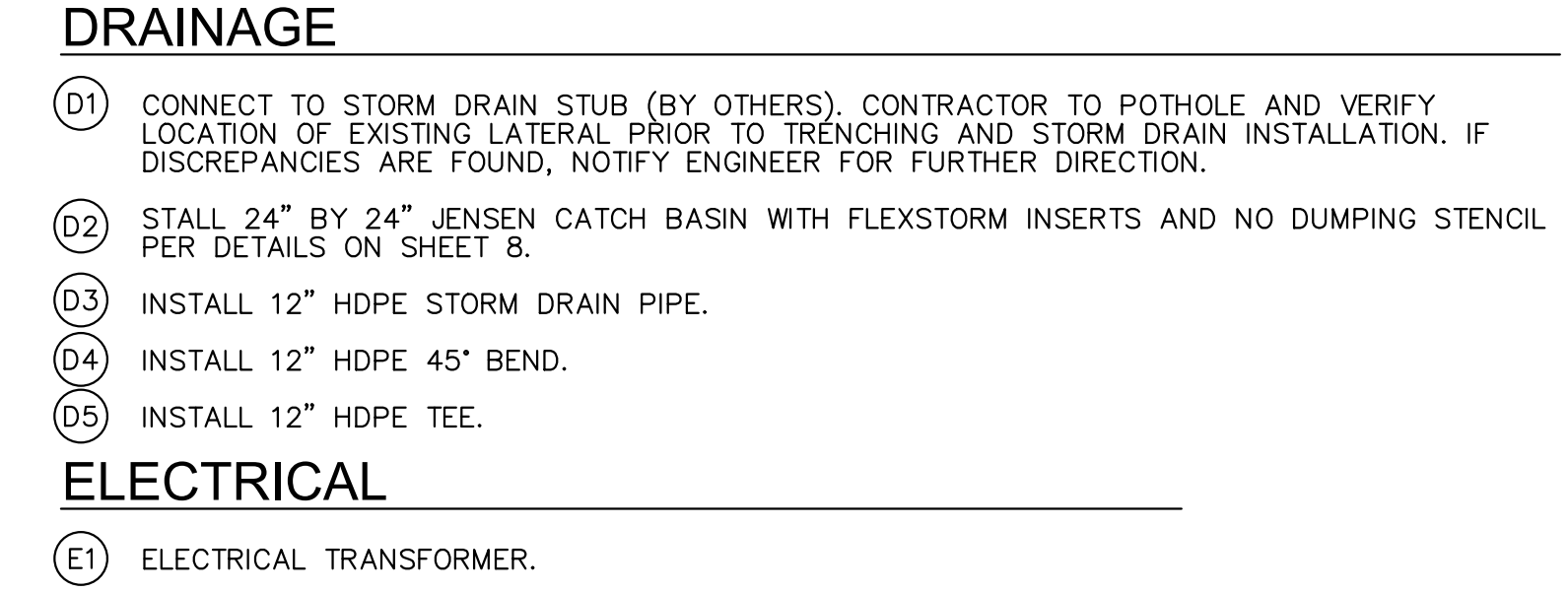
QUICK QUACK CAR WASH #24-138
ATHERTON AND MAIN
PRELIMINARY GRADING PLAN

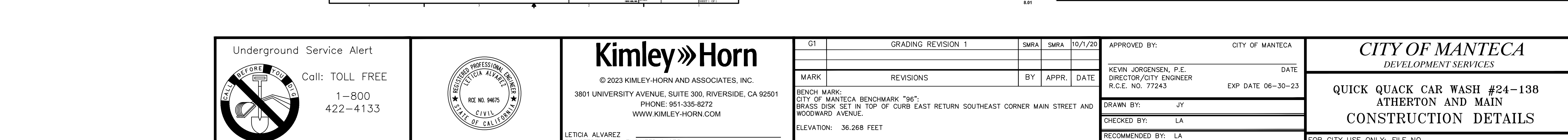
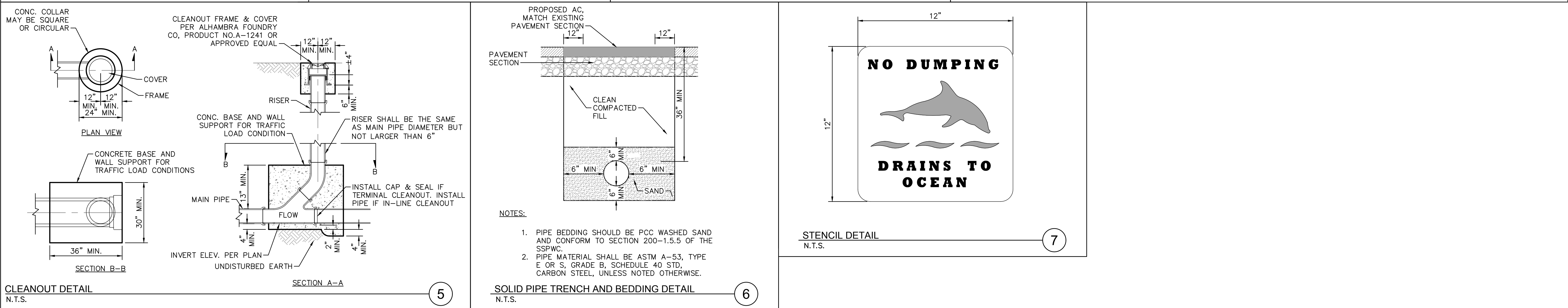
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NO.

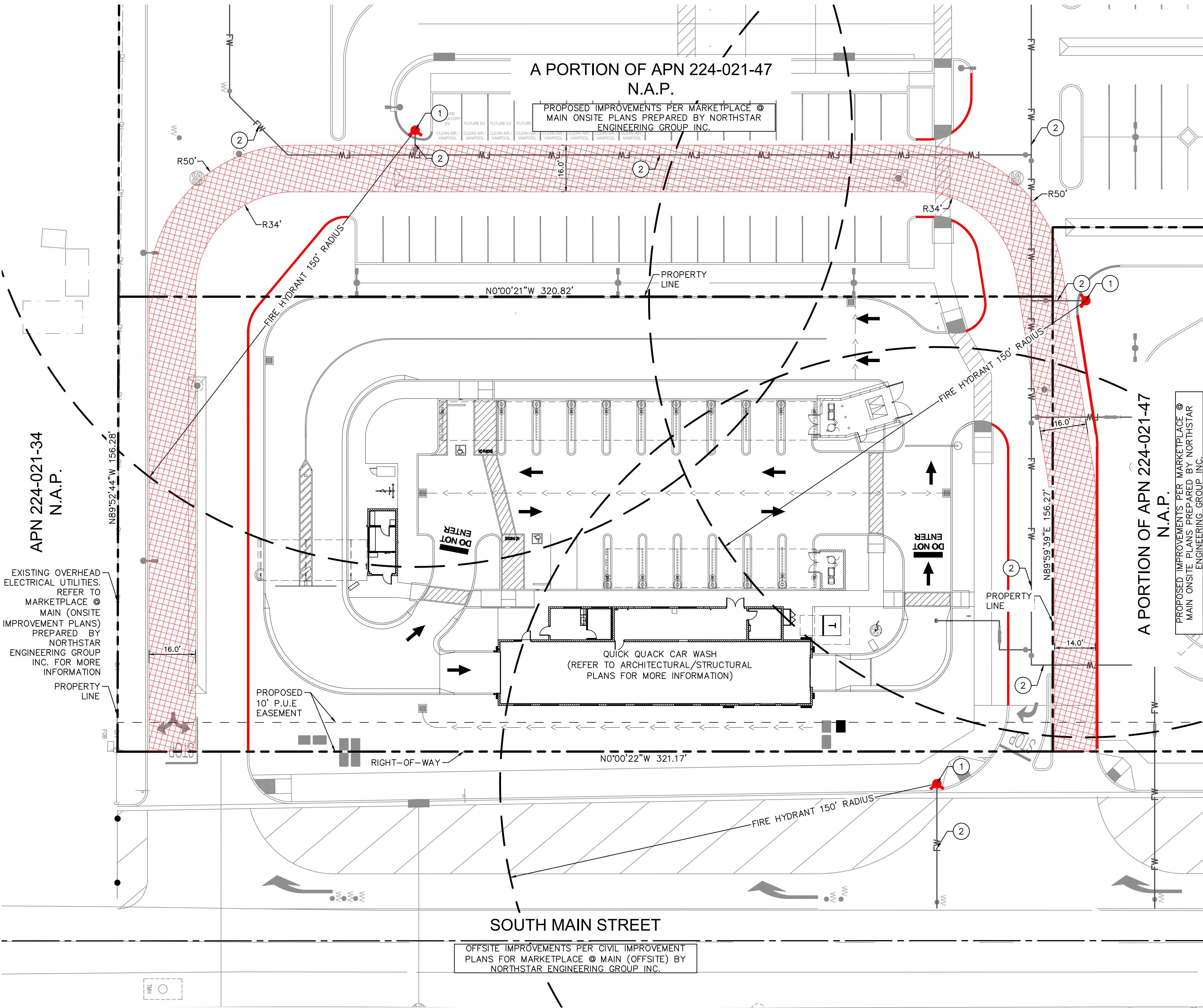
5

OF 9 SHEETS





Drawing name: K:\00A_LIVE\00A_Quick\16077058 - Manteca Atherton and Main 34-138\00A\MarketplaceVP.dwg SITE PLAN Aug 30, 2023 2:58pm by Leticia Alvarez
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LEGEND

- PROPERTY LINE
- CENTERLINE
- FIRE WATER LINE BY OTHERS
- RED CURB MARKING BY OTHERS
- FIRE HYDRANT BY OTHERS
- FIRE ACCESS LANE

FIRE NOTES

- NOTE:
1. KNOX KEY SHALL BE PROVIDED ONSITE NEAR THE MAIN ENTRANCE.
 2. ERRC REPORT OR ERRC SYSTEM REQUIRES A SEPARATE PERMIT AND SUBMITTAL.
 3. UNDERGROUND FIRE SERVICE TO BE IN ACCORDANCE WITH THE 2016 NFPA 24.
 4. FIRE LANES SHALL BE MARKED IN ACCORDANCE WITH CALIFORNIA FIRE CODE (APPENDIX D103.6 SIGNS AND MANTECA FIRE CODE 15.24
 5. FIRE PROTECTION SYSTEMS (FIRE HYDRANTS, WATER MAINS, ETC.) SHALL BE INSTALLED, TESTED AND APPROVED BY THE CITY PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS. THE FIRE DEPARTMENT SHALL WITNESS ALL SYSTEM AND ACCEPTANCE TESTS. PLEASE PROVIDE 24-HOUR NOTICE PRIOR TO ANY SYSTEM OR ACCEPTANCE TEST AT 209-456-8340

FIRE FLOW INFORMATION

- ① CITY APPROVED FIRE HYDRANT PER CITY STANDARD W-8A BY OTHERS.
② FIRE WATER LINE BY OTHERS.

TYPE OF CONSTRUCTION PER BUILDING CODE: TYPE VB
FIRE-FLOW CALCULATION AREA: AREA: XXX S.F.

REQUIRED
FIRE-FLOW BASED ON FIRE FLOW CALCULATION AREA: 2,000 GPM
REDUCTION FOR FIRE SPRINKLERS (MAXIMUM 50%): 0 GPM
TOTAL FIRE FLOW REQUIRED: 2,000 GPM @20PSI

AVAILABLE
TOTAL FIRE FLOW AVAILABLE: 2,333 GPM @20PSI

*REFER TO FIRE FLOW TEST RESULTS HEREON FOR AVAILABLE FIRE FLOW.

SUMMARY
TOTAL FLOW AVAILABLE: 2,333 GPM @20PSI
TOTAL FLOW REQUIRED: 2,000 GPM @20PSI
FLOW SURPLUS: + 333 GPM @20PSI

DESIGN CODES

BUILDING CODE: 2023 CALIFORNIA BUILDING CODE
FIRE CODE: 2023 CALIFORNIA FIRE CODE
MANTECA MUNICIPAL CODE

DESIGN CODES

2023. NFPA 13 & 14



CITY OF MANTECA - FIRE DEPARTMENT
FIRE PREVENTION BUREAU
1154 S. UNION ROAD • MANTECA, CA 95337
(209) 456-8340 • FAX (209) 923-8936

Hydrant Flow Data

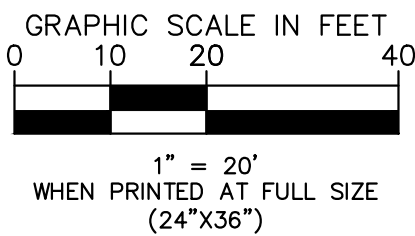
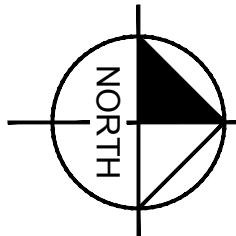
Project: Marketplace @ Main
Address: 1601 S. Main Street
Location of Fire Hydrant: W. Atherton and S. Main Street
Date Hydrant Tested: 02/10/2022

Results of Test

- Static: 50 psi
- Pitot: 34 psi
- Residual: 44 psi
- G.P.M.: 978

Comments: Projected results @ 20psi - 2333 gpm
Calculated with a 2.5" nozzle and a 0.9 discharge Coefficient.

Tested By: Fire Inspector Salas
Fire Marshal 24-1



Underground Service Alert

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TWO WORKING DAYS BEFORE YOU DIG



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LETICIA ALVAREZ
REGISTERED CIVIL ENGINEER 94675

| | | | | |
|--|--------------------|------|-------|---------|
| G1 | GRADING REVISION 1 | SMRA | SMRA | 10/1/20 |
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|---|---------------------------|
| APPROVED BY: | CITY OF MANTECA |
| KEVIN JORGENSEN, P.E. DIRECTOR/CITY ENGINEER R.C.E. NO. 77243 | DATE EXP DATE 06-30-23 |
| DRAWN BY: | JY |
| CHECKED BY: | LA |
| RECOMMENDED BY: | LA |

CITY OF MANTECA
DEVELOPMENT SERVICES

QUICK QUACK CAR WASH #24-138
ATHERTON AND MAIN
FIRE ACCESS PLAN

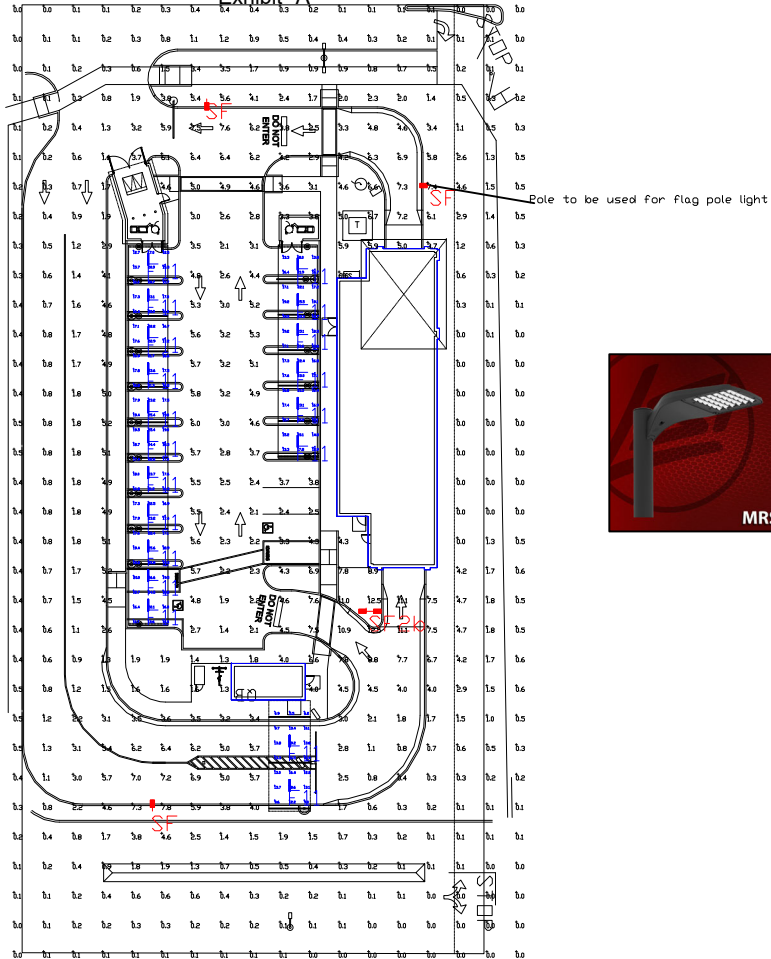
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DRAWING NO.

9



OF 9 SHEETS

Exhibit "A"



| Calculation Summary | | | | | | | |
|---------------------|-------------|-------|-------|------|------|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| PAY CANOPY | Illuminance | Fc | 12.21 | 19.2 | 4.9 | 2.49 | 3.92 |
| VACUUM CANOPY 1 | Illuminance | Fc | 18.91 | 26.6 | 10.3 | 1.84 | 2.58 |
| VACUUM CANOPY 2 | Illuminance | Fc | 18.41 | 25.5 | 12.9 | 1.43 | 1.98 |
| PAVED AREA | Illuminance | Fc | 3.64 | 11.1 | 0.2 | 18.20 | 55.50 |

NOTE:STANDARD 120-277v UNLESS OTHERWISE SPECIFIED

| Luminaire Schedule | | | | | | | | | |
|---|-----|-------|-------------|--|------------------|-------|-------|------------------|------------|
| Symbol | Qty | Label | Arrangement | Description | Mounting Height | LLD | LLF | Arr. Lum. Lumens | Arr. Watts |
|  | 19 | F11 | SINGLE | V73204HUNV50 (FIXTURE SUPPLIED BY HERMITAGE) | QUICK QUACK | 1,000 | 1,000 | 6778 | 51.95 |
|  | 3 | SF | SINGLE | MRS-LED-1BL-SIL-FT-50-70CRI-SINGLE | 16' POLE+2" BASE | 1,000 | 1,000 | 16890 | 135 |
|  | 1 | SFb | D180° | MRS-LED-1BL-SIL-FT-50-70CRI-D180 | 16' POLE+2" BASE | 1,000 | 1,000 | 33780 | 270 |

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts
Total Watts = 166295

LIGHTING PROPOSAL

LD-157655

QUICK QUACK R24-138

MANTECADA

DESIGNED BY DATE/REVISED BY

SCALE: 1"=20'

0

1

20